

VILLAGE OF WAPPINGERS FALLS
Offices of Planning/Zoning
2582 South Avenue Wappingers Falls, NY 12590
(845) 297-5277 Fax: (845) 296-0379

AGENDA OF THE PLANNING BOARD

January 7, 2021

****THIS MEETING WILL BE HELD ONLINE AND TELEPHONICALLY ONLY
PROVIDED THAT THE GOVERNOR'S EXECUTIVE ORDER 202.1 IS EXTENDED
THROUGH THIS DATE – PLEASE CHECK THE WEBSITE FOR CONFIRMATION ****

**IF THIS MEETING IS HELD ONLINE AND TELEPHONICALLY
THERE WILL BE NO IN-PERSON PARTICIPATION
BY THE BOARD OR THE PUBLIC.**

Until further notice, in accordance with Governor Cuomo's Executive Order 202.1, all Planning Board meetings will be held via videoconference utilizing the Webex platform. Each Board member will be participating remotely. There will not be an opportunity for the public to participate from the same location as a Board member. However, the public is welcome to view the videoconference contemporaneously by logging in to the Webex platform using the information below. There is also an option to participate by telephone for audio participation only. The meeting will be recorded and the recording will be posted on the Village website. A written transcript of the meeting also will be made available at a later date.

PLEASE TAKE NOTICE that the Planning Board of the Village of Wappingers Falls will hold a public meeting on January 7, 2021, beginning at 7 p.m. via Webex. No public hearings are scheduled for this meeting.

The Webex participation information is as follows:

Meeting number (access code): 132 237 3928
Meeting password: YKf2edF8Wv4

You may also use this link: [Join meeting](#)

To join by phone please call: 1-408-418-9388

The agenda is as follows:

ROLL CALL

STATEMENT OF COMPLIANCE BY THE CHAIR

APPROVAL OF NOVEMBER 5, 2020 AND DECEMBER 3, 2020 MINUTES

CONTINUED APPLICATIONS

GAS LAND - 1663 Route 9

1663 Route 9 (Grid #6158-14-498418) – Gas Land Holdings Corp. (Zeidan Nesheiwat) (Owner and Applicant), Chazen Companies (Consultant) – Site Plan.

This property is located in the Commercial Mixed Use (CMU) zoning district. The applicant is proposing modification of an existing gasoline service station, the removal of a motor vehicle repair facility, and the expansion of an existing convenience store.

2695 W MAIN STREET

2695 W Main Street (Grid #6158-14-277339) – HAJUL LLC (Owner), Richard Hollister (Applicant), Day Stokosa Engineering P.C. (Engineer) – Site Plan.

This property is located in the Village Commercial (VC) zoning district. The applicant is proposing to demolish the top 2 floors of the building and reconstruct them to include one 2 bedroom apartment on the third floor, two 1 bedroom apartments on the second floor, and commercial space on the ground floor.

December 21, 2020

Mr. Tom Morris, Chairman
Village of Wappingers Falls Planning Board
2582 South Avenue
Wappingers Falls, NY 12590

Re: *1663 Route 9 - GasLand, Proposed Site Plan
(Tax Parcel 135601-6158-14-498418)
Village of Wappingers Falls, Dutchess County, NY
Chazen Project #82010.00*

Dear Chairman Morris:

This submission includes a revised plan set (12 copies) including the following changes: an updated bulk table indicating the granted variances, the reduction size of the freestanding sign height from 20 ft to 14 ft, and revised grading and utilities per the Dutchess County Department of Behavioral & Community Health comments from 10/05/20.

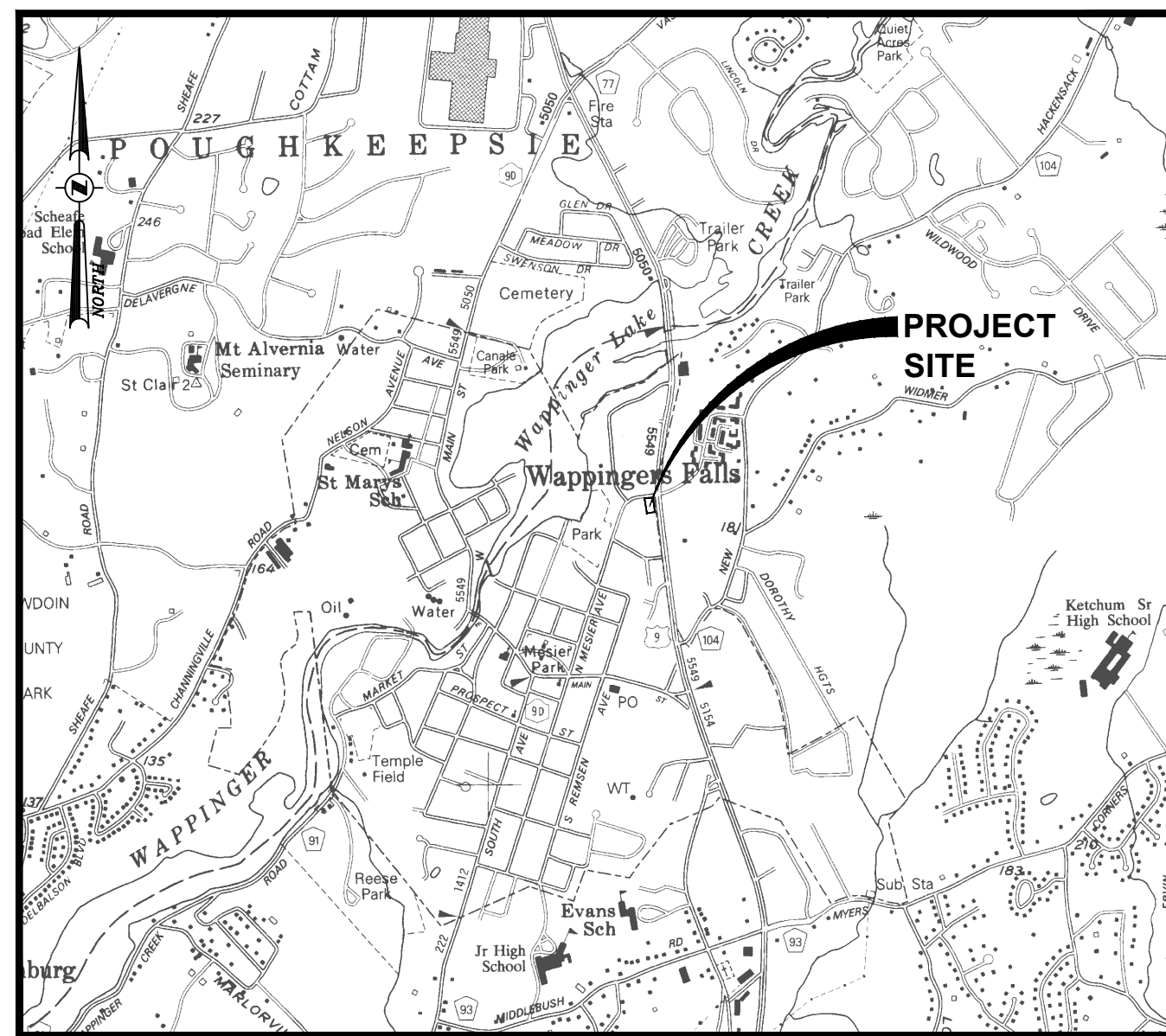
We apologize for the delay in the submission. Our office was anticipating comments about the architectural material samples submitted to the Village in September. In the interim, we are submitting the updated plans that reflect the changes as mentioned above. Please place this project on the agenda of the January 7, 2020 Planning Board meeting. Let us know if the Planning Board has any questions regarding the material samples, so that we can address prior to the meeting.

Please call me at 845-486-1478 or email me at clapine@chazencompanies.com if you have any questions or need further information. Thank you for your assistance.

Sincerely,



Christopher Lapine, P.E.
Director of Engineering



LOCATION MAP
SCALE: 1"=2000'
SOURCE: NYS QUAD

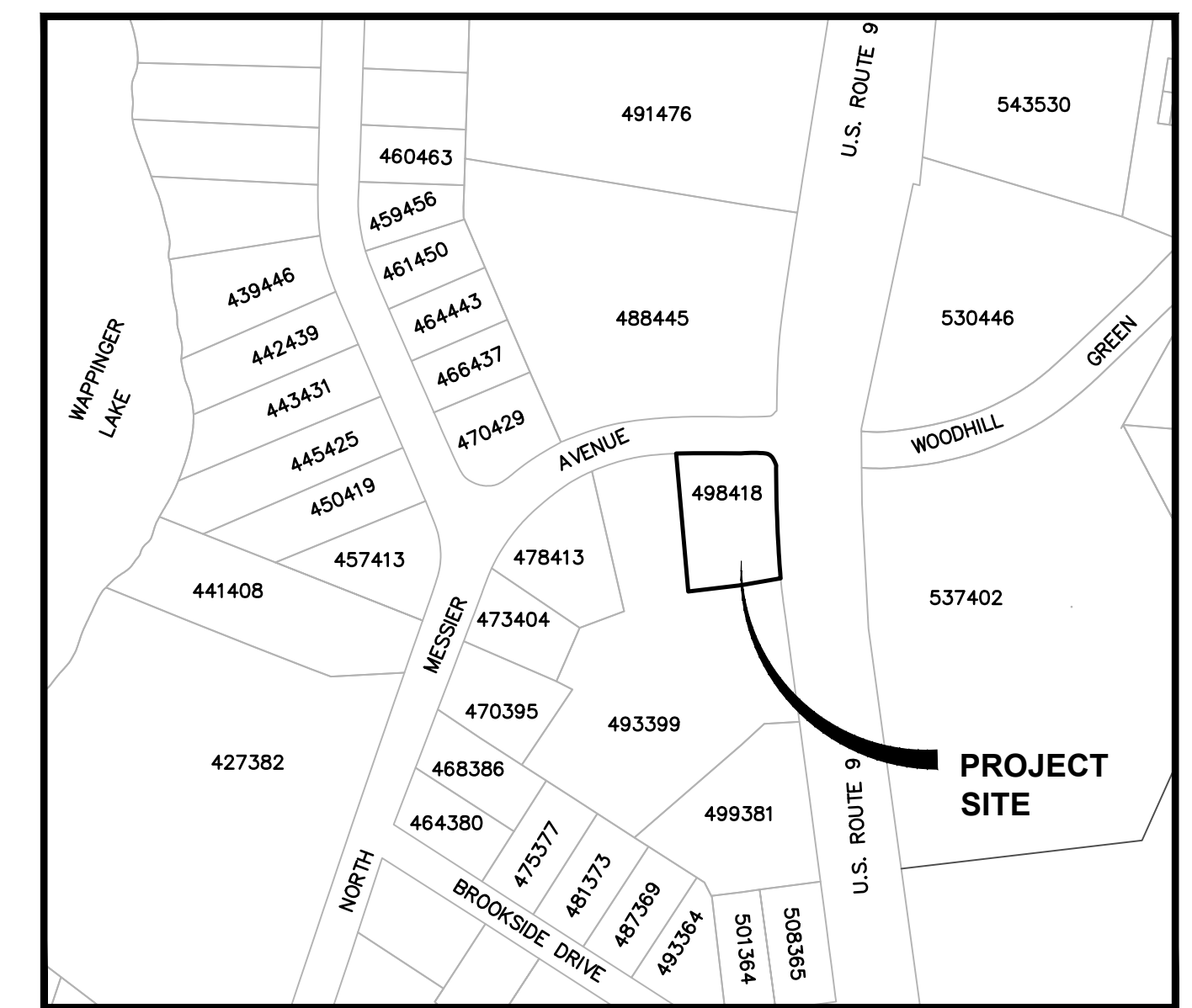
SITE PLAN

ROUTE 9 HOLDINGS, INC.

N.Y.S. ROUTE 9

VILLAGE OF WAPPINGERS FALLS

DUTCHESS COUNTY, NEW YORK



AREA MAP
SCALE: 1"=200'
SOURCE: TAX MAP

MARCH 12, 2020
LAST REVISED: DECEMBER 21, 2020

ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
BULK TABLE ZONING DISTRICT "CMU" Commercial Mixed Use District			
Building Configuration			
Principal Building Height	72 ft., 6 stories max, 2 stories min	1 story	1 story ⁴
Accessory Building Height (Canopy)	N/A	N/A	N/A
Lot Occupation			
Minimum Lot Area	N/A	0.46 acres	0.46 acres
Minimum Lot Width	100 ft.	157 ft.	157 ft.
Maximum Lot Coverage	85%	66%	69%
Minimum Greenspace	5%	34%	31%
Setbacks - Principal Building			
Yards			
Front - Principal (Route 9)	2 ft. min, 12 ft. max	68.8 ft. ³	68.8 ft. ^{3,4}
Front - Secondary (N Mesier Ave)	2 ft. min, 12 ft. max	68.2 ft. ³	68.2 ft. ^{3,4}
Side	0 ft. min, 24 ft. max	47.2 ft. ³	27.3 ft. ⁴
Rear	0 ft. min	25 ft.	17.5 ft.
Minimum Setback to Fuel Pump ¹	shall not be in any required setback	17.8 ft. to Route 9	17.8 ft. to Route 9
Minimum Frontage Buildout at Setback	80%	0% ³	0% ^{3,4}
Setbacks - Automotive Use Structure (Canopy)²			
Yards			
Front - Principal (Route 9)	25 ft.	68.8 ft. bldg/ 4.3 ft. canopy ³	4.3 ft. ³
Front - Secondary (N Mesier Ave)	25 ft.	68.2 ft. bldg/ 60.9 ft. canopy	60.9 ft.
Side	25 ft.	47.2 ft. bldg/ 59.5 ft. canopy	59.5 ft.
Rear	25 ft.	25 ft. bldg/ 59.7 ft. canopy	59.7 ft.
Types of Private Frontages			
Common Lawn	not permitted	N/A	N/A
Porch & Fence	not permitted	N/A	N/A
Terrace or Lightwell	permitted	N/A	N/A
Forecourt	permitted	N/A	N/A
Stoop	permitted	N/A	N/A
Shopfront & Awning	permitted	N/A	N/A
Gallery	permitted	N/A	N/A
Arcade	permitted	N/A	N/A
Parking Space Requirements			
Gasoline/Convenience Station	Per Planning Board	6 spaces + 8 spaces under canopy	9 spaces + 8 spaces under canopy

NOTES:
¹ The storage of vehicles, equipment, fuel pumps, or vehicle charging stations shall not be permitted within 20 feet of a zoning district boundary or in any required setback.
² Per Section 151-20.D. Automotive use structures shall be set back a minimum of 25 feet from all property lines.
³ Existing nonconformance.
⁴ Variance required.

- VARIANCES REQUESTED:**
- BUILDING HEIGHT REQUIRE A ONE-STORY VARIANCE. VARIANCE GRANTED ON 12/08/20.
 - PRINCIPAL FRONTAGE (ROUTE 9) REQUIRES A 64 FT VARIANCE. SECONDARY FRONTAGE (NORTH MESIER AVENUE) REQUIRES A 58 FT VARIANCE. VARIANCE GRANTED ON 12/08/20.
 - MINIMUM FRONTAGE BUILDOUT REQUIRES A VARIANCE OF 55 FT. VARIANCE GRANTED ON 12/08/20.
 - SIDE YARD REQUIRES A 3.3 FT VARIANCE. VARIANCE GRANTED ON 12/08/20.
 - PROPOSED DIGITAL SIGN REQUIRES A VARIANCE. VARIANCE GRANTED ON 12/08/20.
 - PER SECTION 151-25.(2), 12 SIGNS WHERE ONLY 3 ARE PERMITTED REQUIRES A VARIANCE.
 - INTERNALLY LIT SIGNS FOR CANOPY DESIGN REQUIRES A VARIANCE. VARIANCE GRANTED ON 12/08/20.
 - WALL SIGN DESIGN REQUIRES 1.25 INCH VARIANCE. VARIANCE GRANTED ON 12/08/20.

DEVELOPER / APPLICANT:
 GAS LAND PETROLEUM, INC.
 3 SOUTH OHIOVILLE RD
 NEW PALTZ, NY 12561

SITE CIVIL ENGINEER:
 CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.
 21 FOX STREET, POUGHKEEPSIE, NY 12601
 PHONE: (845) 454-3980

TAX MAP INFORMATION:
 VILLAGE OF WAPPINGERS FALLS,
 DUTCHESS COUNTY, NEW YORK
 TAX PARCEL #: 135601-6158-14-498418-0000

AREA:
 AREA = 0.46 ACRES

ZONING DISTRICT:
 "CMU" COMMERCIAL MIXED USE

INDEX OF DRAWINGS			
PAGE NO.	SHEET NO.	DATE	DESCRIPTION
1	G001	12/21/20	TITLE SHEET
2	SV1	04/24/20	MAP OF EXISTING CONDITIONS PREPARED FOR GAS LAND HOLDINGS
3	C120	12/21/20	DEMOLITION PLAN
4	C130	12/21/20	SITE PLAN
5	C131	12/21/20	VEHICLE MOVEMENT PLAN
6	C140	12/21/20	GRADING, UTILITY, AND EROSION & SEDIMENT CONTROL PLAN
7	C180	12/21/20	LANDSCAPE PLAN
8	C190	12/21/20	PHOTOMETRIC PLAN
9	C191	12/21/20	PHOTOMETRIC PLAN WITHOUT ROUTE 9 FLOOD LIGHT
10	C530	12/21/20	SITE DETAILS
11	C531	12/21/20	SITE DETAILS
12	C550	12/21/20	EROSION & SEDIMENT CONTROL DETAILS AND NOTES
13	C560	12/21/20	WATER AND SANITARY SEWER DETAILS
14	C570	12/21/20	LANDSCAPE DETAILS AND NOTES

DUTCHESS COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH APPROVAL

FOR SHEETS G001, SV1, C120, C140, AND C560

OWNER / APPLICANT SIGNATURE

THE UNDERSIGNED APPLICANT FOR THE PROPERTY AND THE UNDERSIGNED OWNER OF THE PROPERTY SHOWN HEREON, STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS NOTES AND ITS CONTENTS, AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

THE APPLICANT AND OWNER UNDERSTAND THEIR OBLIGATION TO THE TOWN TO KEEP THIS SITE AS PER SITE PLAN APPROVAL BY THE TOWN PLANNING BOARD UNTIL A NEW OR REVISED SITE PLAN IS APPROVED FOR THE SITE. THE APPLICANT AND OWNER UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CO IS ISSUED BY THE TOWN BUILDING DEPARTMENT.

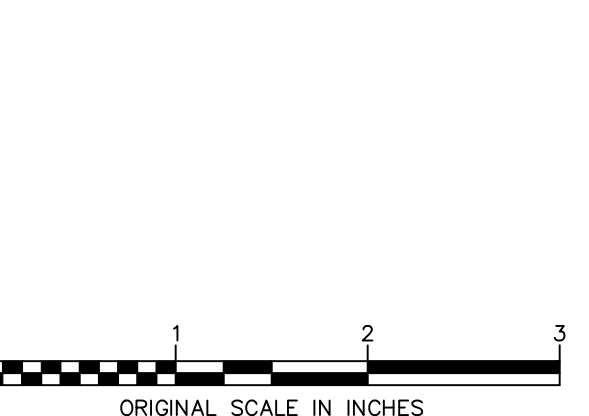
APPLICANT _____ DATE _____
 OWNER _____ DATE _____

PLANNING BOARD APPROVAL
VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS

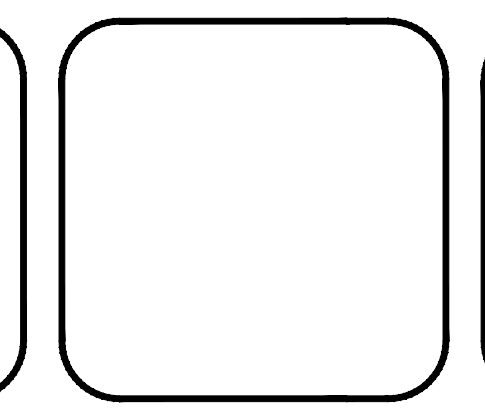
PLAN OF _____ AT
 APPROVED AT THE PLANNING BOARD MEETING

HELD ON _____ SIGNED BY _____
 CONDITIONS: _____



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- Westchester NY Office: 1 North Broadway, Suite 803, White Plains, New York 10601 Phone: (914) 997-8510
- Nashville Tennessee Office: 2416 21st Ave S. (Suite 103), Nashville, Tennessee 37212 Phone: (615) 380-1359
- Chattanooga Tennessee Office: 1426 Wilkoms Street (Suite 12), Chattanooga, Tennessee 37408 Phone: (423) 241-6575

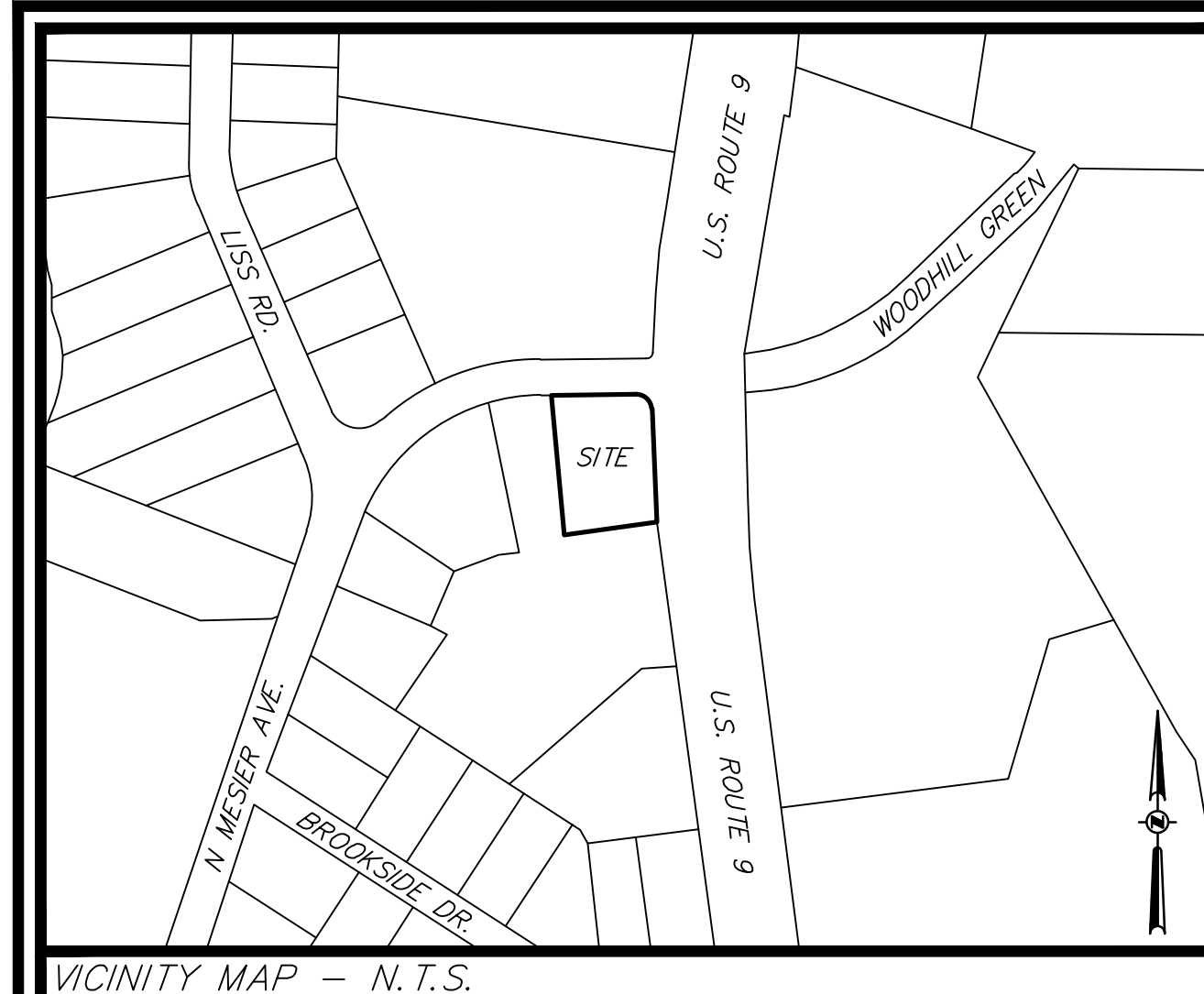
rev.	date	description
5	12/21/20	REVISED PER VILLAGE COMMENTS.
4	11/12/20	REVISED PER VILLAGE COMMENTS.
3	10/15/20	REVISED PER VILLAGE COMMENTS.
2	09/10/20	REVISED PER VILLAGE COMMENTS.
1	05/14/20	THIS SHEET ADDED.

1663 ROUTE 9 - GAS LAND - MESIER MOBIL

TITLE SHEET

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
SPL	CPL
date	scale
03/12/20	NTS
project no.	
82010.00	
sheet no.	
G001	



- LEGEND:**
- PROPERTY LINE NO PHYSICAL BOUNDS
 - - - ADJACENT PROPERTY LINE
 - 110 - - - EXISTING MAJOR CONTOUR
 - - - EXISTING MINOR CONTOUR
 - X 200.3 EXISTING SPOT GRADE
 - [Hatched] EXISTING BUILDING
 - - - EXISTING CURB/GUTTER
 - - - EXISTING GRAVEL DRIVEWAY
 - - - EXISTING GUIDERAIL
 - - - EXISTING FENCE
 - - - EXISTING OVERHEAD WIRES
 - - - EXISTING UNDERGROUND SEWER LINE
 - - - EXISTING GAS LINE
 - - - EXISTING SIGN
 - - - EXISTING SIGN
 - - - EXISTING BOLLARD
 - - - EXISTING POST
 - - - EXISTING CONIFEROUS TREE
 - - - EXISTING DECIDUOUS TREE
 - - - EXISTING SPIKE SET
 - - - EXISTING BENCHMARK
 - - - EXISTING CLEANOUT
 - - - EXISTING CATCH BASIN
 - - - EXISTING GUY WIRE
 - - - EXISTING UTILITY POLE W/ LIGHT
 - - - EXISTING LIGHT POLE
 - - - EXISTING TRAFFIC SIGNAL CONTROL BOX
 - - - EXISTING TRAFFIC SIGNAL POLE
 - - - EXISTING TELEPHONE MANHOLE
 - - - EXISTING UNKNOWN MANHOLE
 - - - EXISTING MONITORING WELL
 - - - EXISTING VENT
 - - - EXISTING FINISHED FLOOR ELEVATION
 - - - EXISTING RIM ELEVATION
 - - - EXISTING IRON PIPE FOUND
 - - - EXISTING IRON ROD FOUND
 - - - EXISTING MAGNETIC NAIL FOUND

NOTES:

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

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SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.

SUBSURFACE STRUCTURES NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN AND THEIR LOCATION AND EXTENT ARE NOT CERTIFIED.

LOCATION OF EXISTING PROPERTY MARKERS NOT SHOWN OR CERTIFIED BY THIS SURVEY.

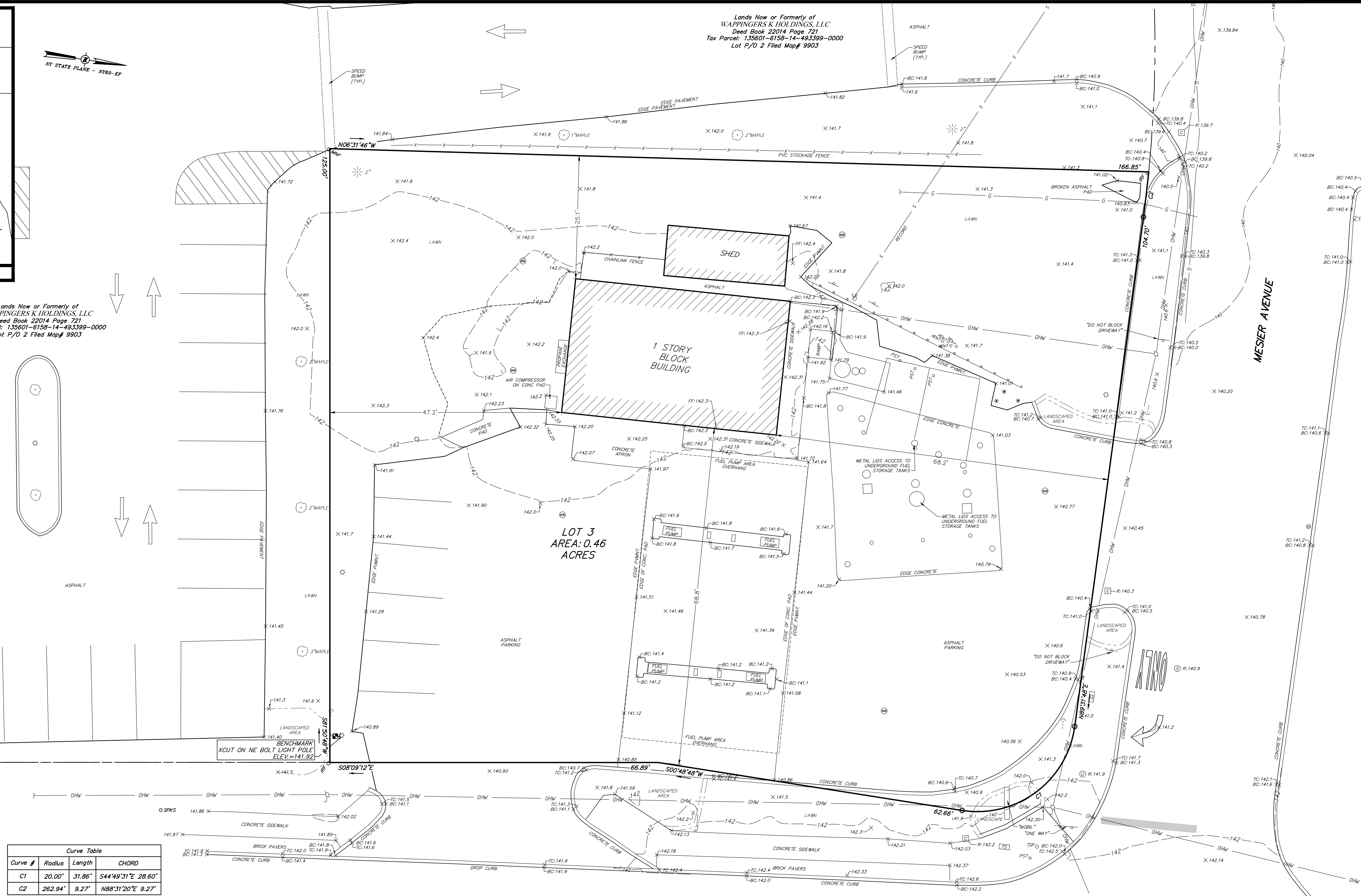
NORTH ORIENTATION IS PER NEW YORK STATE PLANE EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83). BEARINGS SHOWN ARE REFERENCED TO THIS DATUM AND THEREFORE MAY NOT MATCH RECORDED BEARINGS.

BUILDING SHOWN HEREON SERVED BY UNDERGROUND UTILITIES.

SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.

TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM A FIELD SURVEY COMPLETED FEBRUARY 17, 2020 BY CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C. DATUM NAVD-88, 1 FOOT CONTOUR INTERVAL.

THE CONTRACTOR SHALL COMPLY WITH NEW YORK STATE INDUSTRIAL CODE RULE 753 - 48 HOURS PRIOR TO DIGGING CALL DISSEMINATE NEW YORK 1-800-962-7962 TO HAVE PUBLIC UTILITY LOCATIONS PAINTED.

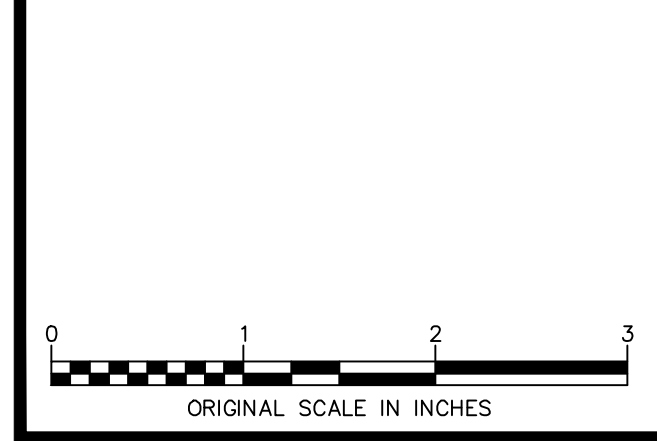


Curve #	Radius	Length	CHORD
C1	20.00'	31.86'	544'49"31"E 28.60'
C2	262.94'	9.27'	N88°31'20"E 9.27'

TAX PARCEL DESIGNATION:
TOWN OF WAPPINGER, DUTCHESS COUNTY, NEW YORK
6158-14-498418

FLOOD ZONE NOTE:
THE PROPERTY IS SHOWN TO LIE WITHIN "OTHER AREAS ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR THE VILLAGE OF WAPPINGERS FALLS (COMMUNITY NUMBER 3602223), DUTCHESS COUNTY, NEW YORK, MAP NUMBER 36027C045EE, HAVING AN EFFECTIVE DATE OF MAY 2, 2012

DEED REFERENCE:
CRIMINAL REALTY CO. LLC TO GAS LAND HOLDINGS CORP. DATED JUNE 3, 2015 AND RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE ON JUNE 5, 2015 IN DEED DOCUMENT 02-2015-3284.



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I HEREBY CERTIFY THAT THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON FEBRUARY 17, 2020 THAT THIS SURVEY MAP WAS MADE BY ME OR UNDER MY DIRECTION AND CONFORMS WITH THE MINIMUM STANDARD OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

JASON M. TOMMELL, L.S. #50605

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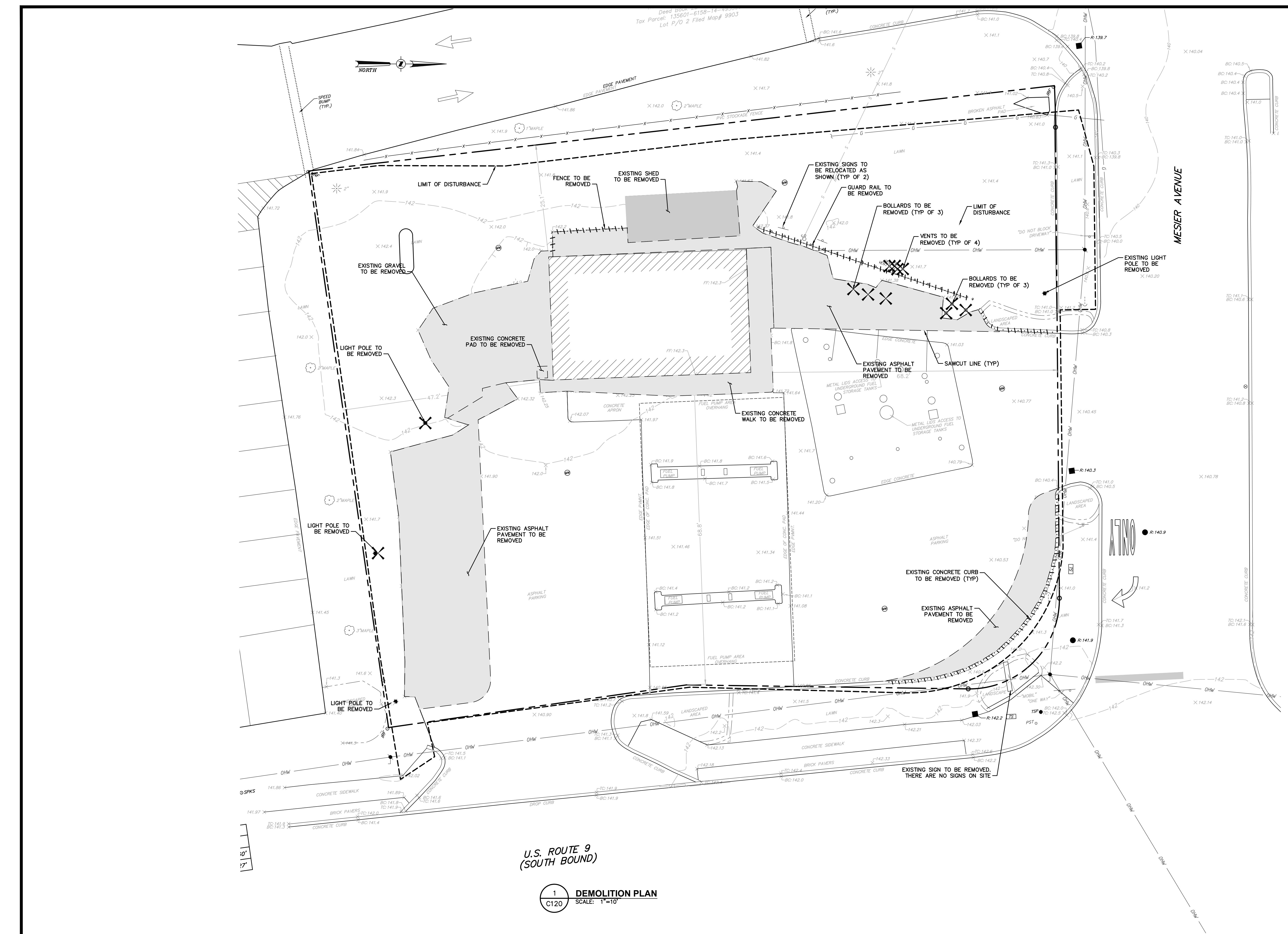
rev.	date	description
1	4/24/20	REVISED SANITARY SEWER INFORMATION

1663 ROUTE 9 - LOT 3

MAP OF EXISTING CONDITIONS PREPARED FOR GAS LAND HOLDINGS

WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
EAL	JMT
3/11/20	1"=10'
project no.	82010.00
sheet no.	SV1
	2 OF 14



LEGEND:

---	LOT LINE
- - - - -	EXISTING FEATURE TO BE REMOVED
---	WORKLIMITS
- - - - -	PAVEMENT SAWCUT LINE
⊗	EXISTING TREE TO BE REMOVED
⊗	EXISTING SITE FEATURE TO BE REMOVED
▨	EXISTING PAVEMENT & SIDEWALK TO BE REMOVED
▨	EXISTING BUILDING TO BE REMOVED
□	TREE PROTECTION FENCING
N.I.C.	NOT IN CONTRACT
⊗	EXISTING STRUCTURE TO BE REMOVED, N.I.C.

- DEMOLITION NOTES:**
- REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENTS CONTROL PLANS & NOTES PRIOR TO COMMENCEMENT OF WORK.
 - BUILDING/STRUCTURE TO BE DEMOLISHED ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE NOT TO BE DEMOLISHED AS PART OF THIS WORK. PRIOR TO DEMOLISHING ANY BUILDINGS/STRUCTURES, THE CONTRACTOR SHALL PERFORM A PRE-DEMOLITION SURVEY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS GOVERNING THE DISPOSAL OF SOLID WASTE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE AUTHORITY HAVING JURISDICTION.
 - CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND HAILING, DISPOSAL AND STORAGE OF DEBRIS.
 - PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
 - MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
 - NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
 - PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
 - LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
 - DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
 - PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
 - CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.
 - MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS, OR SIDEWALKS WITHOUT PERMITS. COORDINATE W/ AUTHORITY HAVING JURISDICTION.
 - CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
 - ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
 - FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
 - CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE DEMOLITION OPERATIONS.
 - CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
 - USE WATER MIST, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING ICING, FLOODING, AND TRANSPORTING POLLUTANTS.
 - REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
 - CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
 - PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN DEMOLISHED MATERIALS ON-SITE.

U.S. ROUTE 9
(SOUTH BOUND)

1 DEMOLITION PLAN
SCALE: 1"=10'

PLANNING BOARD APPROVAL
VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS

PLAN OF _____ AT _____
APPROVED AT THE PLANNING BOARD MEETING

HELD ON _____ SIGNED BY _____
CONDITIONS: _____

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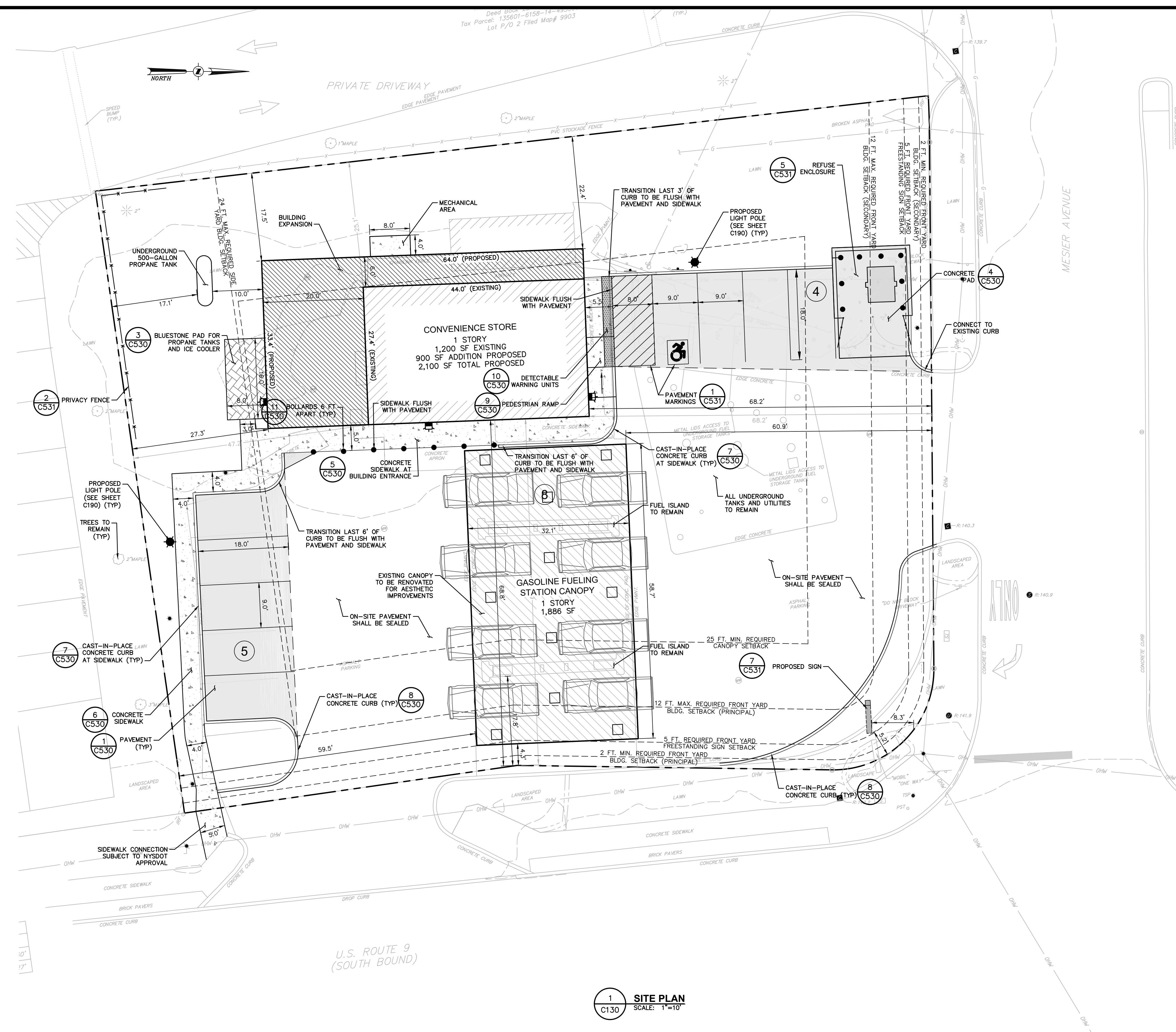
rev.	date	description
6	12/21/20	REVISED PER DOH COMMENTS.
5	11/12/20	NO CHANGES THIS SHEET.
4	10/15/20	NO CHANGES THIS SHEET.
3	09/21/20	INITIAL SUBMISSION TO DOH.
2	09/10/20	REVISED PER VILLAGE COMMENTS.
1	05/14/20	THIS SHEET ADDED.

1663 ROUTE 9 - GAS LAND - MESIER MOBIL

DEMOLITION PLAN

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
SPL	CPL
date	scale
03/12/20	1"=10'
project no.	
82010.00	
sheet no.	
	C120



LEGEND:

- LOT LINE
- - - SETBACK LINE
- SETBACK LINE
- ▭ BUILDING
- ▭ PAVED ROAD / DRIVEWAY / PARKING AREA
- ▭ ROAD CENTER LINE
- ▭ SIDEWALK
- WORKLIMITS
- GUIDERAIL
- CHAIN LINK FENCE
- STOCKADE FENCE
- ▭ CONCRETE
- ▭ ROAD LINING & STRIPING

- GENERAL CONSTRUCTION/ SITE PLAN NOTES:**
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
 - ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
 - ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY.
 - ALL ARCHITECTURE IS SUBJECT TO PLANNING BOARD REVIEW.
 - NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
 - THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
 - CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
 - NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
 - ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE, SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.
 - NO MATERIALS ARE TO BE STORED ON SIDEWALK AROUND THE BUILDING, AS THIS WOULD HINDER ACCESS FROM THE PARKING SPACES TO THE STORE.

- LAYOUT NOTES:**
- BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.

- PAVING NOTES:**
- NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
 - SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITIONS" CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
 - PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STRIKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SCREED. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
 - PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAYS WORK.
 - TACK COAT WHEN SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
 - TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITION", SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 - TACK COAT SHALL BE IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
 - REMOVE LOOSE AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
 - APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES & AND SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTING INTO OR ABUTTING PAVEMENT. DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
 - TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
 - AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

PLANNING BOARD APPROVAL
VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS
 PLAN OF _____ AT
 APPROVED AT THE PLANNING BOARD MEETING

HELD ON _____ SIGNED BY _____
 CONDITIONS: _____

1 SITE PLAN
 C130 SCALE: 1"=10'

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1	05/14/20	REVISED PER VILLAGE COMMENTS.

1663 ROUTE 9 - GAS LAND - MESIER MOBIL

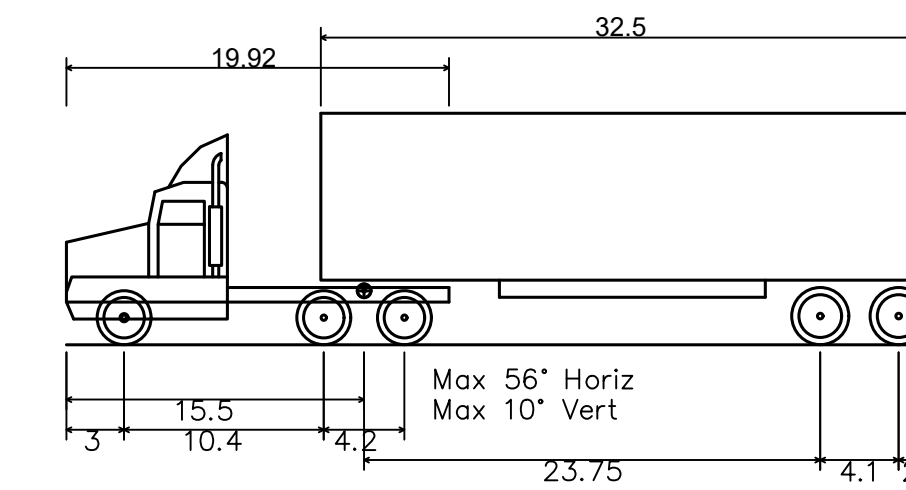
SITE PLAN

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
SPL	CPL
date	scale
03/12/20	1"=10'
project no.	
82010.00	
sheet no.	
	C130

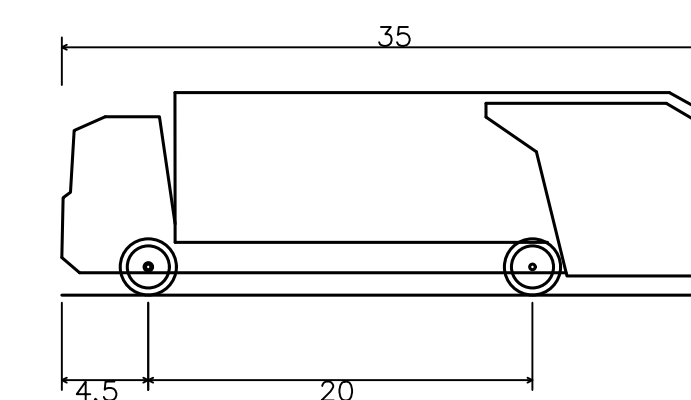


1 CUSTOM TRUCK MOVEMENT PLAN
SCALE: 1"=20'



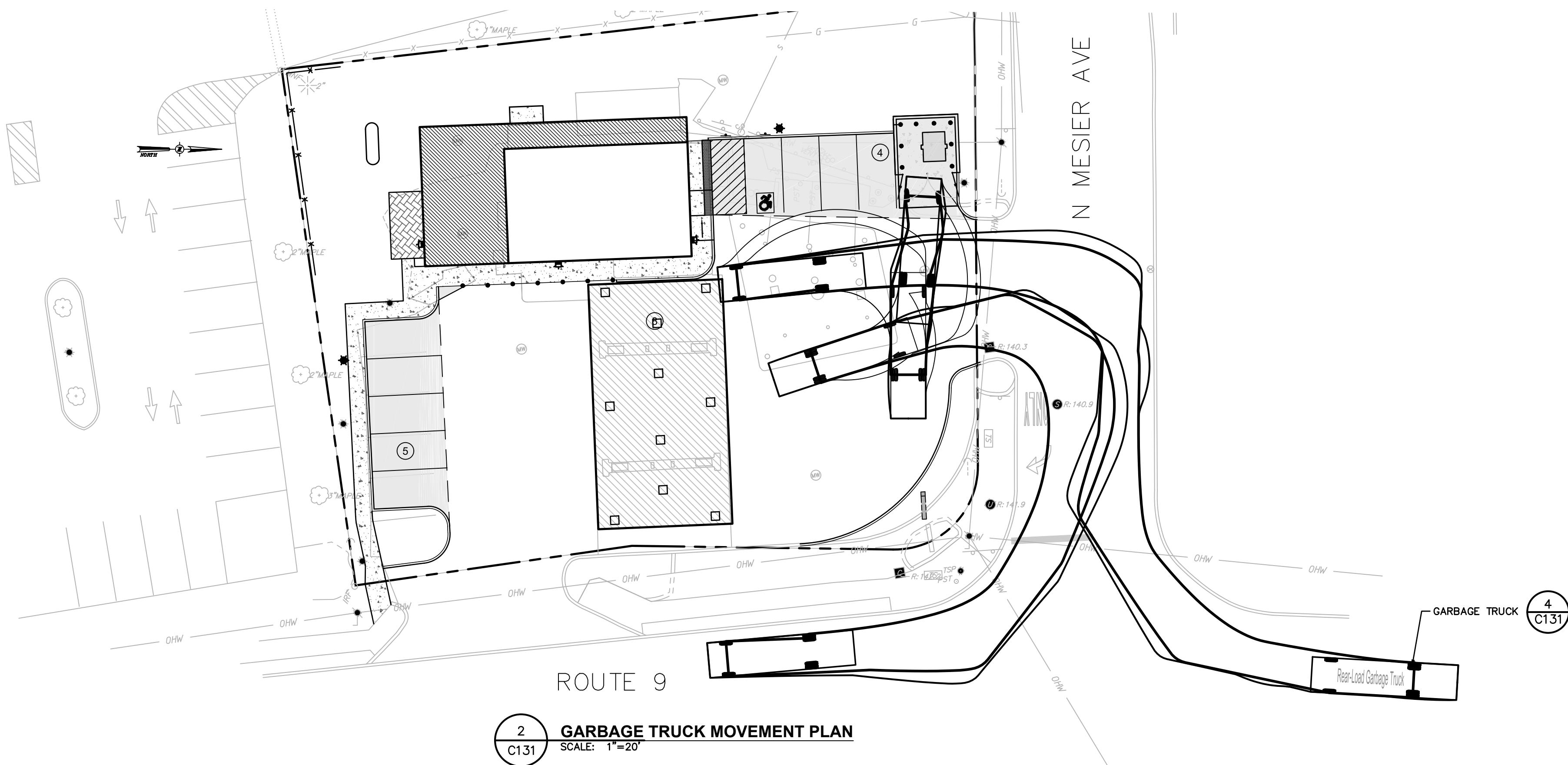
Custom Truck
Overall Length 45.750ft
Overall Width 8.500ft
Overall Body Height 12.052ft
Min Body Ground Clearance 1.334ft
Max Track Width 8.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 17.90°

3 CUSTOM TRUCK
SCALE: 1"=10'



Garbage Truck
Overall Length 35.000ft
Overall Width 8.375ft
Overall Body Height 10.546ft
Min Body Ground Clearance 1.000ft
Track Width 8.375ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 29.300ft

4 GARBAGE TRUCK
SCALE: 1"=10'



2 GARBAGE TRUCK MOVEMENT PLAN
SCALE: 1"=20'

PLANNING BOARD APPROVAL
VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS
PLAN OF _____ AT
APPROVED AT THE PLANNING BOARD MEETING

HELD ON _____ SIGNED BY _____
CONDITIONS: _____

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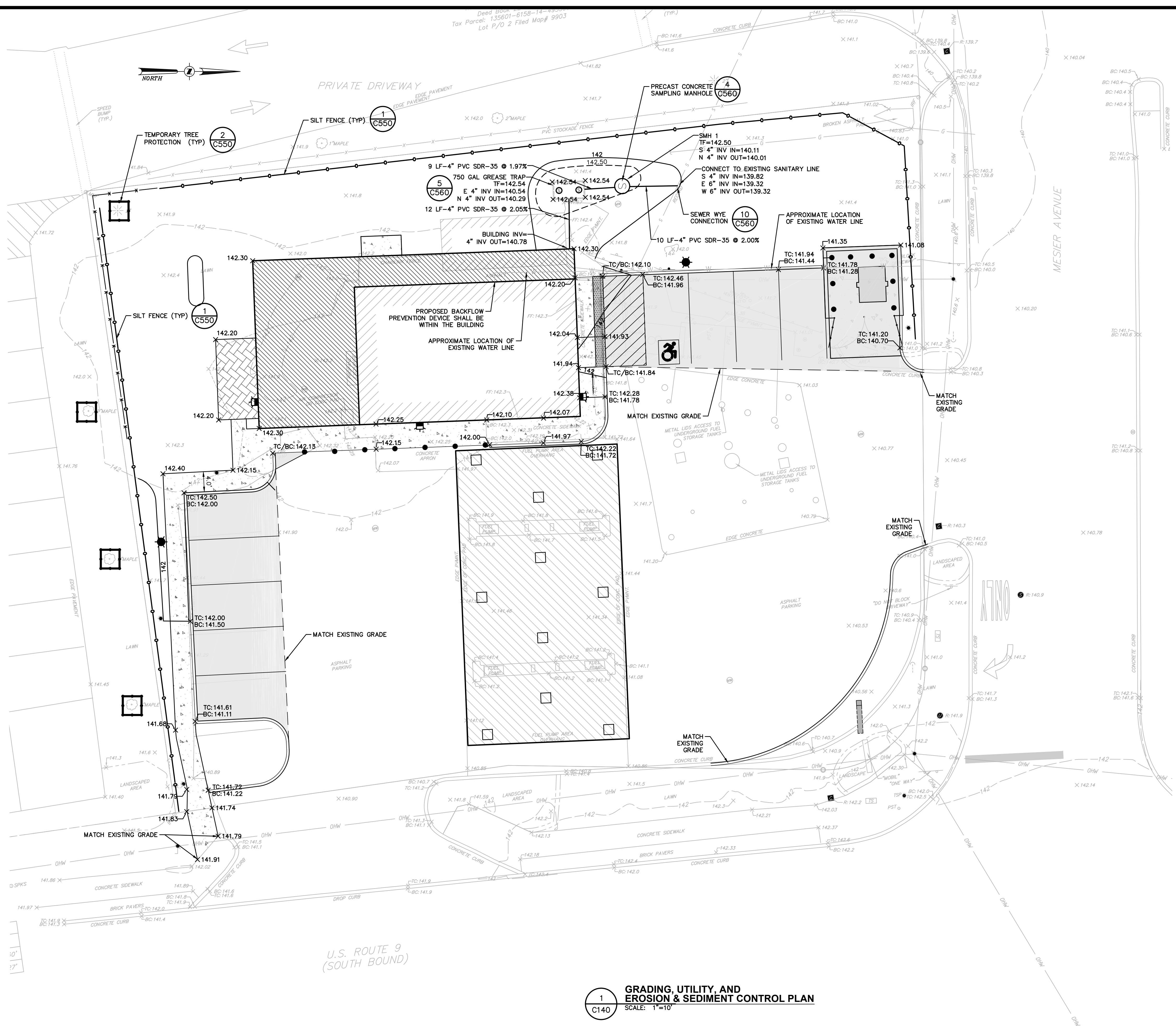
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1663 ROUTE 9 - GAS LAND - MESIER MOBIL

VEHICLE MOVEMENT PLAN

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
SPL	CPL
date	scale
03/12/20	1"=10'
project no.	
82010.00	
sheet no.	
C131	



- LEGEND:**
- LOT LINE
 - 500 10 FT CONTOUR
 - 448 2 FT CONTOUR
 - 501.25 SPOT ELEVATIONS
 - ~~~~~ TREE LINE
 - ~~~~~ SHRUB LINE
 - DRAINAGE SWALE
 - ORANGE CONSTRUCTION FENCE
 - SILT FENCE / FIBER LOG
 - CHECK DAM WITH DITCH FLOW DIRECTION
 - TEMPORARY DIVERSION SWALE
 - STRAW BALE DIKE / FIBER ROLL
 - FILTER FABRIC DROP INLET PROTECTION
 - STONE & BLOCK DROP INLET PROTECTION
 - CATCH BASIN GRATE DROP INLET PROTECTION
 - CATCH BASIN SILT SAC DROP INLET PROTECTION
 - CONCRETE WASH OUT AREA
 - TREE PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE

- GRADING NOTES:**
- PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
 - BLASTING IS NOT PERMITTED IN THE VILLAGE OF WAPPINGERS FALLS.
 - STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LAWN AND PLANTING AREAS ONLY. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN.
 - BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE, OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.
 - REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.
 - IF PREVIOUSLY UNKNOWN CULTURAL, ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. CONSTRUCTION IN THAT AREA SHALL RESUME ONLY AFTER COMPLETION OF FEDERAL, TRIBAL, AND STATE COORDINATION TO DETERMINE WHETHER PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.

EROSION & SEDIMENT CONTROL NOTES:
 1. SEE SHEET C550 FOR EROSION AND SEDIMENT CONTROL NOTES.

PLANNING BOARD APPROVAL
VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS
 PLAN OF _____ AT _____
 APPROVED AT THE PLANNING BOARD MEETING

HELD ON _____ SIGNED BY _____
 CONDITIONS: _____

1
GRADING, UTILITY, AND EROSION & SEDIMENT CONTROL PLAN
 SCALE: 1"=10'

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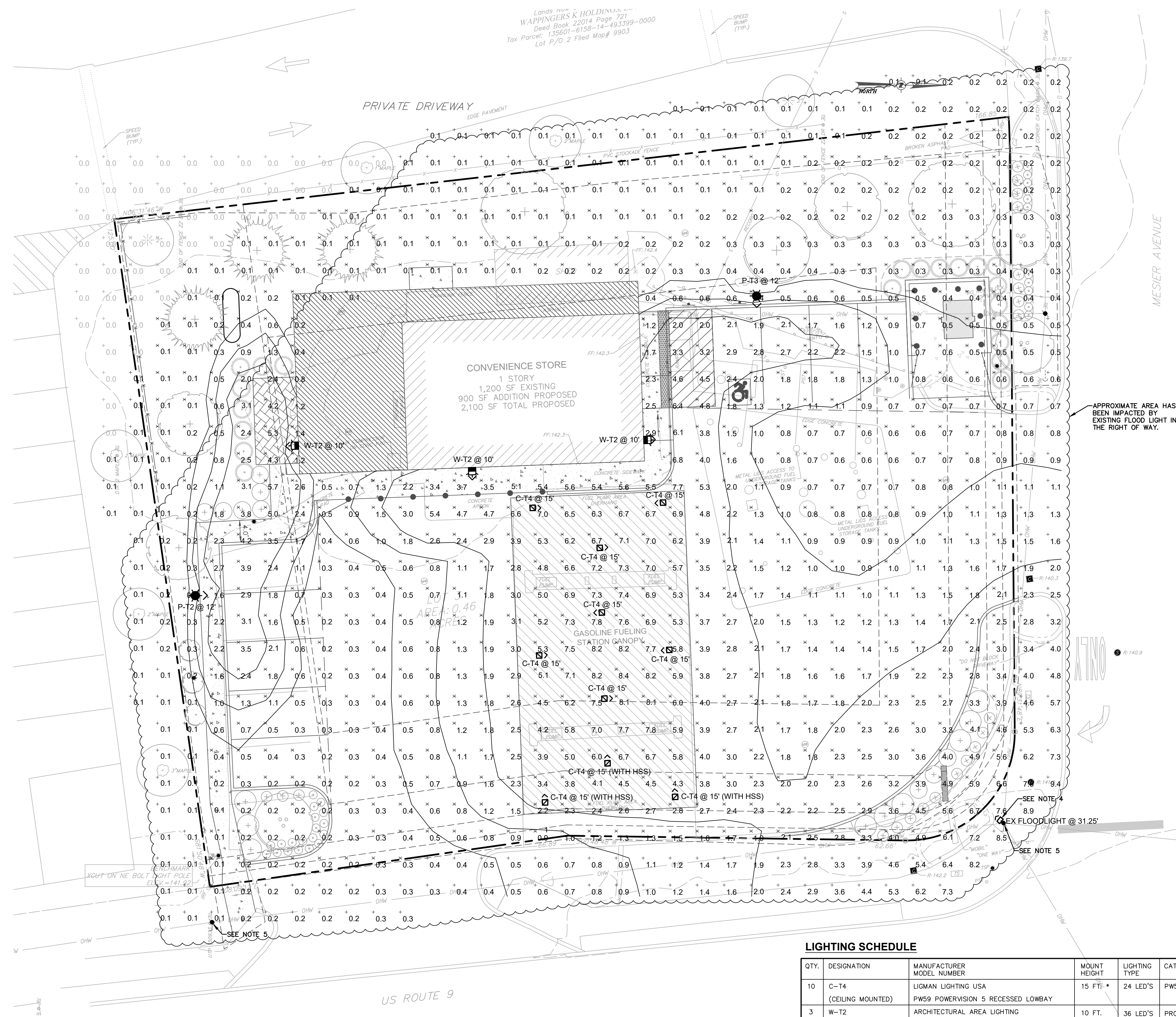
1663 ROUTE 9 - GAS LAND - MESIER MOBIL

GRADING, UTILITY, AND EROSION & SEDIMENT CONTROL PLAN

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

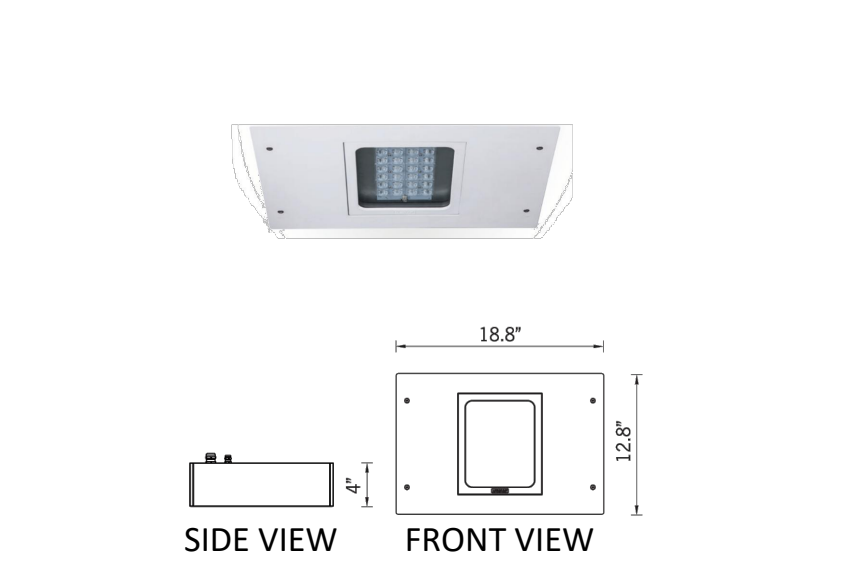
designed	checked
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03/12/20	1"=10'
project no.	
82010.00	
sheet no.	
	C140

Lands Held by
WAPPINGERS FALLS HOLDINGS, LLC
 Deed Book 22014 Page 721
 Tax Parcel: 135601-6158-14-48339-0000
 Lot P/O 2 Filed Map# 9903



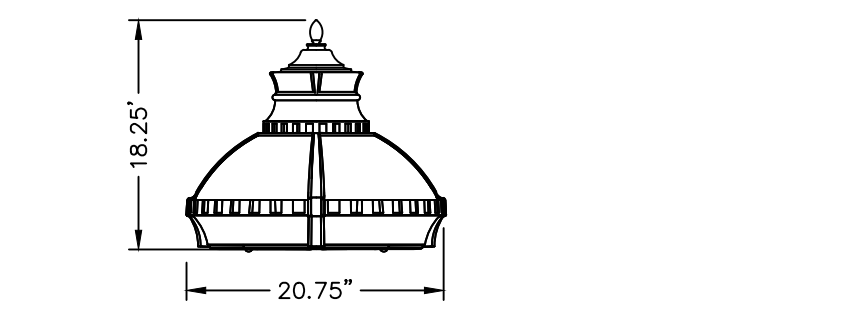
- LIGHTING NOTES:**
- GRID NUMBERS SHOWN REPRESENT FOOT CANDLE VALUES AT GROUND PLANE.
 - THE LIGHTING FIXTURES, SURFACE LOCATIONS AND ASSOCIATED PHOTOMETRIC VALUES ARE IDENTIFIED BY THE CHAZEN COMPANIES. DETAILED DESIGN OF THE LIGHTING SPECIFICATIONS, FOUNDATION DESIGN, LIGHTING CONDUIT, WIRING, AND CONTROL CIRCUITRY SHALL BE BY OTHERS.
 - IF DISCREPANCIES EXIST BETWEEN THE LIGHTING SCHEDULE AND LIGHTING PLAN, THE PLAN SHALL DICTATE.
 - THE EXISTING FLOODLIGHT FACING PROJECT SITE IS A METAL HALIDE, 1,000W AND 110,000 LUMENS. LEN IS 31'-3" ABOVE GROUND. ASSUMED LIGHT LOSS FACTOR IS 0.7.
 - THE EXISTING STREET LIGHT THAT IS FACING ROUTE 9 HAVE NOT BEEN INCLUDED IN THIS PHOTOMETRIC ANALYSIS.

- LIGHTING LEGEND:**
- PROPOSED BUILDING
 - PROPOSED POST TOP LIGHT FIXTURE
 - PROPOSED WALL MOUNTED LIGHT FIXTURE
 - PROPOSED CANOPY LIGHT FIXTURE
 - FOOT CANDLE SPOT VALUES
 - PHOTOMETRIC CONTOUR
 - EXISTING UTILITY POLE
 - EXISTING UTILITY POLE WITH EXISTING LIGHT FIXTURE



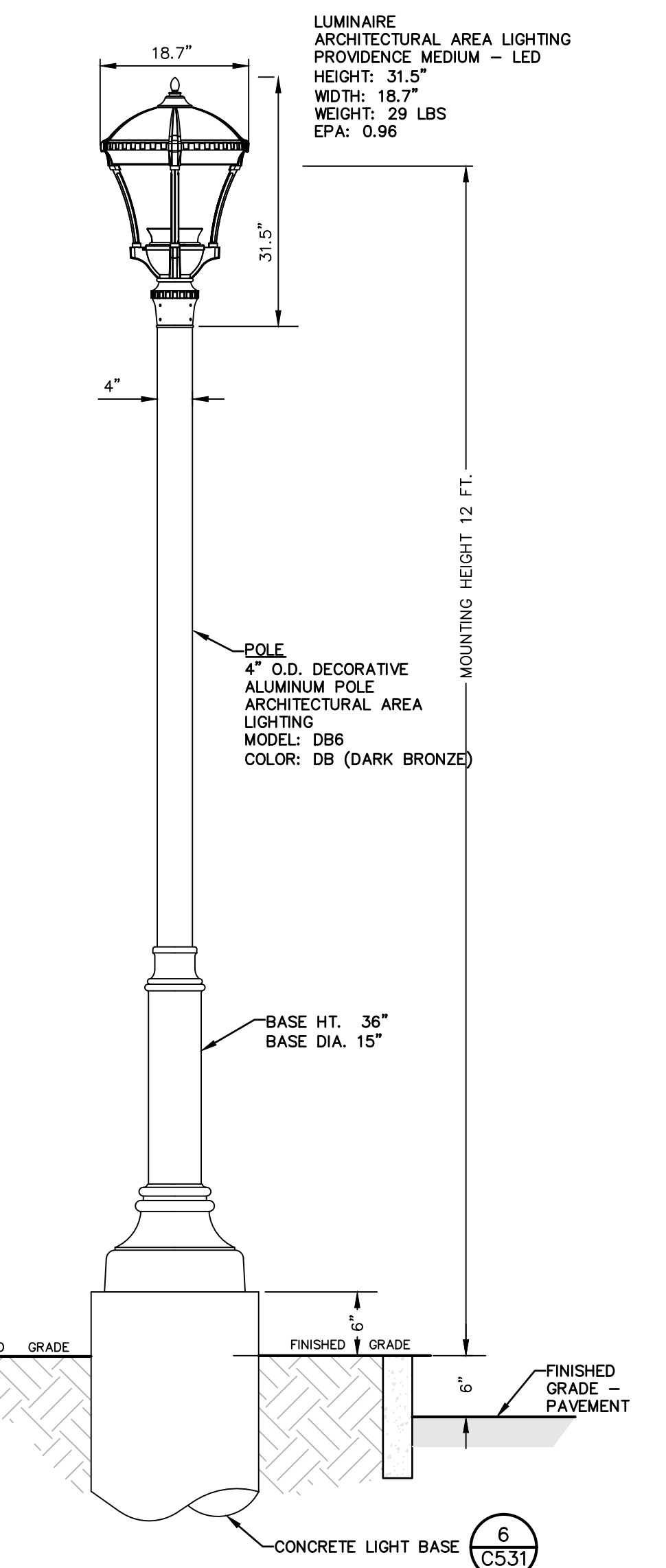
LED CANOPY LUMINAIRE:
 LIGMAN LIGHTING USA
 MODEL NUMBER: PWS9 POWERVISION 5 RECESSED LOWBAY

2 CANOPY LIGHT FIXTURE DETAIL
 SCALE: NTS



MANUFACTURER: ARCHITECTURAL AREA LIGHTING
 MODEL: PROVIDENCE WALL SCONCE - LED

3 WALL MOUNTED LIGHT FIXTURE DETAIL
 SCALE: NTS



4 POST TOP LIGHT FIXTURE DETAIL
 SCALE: NTS

LIGHTING STATISTICS

STATISTICAL ZONE	AVERAGE	MAXIMUM	AVE./MAX
ENTIRE SITE TO PL	1.8 fc	8.4 fc	0.2 : 1
UNDER CANOPY PLUS 5 FT (ONLY)	5.1 fc	8.4 fc	0.6 : 1

LIGHTING SCHEDULE

QTY.	DESIGNATION	MANUFACTURER MODEL NUMBER	MOUNT HEIGHT	LIGHTING TYPE	CATALOG NUMBER	WATTS	LUMENS	COLOR TEMPERATURE	LLF
10	C-T4 (CEILING MOUNTED)	LIGMAN LIGHTING USA PWS9 POWERVISION 5 RECESSED LOWBAY	15 FT. *	24 LED'S	PWS9-GP028-T4-27 **	27	3484	2700K	0.92
3	W-T2 (WALL MOUNTED)	ARCHITECTURAL AREA LIGHTING PROVIDENCE WALL SCONCE - LED	10 FT.	36 LED'S	PROV2-36L-295-27K7-2-CL-HS	34.1	1,683.5	2700K	0.92
2	P-T2 AND P-T3 (POST TOP)	ARCHITECTURAL AREA LIGHTING PROVIDENCE MEDIUM - LED	12 FT.	36 LED'S	PROV2-36L-295-27K7-2-CL-HS PROV2-36L-295-27K7-3-CL-HS	34.1	1,683.5 1,677.1	2700K	0.92

* MEASURED TO UNDERSIDE OF CANOPY.
 ** (3) CEILING MOUNTED FIXTURES THAT ARE CLOSEST TO THE PROPERTY LINE NEED HOUSE SIDE SHIELD.

1 PHOTOMETRIC PLAN
 SCALE: 1"=10'

PLANNING BOARD APPROVAL
 VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS
 PLAN OF _____ AT
 APPROVED AT THE PLANNING BOARD MEETING

HELD ON _____ SIGNED BY _____
 CONDITIONS: _____

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PHOTOMETRIC PLAN

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed TCC checked CPL
 date 03/12/20 scale 1"=10'
 project no. 82010.00
 sheet no. **C190**

SPDES GENERAL PERMIT GP-0-20-001 COMPLIANCE NOTES:

1. THE TOTAL AREA OF DISTURBANCE PLANNED FOR THIS PROJECT IS LESS THAN 1 ACRE THEREFORE A SPDES GENERAL PERMIT (GP-0-20-001) IS NOT REQUIRED.

CONSTRUCTION SEQUENCING NOTES:

1. PRIOR TO COMMENCING ANY CLEARING, GRUBBING, EARTHWORK ACTIVITIES, ETC. AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, TREE PROTECTION/BARRIER FENCES, STABILIZED CONSTRUCTION ENTRANCES, STORM DRAIN SEDIMENT FILTERS, DRAINAGE DITCH SEDIMENT FILTERS, ETC.) INDICATED ON THE PROJECT DRAWINGS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THEIR TRIBUTARY AREAS.
2. THE CONTRACTOR SHALL CLEAR AND GRUB THE AREA OF THE STORMWATER MANAGEMENT FACILITIES. THIS AREA SHALL NOT EXCEED FIVE (5) ACRES IN EXTENT WITHOUT TEMPORARY STABILIZATION.
3. THE STORMWATER DETENTION BASIN SHALL BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL THE OUTLET CONTROL STRUCTURES AND THE EARTHEN BERM. THE BASIN SHALL BE GRADED TO THE TOP OF THE AQUATIC BENCH AS INDICATED IN THE TYPICAL STORMWATER MANAGEMENT BASIN SECTION PRESENTED IN THE PROJECT DRAWINGS.
4. PRIOR TO COMMENCING CLEARING, GRUBBING AND/OR EARTHWORK ACTIVITIES IN ANY OTHER AREA OF THE SITE, THE CONTRACTOR SHALL INSTALL INLET AND OUTLET PROTECTION MEASURES (RIPRAP OVERFLOW WEIR(S), CULVERT INLET/OUTLET PROTECTION, ETC.) AND SHALL STABILIZE THE AREAS DISTURBED DURING THE CONSTRUCTION OF THE SEDIMENT BASIN.
5. THE CONTRACTOR SHALL INSTALL TEMPORARY DIVERSION MEASURES WITH ASSOCIATED STABILIZATION MEASURES (I.E., VEGETATIVE COVER, DRAINAGE DITCH SEDIMENT FILTERS, STORM DRAIN SEDIMENT FILTERS, ETC.) TO ASSURE THAT STORMWATER RUNOFF IS CONVEYED TO THE TEMPORARY SEDIMENT BASIN.
6. TEMPORARY DIVERSION MEASURES SHALL BE LOCATED IN A MANNER THAT WILL ASSURE THAT THE AREA TRIBUTARY TO EACH DIVERSION DOES NOT EXCEED FIVE (5) ACRES. THESE TEMPORARY DIVERSION MEASURES SHALL BE INSPECTED DAILY AND REPAIRED/STABILIZED AS NECESSARY TO MINIMIZE EROSION.
7. THE CONTRACTOR SHALL COMMENCE SITE CONSTRUCTION ACTIVITIES INCLUDING CLEARING & GRADING OF THE PROPOSED AREA OF DISTURBANCE AS REQUIRED.
8. INSTALL PROTECTIVE MEASURES AT THE LOCATIONS ALL GRATE INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES.
9. CONSTRUCT ALL UTILITIES, CURB AND GUTTER, GUTTER INLETS, AREA INLETS, AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIP-RAP AT LOCATIONS SHOWN ON THE PLANS.
10. FINALIZE PAVEMENT SUB-GRADE PREPARATION.
11. REMOVE PROTECTIVE MEASURES AROUND INLETS AND MANHOLES NO MORE THAN 24 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
12. INSTALL SUB-BASE MATERIAL AS REQUIRED FOR PAVEMENT.
13. PRIOR TO FINALIZING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY, ALL CATCH BASINS AND DRAINAGE LINES SHALL BE CLEANED OF ALL SILT AND SEDIMENT.
14. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY ESTABLISH PERMANENT VEGETATION ON THE AREAS DISTURBED DURING THEIR REMOVAL.

EROSION AND SEDIMENT CONTROL MEASURES:

1. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
2. AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:

PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE:
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.

SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCK PILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

STORM DRAIN INLET PROTECTION:
INSPECT ALL STORM DRAIN INLET PROTECTION DEVICES EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT FROM THE POOL AREA AS NECESSARY.

DEWATERING PITS:
(IF REQUIRED) - INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DISMANTLED AND CONSTRUCT NEW PITS AS NEEDED.

SNOW AND ICE CONTROL:
PARKING LOTS, ROADWAYS, AND DRIVEWAYS ADJACENT TO WATER QUALITY FILTERS SHALL NOT BE SANDED DURING SNOW EVENTS DUE TO HIGH POTENTIAL FOR CLOGGING FROM SAND IN SURFACE WATER RUNOFF. USE SALT ONLY FOR SNOW AND ICE CONTROL.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016.
2. EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTALL SILT FENCE AROUND SOIL STOCKPILES.
3. APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
4. SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
7. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

TOPSOIL SPECIFICATIONS:

1. EXISTING EXCESS TOPSOIL SHALL BE REMOVED AND STORED IN TOPSOIL STOCKPILES SUFFICIENTLY REMOVED FROM OTHER EXCAVATION OR DISTURBANCE TO AVOID MIXING. SILT FENCE SHALL BE INSTALLED AROUND TOPSOIL STOCKPILE AREAS.

SITE PREPARATION:

1. COMPLETE ROUGH GRADING AND FINAL GRADE, ALLOWING FOR DEPTH OF TOPSOIL TO BE ADDED.
2. SCARIFY ALL COMPACT, SLOWLY PERMEABLE, MEDIUM AND FINE TEXTURED SUBSOIL AREAS. SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5%.
3. REMOVE REFUSE, WOODY PLANT PARTS, STONES OVER 3 INCHES IN DIAMETER, AND OTHER LITTER.

TOPSOIL MATERIALS:

1. NEW TOPSOIL SHALL BE BETTER THAN OR EQUAL TO THE QUALITY OF THE EXISTING ADJACENT TOPSOIL. IT SHALL MEET THE FOLLOWING CRITERIA:
 - A. ORIGINAL LOAM TOPSOIL, WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL (HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL)
 - B. CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
 - C. CONTAINING A PH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
 - D. CONTAINING THE FOLLOWING WASHED GRADATIONS:

SIEVE DESIGNATION	% PASSING
1/4"	97-100
NO 200	20-60

APPLICATION AND GRADING:

1. TOPSOIL SHALL BE DISTRIBUTED TO A UNIFORM DEPTH OF 4" OVER THE AREA. IT SHALL NOT BE PLACED WHEN IT IS PARTLY FROZEN, MUDDY, OR ON FROZEN SLOPES OR OVER ICE, SNOW, OR STANDING WATER.
2. TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5% SHALL BE PROMPTLY FERTILIZED, SEEDDED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.

VEGETATIVE COVER SPECIFICATIONS:

TEMPORARY VEGETATIVE COVER (DURING CONSTRUCTION):

1. SITE PREPARATION (SAME AS PERMANENT VEGETATIVE COVER)
2. SEED MIX: (APPLY AT RATE OF 3 TO 4 LBS PER 1000 SF)

AMOUNT BY:	MINIMUM %
WEIGHT SPECIES OR VARIETY	PURITY GERMINATION
50% KENTUCKY BLUE GRASS*	95% 80%
20% PERENNIAL RYE	98% 90%
30% CREEPING RED FESCUE	97% 85%
100% ANNUAL RYEGRASS	98% 90%
3. SEEDING (SAME AS PERMANENT VEGETATIVE COVER)

PERMANENT VEGETATIVE COVER (AFTER CONSTRUCTION):

1. SITE PREPARATION
 - A. BRING AREA TO BE SEEDDED TO REQUIRED GRADE. A MINIMUM OF 4" OF TOPSOIL IS REQUIRED.
 - B. PREPARE SEEDBED BY LOOSENING SOIL TO A DEPTH OF 4 INCHES.
 - C. REMOVE ALL STONES OVER 1 INCH IN DIAMETER, STICKS AND FOREIGN MATTER FROM THE SURFACE.
 - D. LIME TO PH OF 6.5.
 - E. FERTILIZER: USE 5-10-5 (NPK) OR EQUIVALENT. APPLY AT RATE OF 4 LBS/1000 SF.
 - F. INCORPORATE LIME AND FERTILIZER IN THE TOP 4 INCHES OF TOPSOIL.
 - G. SMOOTH AND FIRM THE SEEDBED.
2. SEED MIXTURE FOR USE ON LAWN AREAS: PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS.

LAWN SEED MIX: (APPLY AT RATE OF 5 TO 6 LBS PER 1000 SF)

SUN AND PARTIAL SHADE:

AMOUNT BY:	MINIMUM %
WEIGHT SPECIES OR VARIETY	PURITY GERMINATION
50% KENTUCKY BLUE GRASS*	95% 80%
20% PERENNIAL RYE	98% 90%
30% CREEPING RED FESCUE	97% 85%
100% ANNUAL RYEGRASS	98% 90%

*MINIMUM 2 (EQUAL PROPORTIONS) VARIETIES AS LISTED IN CORNELL RECOMMENDATIONS FOR TURFGRASS.

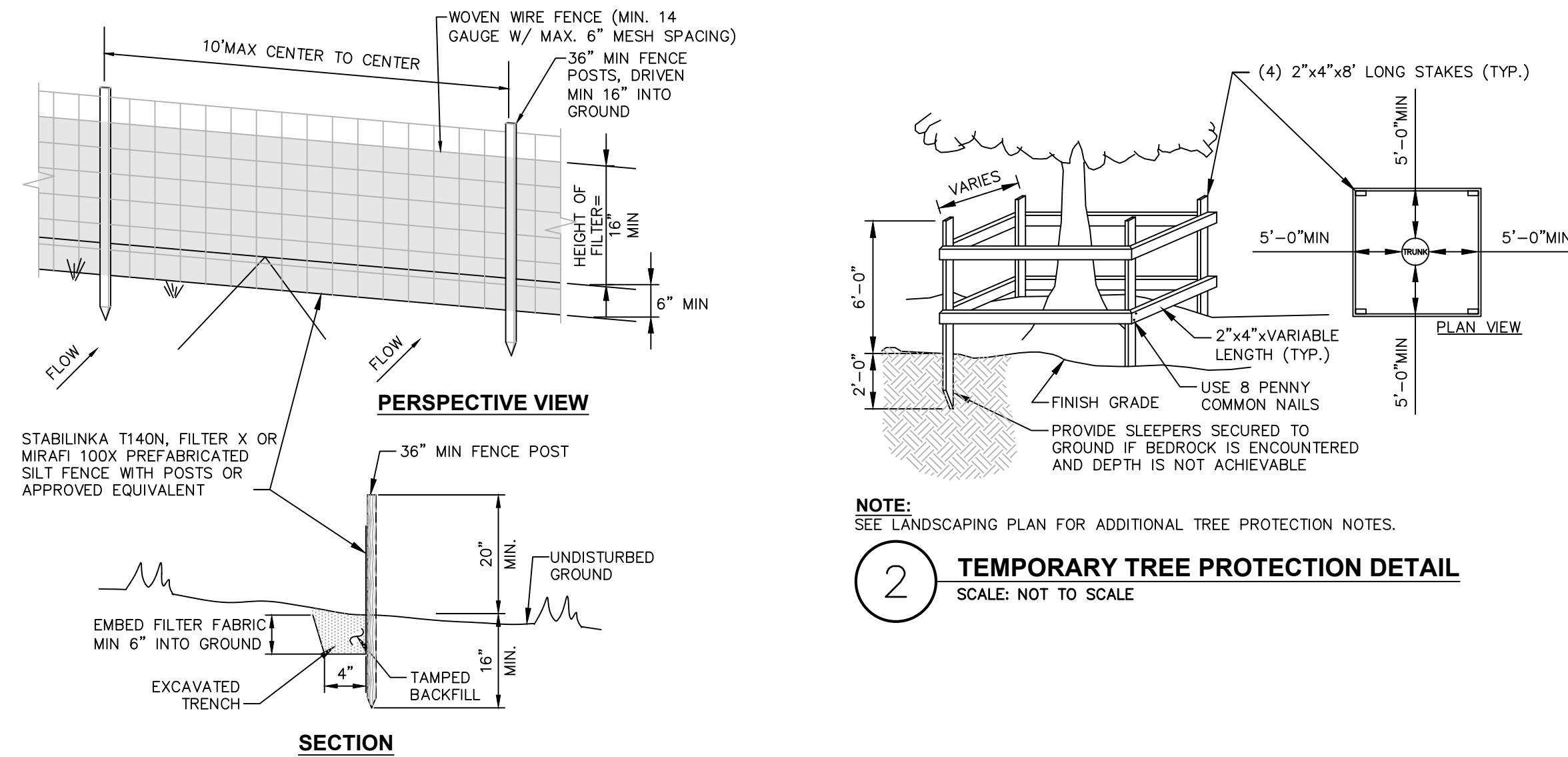
SHADE:

AMOUNT BY:	MINIMUM %
WEIGHT SPECIES OR VARIETY	PURITY GERMINATION
25% KENTUCKY BLUE GRASS**	95% 80%
20% PERENNIAL RYE	98% 90%
35% CREEPING RED FESCUE	97% 85%
20% CHEWINGS RED FESCUE	97% 85%
100% ANNUAL RYEGRASS	98% 90%

**SHADE TOLERANT VARIETY

3. SEEDING
 - A. APPLY SEED UNIFORMLY BY CYCLONE SEEDER CULTI-PACKER OR HYDRO-SEEDER AT RATE INDICATED.
 - B. ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
 - i. A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS /ACRE MIN., TO BE APPLIED ONCE SEEDING IS COMPLETE.
 - ii. WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY HYDROSEEDER AT RATE OF 2,000 LBS/ACRE.
 - C. ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.
 - D. RIPRAP TO FULLY SATURATE SOIL LAYER, BUT NOT TO DISLodge PLANTING SOIL.
 - E. UNPAVED AREAS SHALL BE MULCHED WITHIN 14 DAYS AFTER SEEDING. SEED FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO OCTOBER 15TH.

LOCATION	COMPACTION	TESTING FREQUENCY
PIPE TRENCH BACKFILL (IN PAVED AREAS)	95% ASTM D1557	1 SERIES OF TESTS FOR EACH 150 FT OR LESS OF TRENCH LENGTH. SERIES INCLUDE 3 COMPACTION TESTS SPREAD EVENLY ALONG TRENCH PROFILE.
PIPE TRENCH BACKFILL (IN UNPAVED AREAS)	90% ASTM D1557	1 SERIES OF TESTS FOR EACH 150 LF OR LESS OF TRENCH LENGTH. SERIES INCLUDE 3 COMPACTION TESTS SPREAD EVENLY ALONG TRENCH PROFILE.
PIPE BEDDING AND PIPE ZONE BACKFILL	95% ASTM D1557	1 TEST FOR EACH 150 FT OR LESS OF TRENCH LENGTH.
PAVEMENT SUBBASE AND LAST LIFT OF SELECT GRANULAR FILL (FILL BETWEEN SHEET PILES)	95% ASTM D1557	1 TEST FOR EVERY 2,000 SQ FT. OF LIFT AREA BUT NO FEWER THAN TWO TESTS PER LIFT



2 TEMPORARY TREE PROTECTION DETAIL
SCALE: NOT TO SCALE

NOTES:

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OR HARDWOOD.
2. FILTER FABRIC TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE.
6. SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
7. SILT FENCE SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
8. MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUN-OFF TO A SILT FENCE ARE:

SLOPE STEEPNESS	MAXIMUM SLOPE LENGTH(FT)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

1 SILT FENCE INSTALLATION DETAIL
SCALE: NOT TO SCALE

PLANNING BOARD APPROVAL
VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS
PLAN OF _____ AT
APPROVED AT THE PLANNING BOARD MEETING
HELD ON _____ SIGNED BY _____
CONDITIONS: _____

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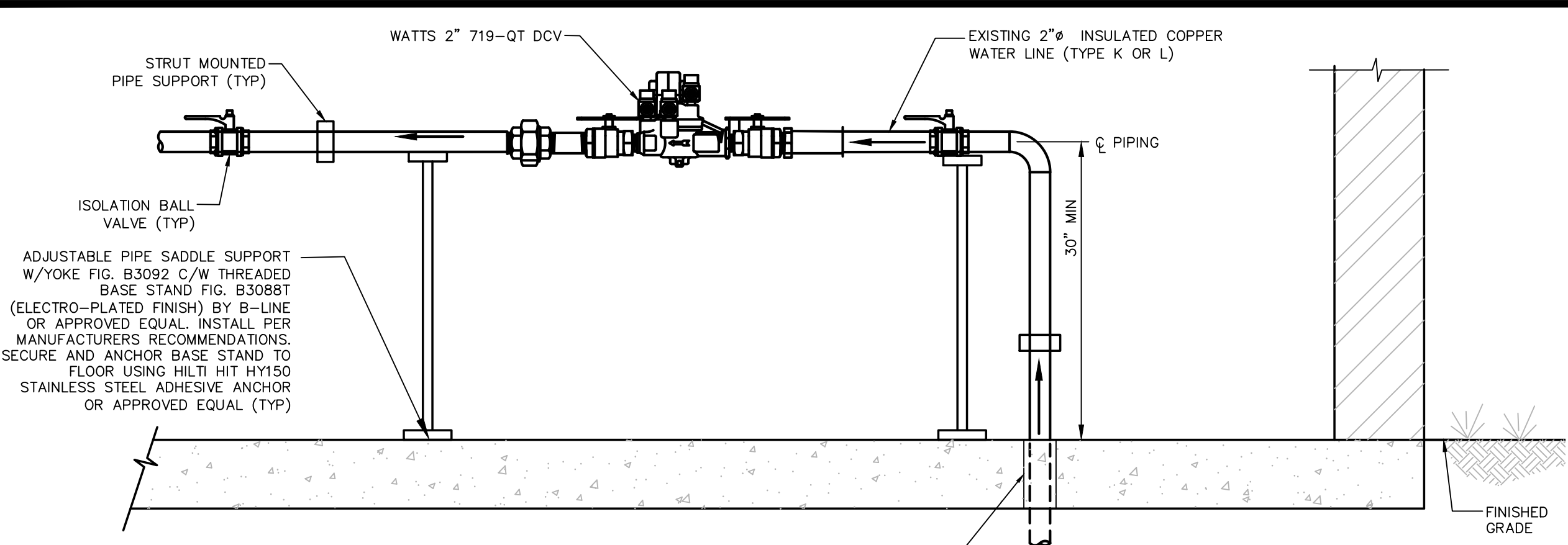
rev.	date	description
5	12/21/20	NO CHANGES THIS SHEET.
4	11/12/20	NO CHANGES THIS SHEET.
3	10/15/20	NO CHANGES THIS SHEET.
2	09/10/20	REVISED PER VILLAGE COMMENTS.
1	05/14/20	THIS SHEET ADDED.

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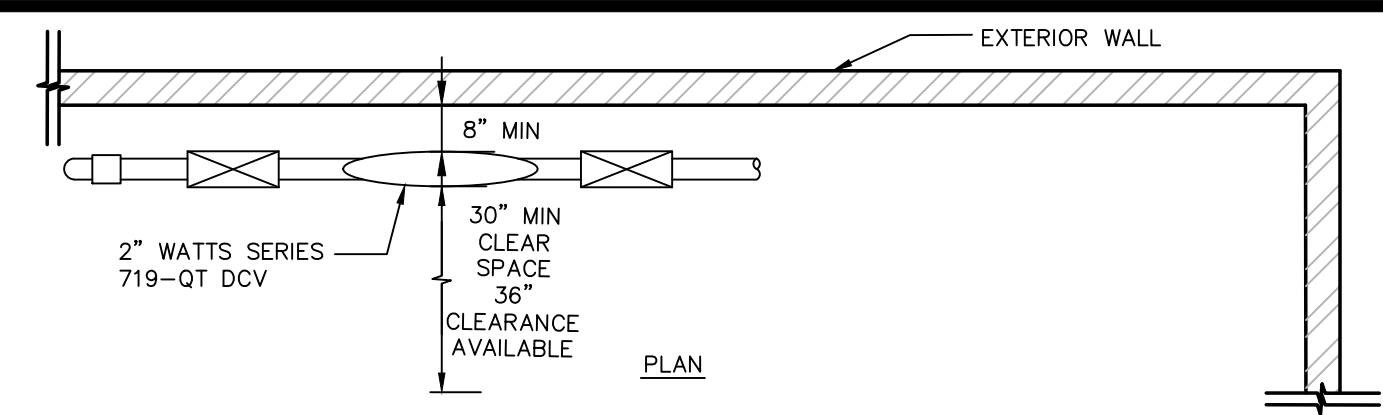
**EROSION & SEDIMENT CONTROL
DETAILS AND NOTES**

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

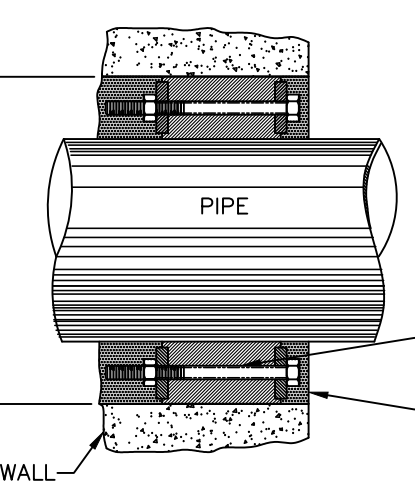
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- NOTES:**
- ALL DOUBLE CHECK VALVE (DCV) AND REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED AS PER THE JANUARY 1992 NYSDOH "GUIDELINES FOR DESIGNING BACKFLOW PREVENTION ASSEMBLY INSTALLATIONS".
 - PROVIDE THE FOLLOWING CLEARANCES FOR MAINTENANCE OF THE BACKFLOW PREVENTION DEVICE:
 - 12" MIN CLEAR SPACE ABOVE THE ASSEMBLY
 - 30" MIN CLEAR SPACE BETWEEN THE FRONT SIDE OF THE DEVICE AND THE NEAREST WALL OR OBSTRUCTION
 - 8" MIN CLEAR SPACE FROM THE BACK SIDE OF THE DEVICE TO THE NEAREST WALL OR OBSTRUCTION
 - 18" MIN CLEARANCE BETWEEN THE BOTTOM OF THE RELIEF VALVE AND THE FLOOR (RPZ ONLY)
 - AN AIR GAP OF AT LEAST TWICE THE DIAMETER OF THE DRAIN LINE SHALL BE PROVIDED ABOVE THE FLOOR DRAIN. THE AIR GAP SHALL IN NO CASE BE LESS THAN 1" (RPZ ONLY)
 - FOLLOWING COMPLETION OF THE INSTALLATION, THE OWNER SHALL BE RESPONSIBLE FOR TESTING. THE BACKFLOW PREVENTION DEVICE SHALL BE TESTED BY A NYSDOH FORM 1013 AND PROVIDED TO OWNER AND DCOH.
 - THE OWNER SHALL BE RESPONSIBLE FOR TESTING ALL BACKFLOW PREVENTION DEVICES AT LEAST ANNUALLY. THE TEST SHALL BE COMPLETED BY A NYS CERTIFIED TESTER WITH A COPY OF THE INSPECTION AND TEST REPORT (DOH-1013) FORWARDED TO DUTCHESS COUNTY WATER & WASTEWATER AUTHORITY AND THE DUTCHESS COUNTY DEPARTMENT OF HEALTH.
 - ALL BACKFLOW PREVENTION DEVICES SHALL BE COMPLETELY DISASSEMBLED AND RE-ASSEMBLED EVERY FIVE (5) YEARS FOR MAINTENANCE PURPOSES.



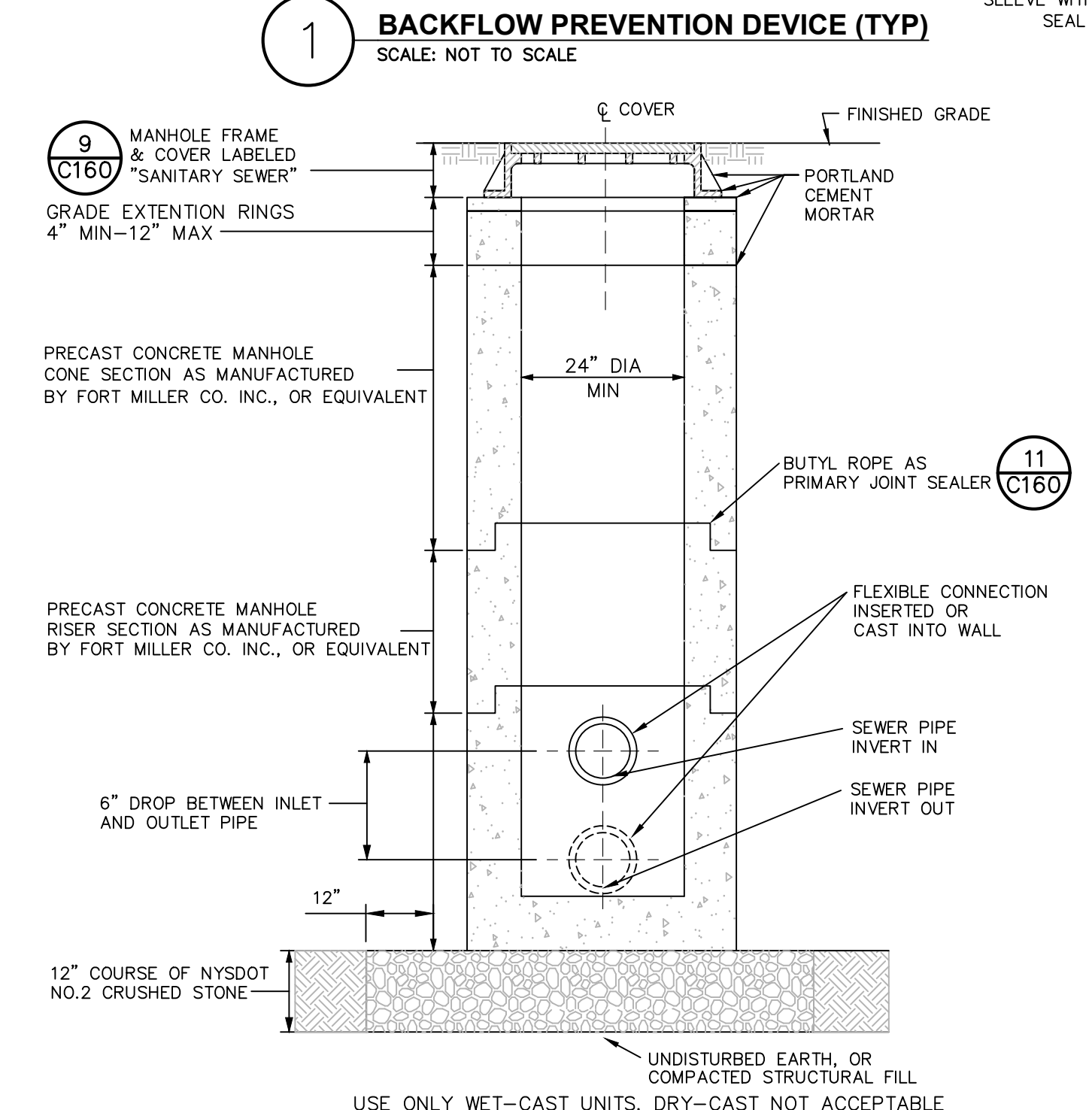
2 DOUBLE CHECK VALVE ASSEMBLY - PLAN VIEW
SCALE: NOT TO SCALE



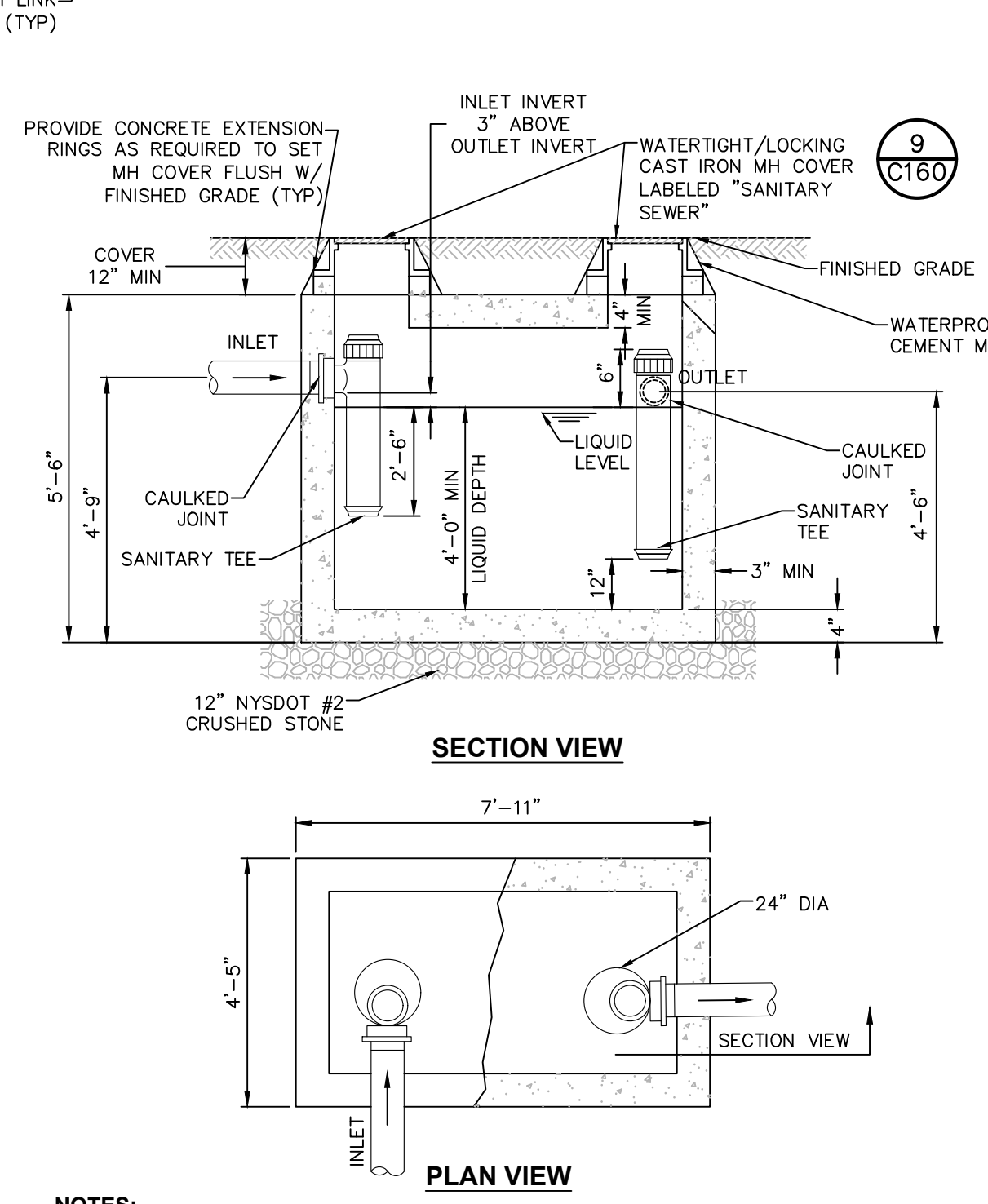
3 LINK SEAL DETAIL
SCALE: NOT TO SCALE

DUTCHESS COUNTY DEPARTMENT OF HEALTH STANDARD NOTES FOR PUBLIC WATER SYSTEMS:

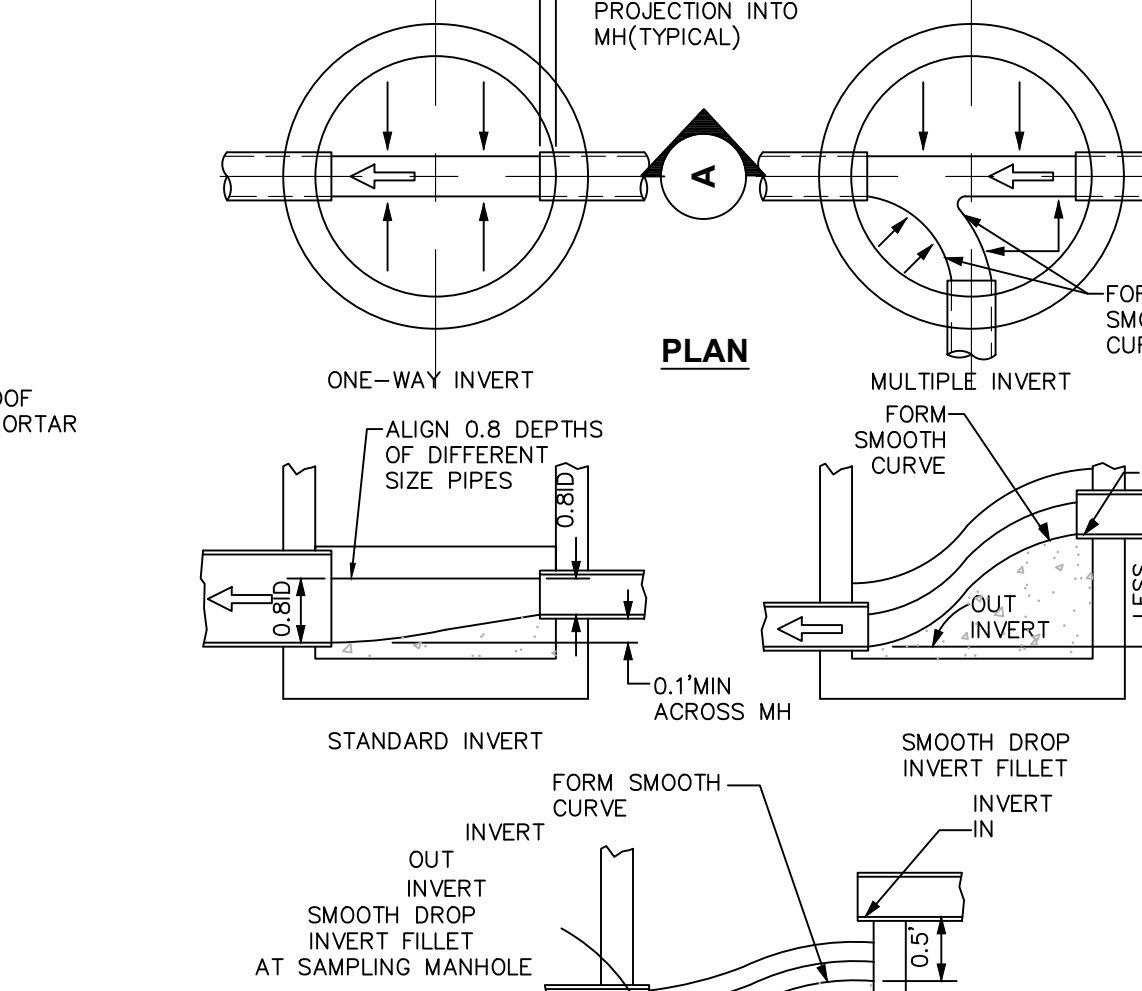
- THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
 - RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES)
 - NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS;
 - DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES;
 - DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER;
 - DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER;
- THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT.
- UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC ESD BY THE NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SUPERVISING ENGINEER. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC ESD.
- APPROVAL OF ANY PLAN(S) OR AMENDMENT THEREO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.
- IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC ESD FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL SUPERVISING ENGINEER THAT THE TANKS AND RECEIVING TRENCHES SHALL BE PROPERLY SEaled, WATER-TIGHT AND ACCEPTABLE FOR USE. THE CONTRACTOR SHALL OBSERVE THAT IT IS IN FACT SEALED, WATER-TIGHT AND ACCEPTABLE FOR USE. THE CONTRACTOR SHALL ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.
- NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE WASTEWATER TREATMENT SYSTEM.
- THE DC ESD SHALL BE NOTIFIED PRIOR TO THE BACKFILLING OF ANY COMPLETED WASTEWATER TREATMENT SYSTEM SO THAT A FINAL INSPECTION MAY BE PERFORMED.
- THE DC ESD SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE RE-APPROVAL BY THE DC ESD.
- ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
- THE UNDERSIGNED OWNERS OF THE PROPERTY HEREBY STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREOF.



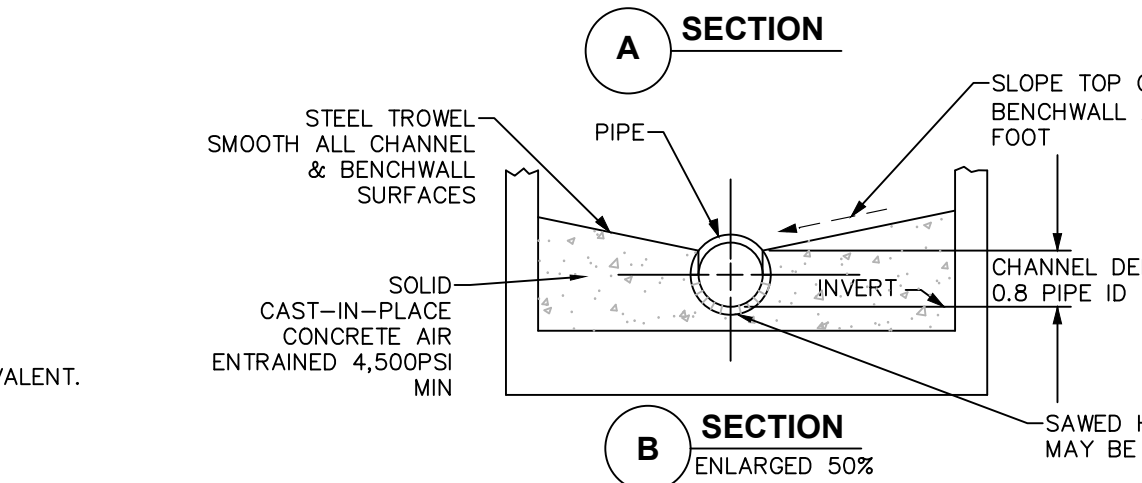
4 PRECAST CONCRETE SAMPLING MANHOLE
SCALE: NOT TO SCALE



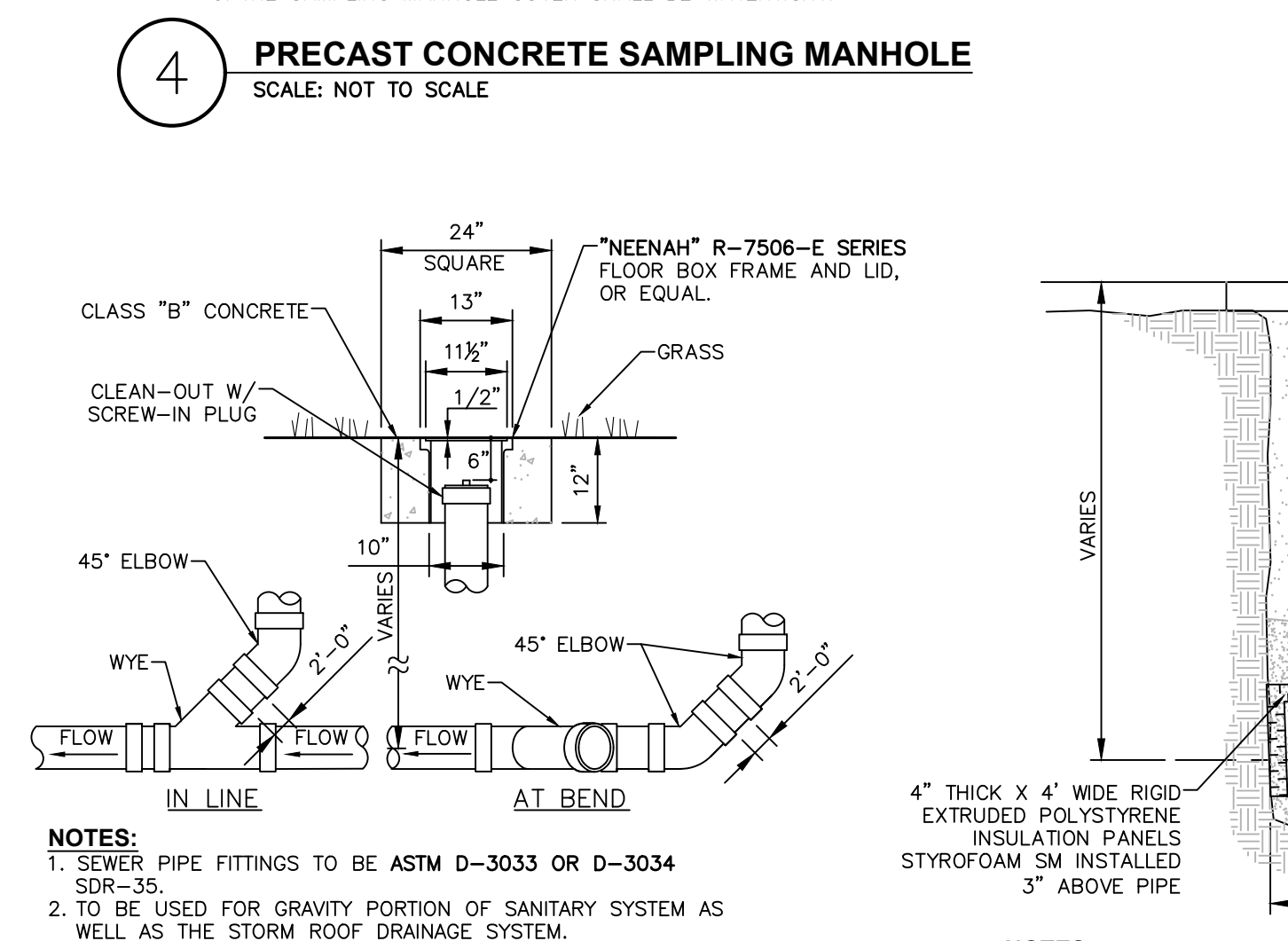
5 750 GAL SEAMLESS CONCRETE GREASE TRAP
SCALE: NOT TO SCALE



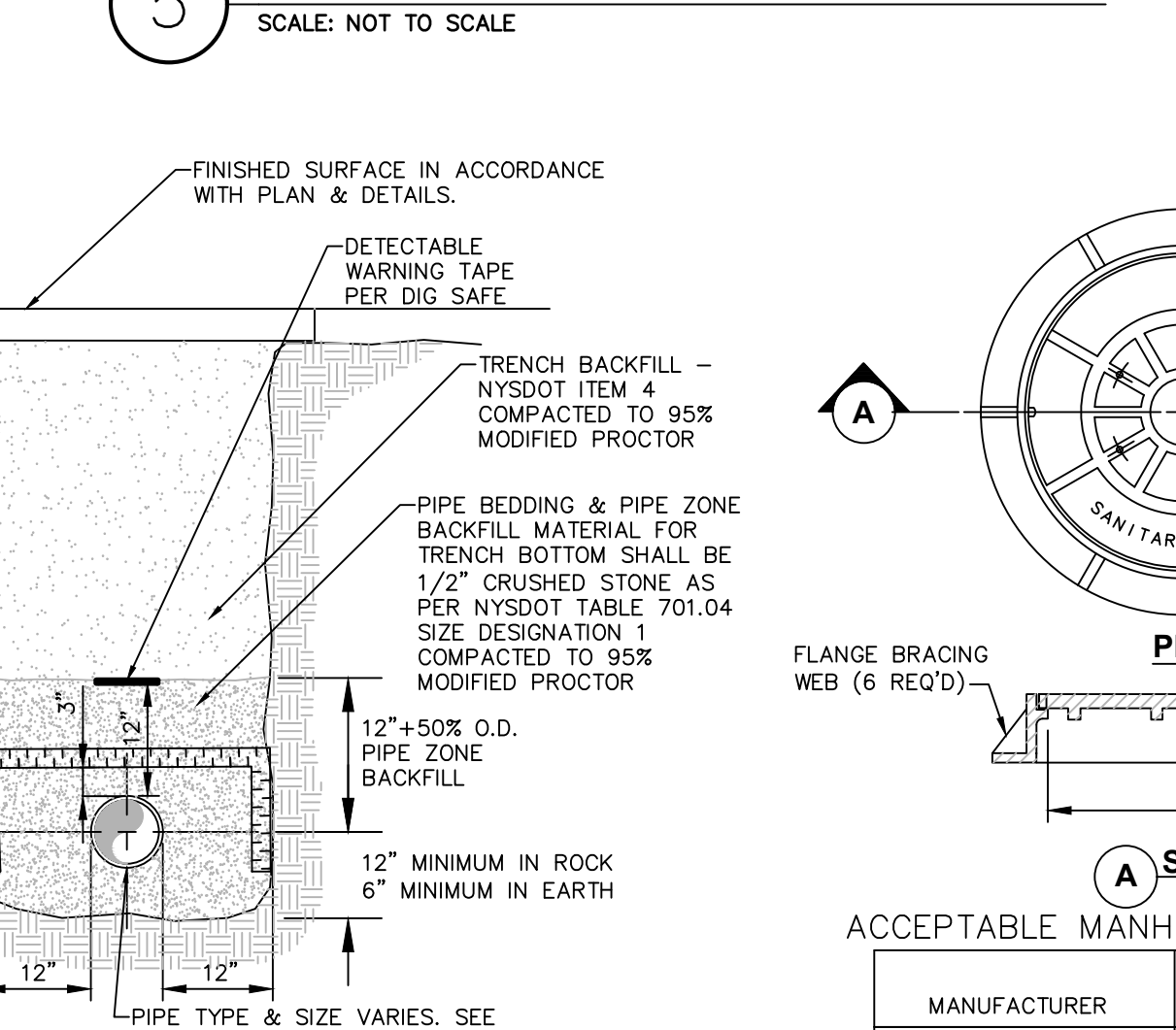
6 INVERT, CHANNEL AND BENCHWALLS
SCALE: NOT TO SCALE



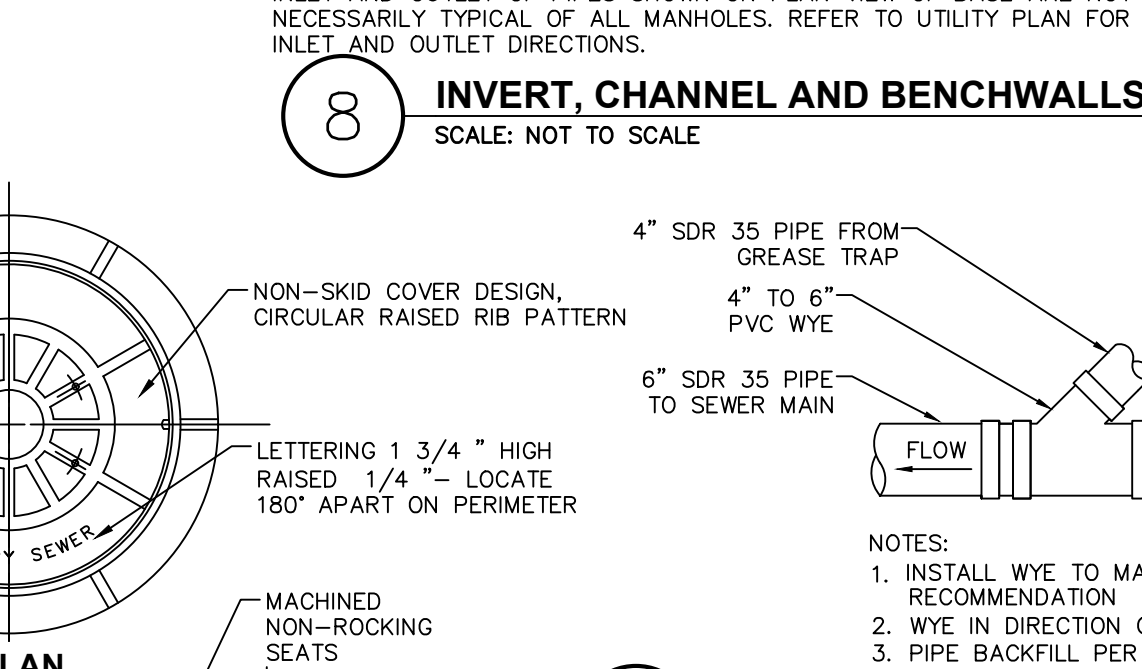
7 GREASE TRAP SIZING CALCULATIONS:



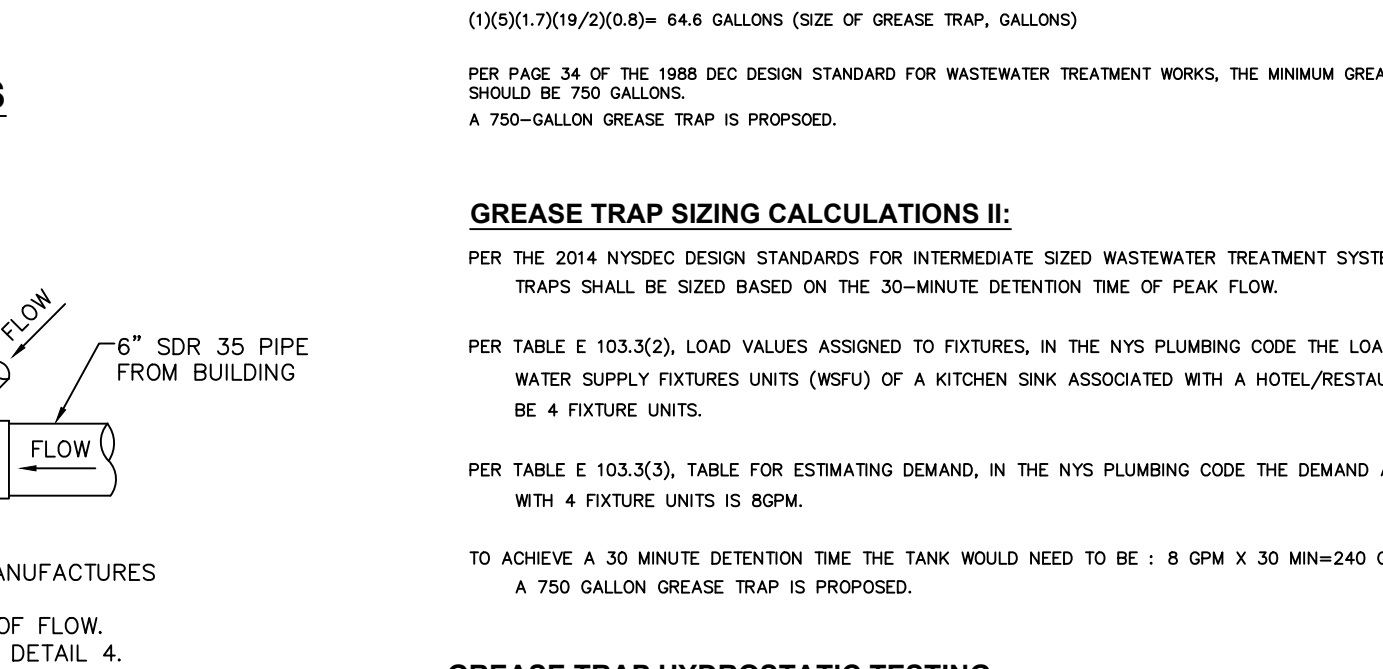
8 CLEAN OUT - NON TRAFFIC AREAS
SCALE: NOT TO SCALE



9 PIPE TRENCH DETAIL (TYPICAL)
SCALE: NOT TO SCALE



10 4\"/>



11 MANHOLE JOINT
SCALE: NOT TO SCALE

- SANITARY SEWER NOTES:**
- FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAIN: ALL DISCHARGES TO THE SANITARY SEWER SHALL COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL SANITARY CODE.
 - SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE SEWER SERVICE BOARD. SANITARY SEWER SYSTEM COMPONENTS SHALL BE INSTALLED BY OR UNDER THE SUPERVISION OF A LICENSED PLUMBER IN ACCORDANCE WITH THE PLUMBING CODE.
 - MAJOR EARTHWORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY SANITARY SEWER MAINS AND APPURTENANCES. ALL CONNECTING SEWER LINES SHALL BE FLUGHED BEFORE INSTALLATION.
 - CLEARANCE SEWER MAINS ARE TO BE POLYVINYL CHLORIDE (PVC) SDR-21. PROJECT SANITARY LATERALS SHALL BE PVC, SDR-35, UNLESS OTHERWISE NOTED.
 - FINAL SEWER COLLECTION SYSTEM LAYOUT IS SUBJECT TO REVIEW, REVISION AND APPROVAL BY THE SEWER DEPARTMENT.
 - ALL SANITARY PIPE AND/OR MANHOLES SHALL BE A MINIMUM OF TEN (10) HORIZONTAL FEET FROM THE WATER MAIN. SANITARY PIPE SHALL HAVE A MINIMUM 18\"/>

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 - THE UNDERSIGNED OWNERS OF THE PROPERTY HEREBY STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREOF.

- TESTING GRAVITY SEWER SYSTEM:**
- CONTRACTOR SHALL INSPECT AND TEST THE INSTALLATIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION WHEN WORK IS READY FOR TESTING. AFTER ALL TESTS HAVE BEEN PERFORMED, EVIDENCE OF COMPLIANCE SHALL BE FORWARDED TO OWNER/ENGINEER AND THE AUTHORITY HAVING JURISDICTION PRIOR TO ACCEPTANCE.
 - THE CONTRACTOR SHALL TEST AND INSPECT FOR ALIGNMENT OF ALL SANITARY SEWERS.
 - EACH MANHOLE-TO-MANHOLE SECTION SHALL BE REJECTED OR ACCEPTED BASED ONLY ON RESULTS OF ITS OWN INDEPENDENT SECTION TEST AND NOT ON RESULTS OF ANY ONE TEST RUN SIMULTANEOUSLY OVER MORE THAN ONE CONSECUTIVE MANHOLE-TO-MANHOLE SECTION, THE ONLY EXCEPTION ALLOWED: ACCEPTING SEVERAL CONSECUTIVE MANHOLE-TO-MANHOLE SECTIONS BASED ON ONE COMBINED INFILTRATION TEST INDICATING ZERO INFILTRATION.
 - LOW PRESSURE AIR TESTING SHALL BE PERFORMED UNDER DIRECTION OF ENGINEER ACCORDING TO ASTM F1417. LOW PRESSURE AIR TEST IS A COMPARISON OF THE MEASURED TIME TO THE NECESSARY TIME FOR ONE (1) PSI PRESSURE DROP TO OCCUR, IF AT ALL, WITH MINIMUM ALLOWABLE TIME FOR THAT PRESSURE DROP TO OCCUR DETERMINED BY METHODS INDICATED IN ASTM F1417. IF THE ONE (1) PSI PRESSURE DROP OCCURS FASTER THAN ALLOWABLE TIME, SECTION IS UNACCEPTABLE.
 - AN AIR TEST SHALL NOT BE RUN UNTIL SECTION OF LINE TO BE TESTED HAS BEEN CLEANED OF ALL FOREIGN MATERIAL BY FLUSHING AND HAS BEEN VISUALLY INSPECTED AND APPROVED BY THE ENGINEER. CERTAIN PIPE MATERIALS PRODUCE MORE CONSISTENT RESULTS WHEN INTERIOR OF PIPE IS WETTED PRIOR TO TESTING.
 - SEWERS SHALL BE LAD WITH STRAIGHT ALIGNMENT BETWEEN MANHOLES. STRAIGHT ALIGNMENT SHALL BE CHECKED EITHER USING A LASER BEAM OR LAMPING. TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
 - MANHOLES, WHICH CANNOT BE PROPERLY AIR TESTED, SHOULD BE VISUALLY INSPECTED AND LEAKAGE-TESTED USING INTERNAL OR EXTERNAL HYDROSTATIC PRESSURE. LEAKAGE TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
 - IN AREAS WHERE CONVENTIONAL TESTING IS IMPRACTICAL (I.E. AREAS DESIGNATED BY ENGINEER WHERE EXISTING SEWERS ARE TIED INTO NEW LINE IMMEDIATELY AND ANY BLOCKAGE COULD RESULT IN HEALTH PROBLEMS) NO LINES SHALL BE BACKFILLED UNTIL EACH PIPE SECTION AND CONNECTION IS INSPECTED AND APPROVED.
 - WHERE SEWERS ARE CONSTRUCTED OF PRESSURE-RATED PIPE AND INSTALLED WITH LESS THAN 18 INCHES VERTICAL SEPARATION FROM EXISTING OR PROPOSED WATER MAINS, SEWERS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI TO ASSURE WATER TIGHTNESS. HYDROSTATIC ACCEPTANCE TESTS SHALL BE CONDUCTED AS SPECIFIED FOR TESTING WATER MAINS, EXCEPT THAT TESTING MAY BE PERFORMED WITH THE PIPE SECTION PARTIALLY BACK-FILLED.
 - IF THE ALLOWABLE RATE OF AIR LEAKAGE IS EXCEEDED, THE CONTRACTOR SHALL LOCATE POINTS OF EXCESSIVE LEAKAGE AND SHALL REPAIR AND RE-TEST. REPAIRS AND RE-TESTING SHALL BE AT THE CONTRACTOR'S COSTS. SUCH REPAIRS AND CORRECTIVE MEASURES, INCLUDING COSTS OF REPEATED TESTS, SHALL BE BORNE BY CONTRACTOR. THE SEWER LINE SECTION (INCLUDING MANHOLES AND CONNECTIONS) UNDER TEST SHALL NOT BE ACCEPTED UNTIL THESE TEST CRITERIA ARE MET.
 - SANITARY MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C1244. A VACUUM OF 10 INCHES OF Hg SHOULD BE DRAWN ON THE MANHOLE AFTER ALL HOLES ARE PLUGGED, AND INLETS/OUTLETS ARE TEMPORARILY PLUGGED AND SECURED. THE TIME IS MEASURED FOR THE VACUUM TO DROP TO 8 INCHES Hg. THE MANHOLE IS ACCEPTED IF THE MEASURED TIME MEETS OR EXCEEDS THE VALUES PRESENTED IN TABLE 1 OF ASTM C1244. IF THE MANHOLE FAILS THE INITIAL TEST, IT SHALL BE REPAIRED BY AN APPROVED METHOD UNTIL A SATISFACTORY TEST IS OBTAINED. MANHOLES, WHICH CANNOT BE PROPERLY AIR TESTED, SHOULD BE VISUALLY INSPECTED AND LEAKAGE-TESTED USING INTERNAL OR EXTERNAL HYDROSTATIC PRESSURE. LEAKAGE TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

PLANNING BOARD APPROVAL
VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS

PLAN OF _____ AT _____

APPROVED AT THE PLANNING BOARD MEETING

HELD ON _____ SIGNED BY _____

CONDITIONS: _____

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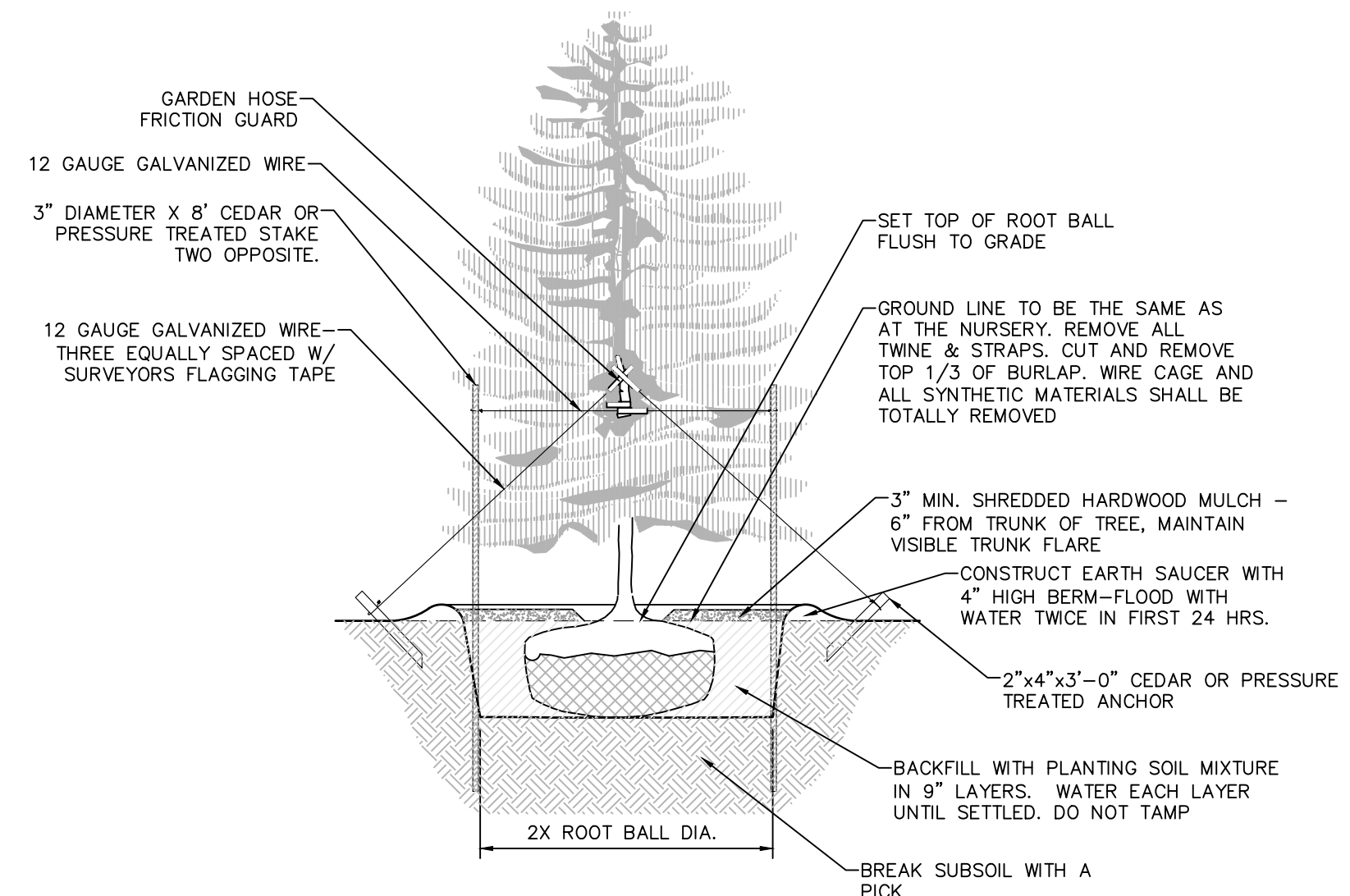
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6	12/21/20	REVISED PER DOH COMMENTS.
5	11/12/20	NO CHANGES THIS SHEET.
4	10/15/20	REVISED PER VILLAGE COMMENTS.
3	09/21/20	INITIAL SUBMISSION TO DOH.
2	09/10/20	REVISED PER VILLAGE COMMENTS.
1	05/14/20	THIS SHEET ADDED.

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WATER AND SANITARY SEWER DETAILS

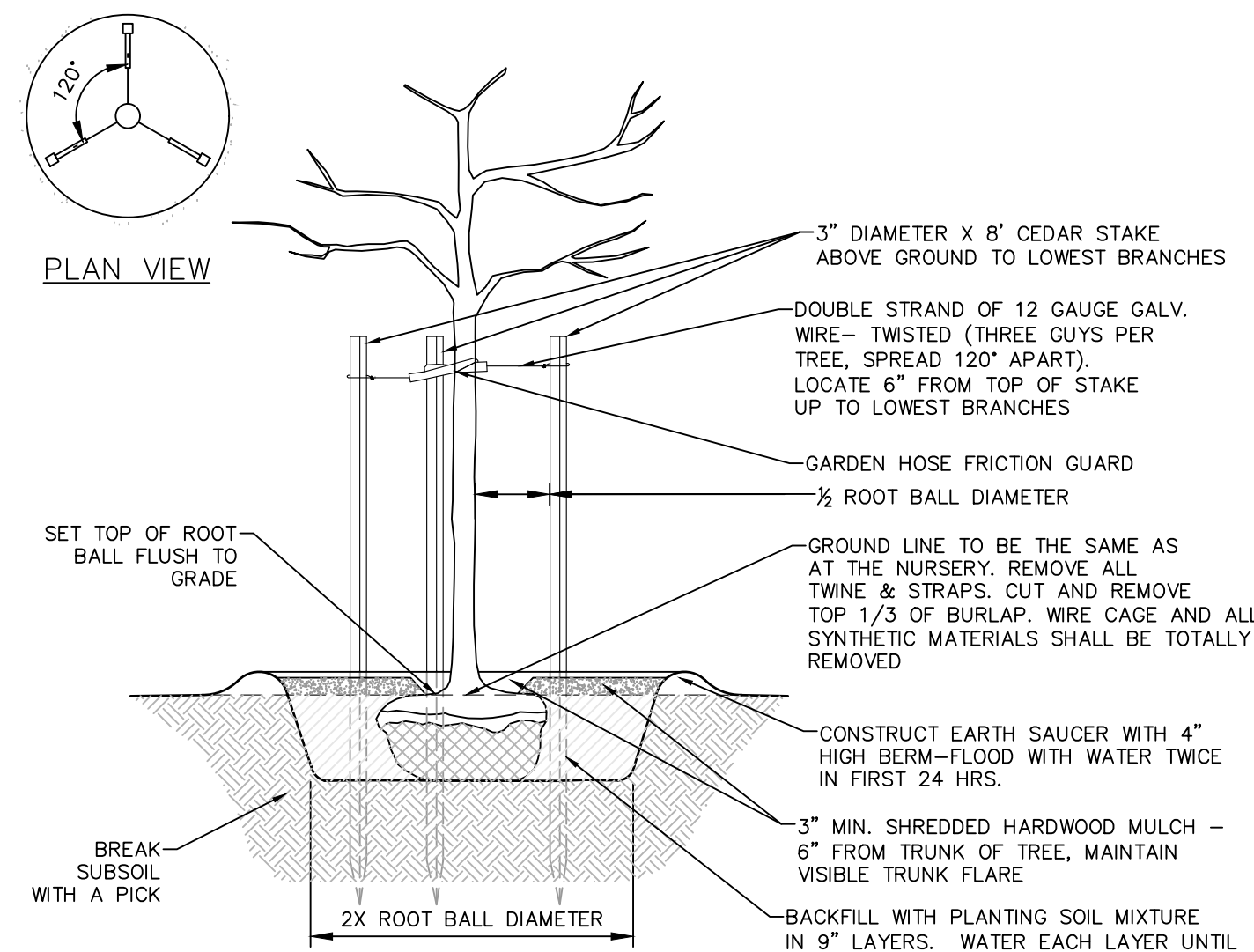
VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

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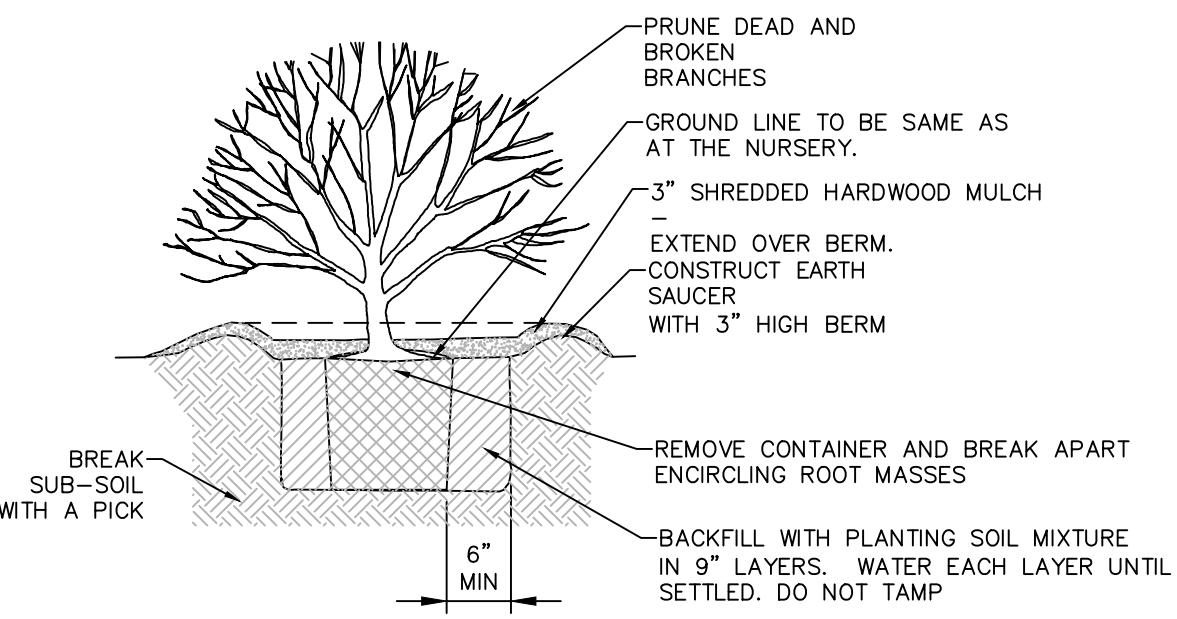
- NOTES:**
1. SPRAY WITH ANTIDESICCANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS.
 2. TREES LESS THAN 3" CALIPER SHALL BE STAKED.
 3. TREES GREATER THAN 3" CALIPER AND UP SHALL BE CUYED AND ANCHORED.
 4. STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

1 EVERGREEN PLANTING DETAIL
SCALE: NOT TO SCALE



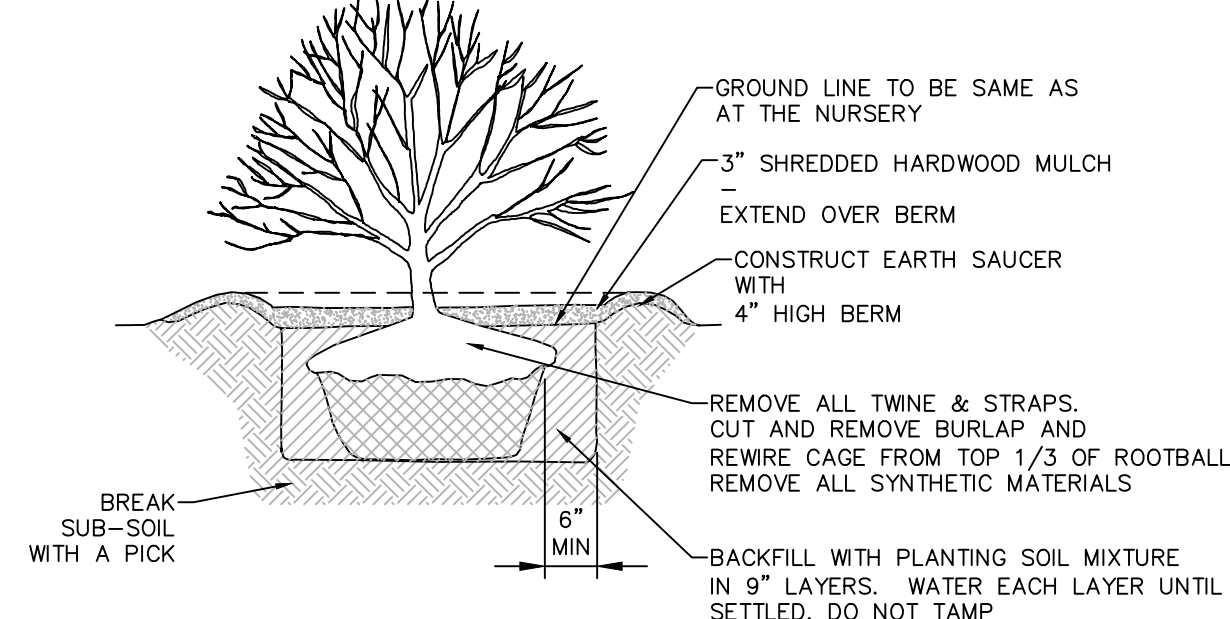
- NOTE:** STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING

2 PLANTING AND GUYING DETAILS-FOR TREES SMALLER THAN 3\"/>



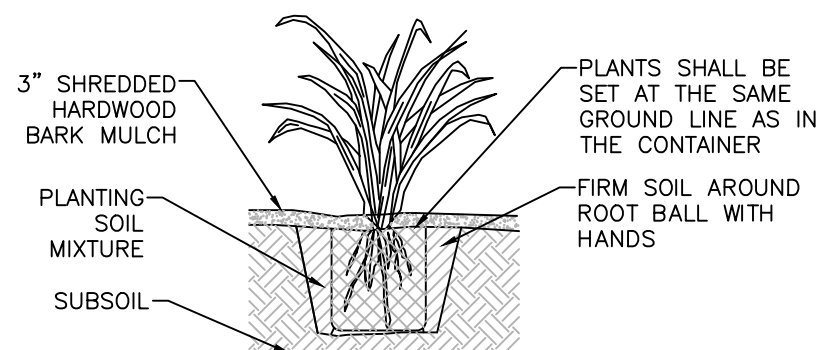
- NOTE:** SPRAY WITH ANTI DESICCANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS IF FOLIAGE IS PRESENT.

3 SHRUB PLANTING DETAIL FOR CONTAINERIZED SHRUBS
SCALE: NOT TO SCALE



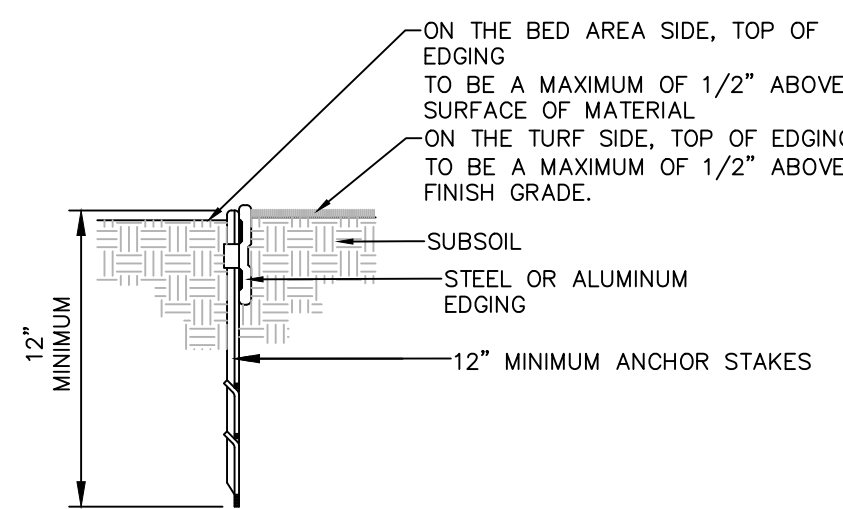
- NOTE:** SPRAY WITH ANTIDESICCANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS IF FOLIAGE IS PRESENT.

4 SHRUB PLANTING DETAIL FOR ALL SHRUBS BALLED AND BURLAPPED
SCALE: NOT TO SCALE



- NOTES:**
1. SPADED PLANTING SOIL MIX (4\"/>

5 CONTAINERIZED PERENNIAL PLANTING
SCALE: NOT TO SCALE



- NOTES:**
1. 12\"/>

6 LANDSCAPE BED EDGING
SCALE: NOT TO SCALE

LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL CAREFULLY COORDINATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
2. THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
3. THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
6. QUALITY ASSURANCE:
 - A. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
 - B. SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC (AAN), UNLESS OTHERWISE SPECIFIED.
 - C. NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS PLANTS NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HELED IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.
 - D. SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WHEN AUTHORIZED, ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
7. SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:
 - A. UNLESS OTHERWISE DIRECTED IN WRITING, SEED LAWNS FROM MARCH 15 TO JUNE 15, AND FROM AUGUST 15 TO OCTOBER 15.
 - B. UNLESS OTHERWISE DIRECTED IN WRITING PLANT TREES AND SHRUBS FROM MARCH 15 TO JUNE 1, AND FROM AUGUST 15 TO OCTOBER 30.
 - C. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE LAWNS OR PLANTINGS ARE TO BE ESTABLISHED AND WORK IS COMPLETE, SHALL BE RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE; WORK SHALL BE WITHIN THE SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER (TOPSOIL AND TEMPORARY COVER SEED MIX) WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
8. PRODUCTS:
 - A. IMPORTED TOPSOIL: PROVIDE TOPSOIL CONFORMING TO THE FOLLOWING:
 - i. LOAM TOPSOIL, WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL.
 - ii. CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
 - iii. CONTAINING A PH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
 - iv. CONTAINING THE FOLLOWING WASHED GRADATIONS:

SIEVE DESIGNATION	% PASSING
1"	100
1/4"	97-100
NO 200	20-60

- B. SEED MIXTURE: PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS. PROVIDE THE FOLLOWING MIXTURES:

i. **LAWN SEED MIX**

SUN AND PARTIAL SHADE:			
AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM % PURITY	GERMINATION
50%	KENTUCKY BLUE GRASS**	95%	80%
20%	PERENNIAL RYE	98%	90%
30%	CREeping RED FESCUE	97%	85%
100%			

*MINIMUM 2 (EQUAL PROPORTIONS) VARIETIES AS LISTED IN CORNELL RECOMMENDATIONS FOR TURFGRASS.

SHADE:

AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM % PURITY	GERMINATION
25%	KENTUCKY BLUE GRASS**	95%	80%
20%	PERENNIAL RYE	98%	90%
35%	CREeping RED FESCUE	97%	85%
20%	CHEWINGS RED FESCUE	97%	85%
100%			

**SHADE TOLERANT VARIETY

ii. **TEMPORARY COVER SEED MIX**

AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM % PURITY	GERMINATION
100%	ANNUAL RYEGRASS	98%	90%

- C. LIME: NATURAL LIMESTONE CONTAINING AT LEAST 85% OF TOTAL CARBONATES, GROUND TO SUCH FINENESS THAT AT LEAST 90% PASSES A 10-MESH SIEVE AND AT LEAST 50% PASSES A 100-MESH SIEVE.

- D. FERTILIZER:
 - i. STARTER FERTILIZING: COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT CONTAINING 5% NITROGEN, 10% AVAILABLE PHOSPHOROUS, AND 5% WATER SOLUBLE POTASH (5-10-5).
 - ii. FOR FINAL FERTILIZING: IF APPLIED IN SPRING SEASON, SHALL BE A SLOW RELEASE COMMERCIAL FERTILIZER, GRANULAR, WITH 3-1-2 NPK. IF APPLIED IN FALL SEASON, SHALL BE AS SPECIFIED IN (8.D.I) ABOVE.

- E. TREES, SHRUBS, GROUND COVERS, PERENNIALS, ANNUALS:
 - i. PLANTING SOIL MIXTURE: SHALL BE REMIXED IN BULK, AND CONTAIN THE FOLLOWING BY VOLUME:
 - 30 PARTS TOPSOIL
 - 10 PARTS PEAT
 - 1 PART BONE MEAL
 - ii. PEAT: BROWN TO BLACK IN COLOR, WEED AND SEED FREE, DRIED SPHAGNUM PEAT, CONTAINING NOT MORE THAN 3% MINERAL ON A DRY BASIS AND CONFORMING TO NYSDOT 713-15.
 - iii. BONE MEAL: FINELY GROUND, RAW, MINIMUM 4% NITROGEN AND 20% PHOSPHORIC ACID. IT SHALL BE DELIVERED IN SEALED BAGS SHOWING THE MANUFACTURER'S GUARANTEED ANALYSIS.

- F. STAKES: 8 FEET LONG, 3 INCH DIA. CEDAR OR P.T. WOOD STAKES.

- G. HOSE: NEW, 2-PLY GARDEN HOSE NOT LESS THAN 1/2 INCH IN DIAMETER.

- H. WEED CONTROL FABRIC: SOIL CHECK AS MANUFACTURED BY BRIGHTON BYPRODUCTS CO. INC, NEW BRIGHTON, PA; MIRASCAPE OR MIRAFI GEOSYNTHETIC PRODUCTS, NORCROSS, PA, OR APPROVED EQUIVALENT.

- I. MULCH:
 - i. **LAWN AREAS**
OAT OR WHEAT STRAW, FREE OF WEEDS, AN ALTERNATIVE IS WOOD FIBER CELLULOSE IF HYDROSEEDING IS USED.
 - ii. **PLANT BED AREAS**
GROUND OR SHREDDED HARDWOOD BARK, UNCOLORED. NO PIECES OVER 2 INCHES GREATEST DIMENSION. FREE FROM SAWDUST.

- J. EXECUTION:
 - A. LANDSCAPE WORK SHALL BE UNDERTAKEN AS SOON AS SITE AREAS ARE AVAILABLE.

- B. TOPSOIL SHALL BE SPREAD NO LESS THAN 4" OVER SUB-GRADE MATERIAL. SOIL AMENDMENTS SHALL BE THOROUGHLY MIXED INTO THE TOP 4" OF TOPSOIL, FOLLOWING THE SPECIFICATIONS STATED BELOW.

- C. PERFORM FINE GRADING TO FINISHED ELEVATION ONLY IMMEDIATELY PRIOR TO PLANTING. PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN SURFACE, FREE OF DEPRESSIONS OR RIDGES WITH A UNIFORM LOOSE, FINE TEXTURE.

- D. FERTILIZING:
 - i. THE SOIL SHALL BE TESTED FOR PH AND LIME ADDED AS NECESSARY. ALL AMENDMENTS SHALL BE CHECKED AND APPROVED BY LANDSCAPE ARCHITECT BEFORE AMENDMENTS ARE MADE.
 - ii. APPLY FERTILIZER AT RATE OF 4 LBS/1000 SF FOR LAWN AREAS.

- E. LAWN:
 - i. LAWN SEED MIX: SEED AT THE RATE OF 5 TO 6 LBS PER 1,000 SF.
 - ii. TEMPORARY COVER SEED MIX: SEED AT THE RATE OF 3 TO 4 LBS PER 1,000 SF.
 - iii. TEMPORARY COVER SEED MIX TO BE APPLIED ONLY FOR LATE FALL OR SUMMER SOIL STABILIZATION OUTSIDE ALLOWED SEEDING PERIODS.

- F. ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
 - i. A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS/ACRE MIN, TO BE APPLIED ONCE SEEDING IS COMPLETE.
 - ii. WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY A HYDROSEEDER AT A RATE OF 2,000 LBS/ACRE.

- G. ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.

- H. ALL NEWLY PLANTED AREAS SHALL BE KEPT MOIST BY WATERING UNTIL GRASSES AND GROUND COVERS ARE WELL ESTABLISHED. THE LANDSCAPE CONTRACTOR MUST WATER PLANT MATERIAL WHEN NECESSARY FOR 60 DAYS AFTER INSTALLATION.

- I. LAWNS ARE TO BE WARRANTED UNTIL THEY BECOME ESTABLISHED, UNTIL FINAL ACCEPTANCE, AND NOT LESS THAN 60 DAYS AFTER COMPLETION OF ALL WORK. TREES, SHRUBS, GROUND COVERS, AND PERENNIALS SHALL BE WARRANTED AGAINST DEFECTS INCLUDING POOR GROWTH AND DEATH, EXCEPT WHEN RESULTING FROM OWNER NEGLIGENCE, INCIDENTS THAT ARE BEYOND THE CONTROL OF THE LANDSCAPE INSTALLER AND DAMAGE OR ABUSE BY OTHERS, FOR AT LEAST ONE FULL YEAR AFTER PROJECT COMPLETION.

PLANNING BOARD APPROVAL
VILLAGE OF WAPPINGERS FALLS, NEW YORK

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS

PLAN OF _____ AT
APPROVED AT THE PLANNING BOARD MEETING

HELD ON _____ SIGNED BY _____
CONDITIONS: _____

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CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE, CO., D.P.C.

The Chazen Companies
Proud to be Employee Owned

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- Hudson Valley Office: 21 Fox Street, Poughkeepsie, New York 12601, Phone: (845) 454-3980
- North Country Office: 20 Elm Street (Suite 110), Glens Falls, New York 12801, Phone: (518) 812-0513
- Capital District Office: 547 River Street, Troy, New York 12180, Phone: (518) 273-0055
- Westchester NY Office: 1 North Broadway, Suite 803, White Plains, New York 10601, Phone: (914) 997-8510
- Nashville Tennessee Office: 2418 21st Ave S, (Suite 103), Nashville, Tennessee 37212, Phone: (615) 380-1359
- Chattanooga Tennessee Office: 1428 Williams Street (Suite 112), Chattanooga, Tennessee 37408, Phone: (423) 241-6575

1663 ROUTE 9 - GAS LAND - MESIER MOBIL

LANDSCAPING DETAILS AND NOTES

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
LL	CPL
date	scale
03/12/20	AS NOTED
project no.	
82010.00	
sheet no.	
	C570

December 16, 2020

Village of Wappingers Falls Planning Board
Mr. Thomas Morris, Planning Board Chairman
2582 South Avenue
Wappingers Falls, NY 12590

Re: 2695 West Main Street Mixed-Use Building
Site Plan-Hollister

Dear Chairman Morris and members of the Planning Board:

Kindly find the revised plan set and architectural plans with this letter as per the discussion at the last Planning Board Meeting.

The following are our responses to the comment letter from Four Corners Planning, dated December 03, 2020.

1. Proposed Project. The applicant proposes to demolish the upper two floors of an existing 2½ story building and replace them with two stories to include two one- bedroom apartments on the second floor, and one two-bedroom apartment on the third floor. The first floor will include a ± 658 square foot commercial space and a ± 89 square foot utility room. The 0.226-acre parcel is located at 2695 W Main Street in the Village Commercial (VC) District. The project requires Site Plan approval from the Planning Board.

Response: Comment noted.

2. SEQR. The proposed project appears to be an Unlisted action under SEQR. Involved agencies include the NYS Department of Transportation (NYSDOT), the Village of Wappingers Falls Board of Trustees, and the Village Water Board. We have prepared a Resolution Establishing Intent to be Lead Agency for the Planning Board's convenience. The Board can adopt the resolution once the following revisions have been made to the EAF:

- The response to Question 9 should be "yes" because the project will be required to meet state energy code requirements.
- The response to Question 12.b. should be "yes" since the site is located in an area designated as sensitive for archaeological sites on the NYS Site Inventory.
- A response to Question 14 should be given.

Response: Comment noted. Applicant to provide revised EAF

3. Archaeology. The project site is in an area that has been identified as sensitive for archaeological resources on the NYS Historic Preservation Office (SHPO) archaeological site inventory. An archaeological survey would be required to assess potential impacts on cultural resources, unless the applicant can demonstrate to the satisfaction of SHPO that the site has been previously disturbed.

Response: Comment noted. Given the fact the lot is a parking lot with a preexisting building and footprint and general site is not changing from that which is present and extensively disturbed, there are not any anticipate cultural impacts.

4. NYSDOT Encroachment. The existing building encroaches approximately two feet into the NYSDOT right-of-way. The applicant should submit a letter from the NYSDOT indicating that they will allow the building to be rebuilt in the right-of- way.

Responses: Comment noted. NYSDOT has been contacted. The structure was originally built in 1880 and predates NYSDOT, and our understanding is NYSDOT would be obligated to allow the preexisting encroachment so long as the original structure is intact.

5. Building Elevations. The building includes some features that are consistent with historic mixed-use buildings in the Village. However, some constraints on the building (such as the low ceiling height of the first story, and the four bays or openings for the windows, when three or five bays would be typical) make it difficult to duplicate historic mixed-use buildings with significant glazing on the first floor. To address this, we recommend that the building be designed more like a mixed-use office building rather than a mixed-use retail building, as illustrated below:

To achieve this design and further enhance the compatibility of the architecture with other historic buildings in the VC District, we recommend the following (illustrations appear below):

- (a) Lower the front wall/roofline. The front facade of the shed roof building emulates the look of a parapet above a pitched or flat roof. However, the area between the top floor windows and the cornice at the top of the wall appears too large, particularly since the ceiling height on the first floor is so low. Lowering the front wall a few feet may mitigate this impact.
- (b) Stronger cornice. A stronger (wider) cornice (at the roofline) with a deeper projection from the building and bigger brackets would give the building a stronger "cap" in keeping with other historic buildings in the Village.
- (c) Second and Third Floor Windows. The windows on the second and third stories look small. The window trim could be enlarged, or larger windows with 4 panes (mullions) rather than 2 panes could be used.
- (d) First Floor Windows. The first-floor picture windows are too small to meet the usual glazing requirement for a retail establishment, as is found on buildings further south on Route 9D (see illustrations above and below). We recommend

that the same sized windows be used on all floors of the building, and that three windows (lined up with the windows above) be included on the first floor.

- (e) Main Building Entrance. If three windows are used on the first floor, the door could be moved further north, so it is aligned with the windows on the second and third floors. More emphasis could be given to the door, with larger trim and some ornamentation, to clearly indicate that this is the main entrance to a commercial establishment, rather than to an apartment.
- (f) Corner Boards. Wider corner boards would also enhance the building.

Response: Comments a-f above noted. Revised architectural plans have been provided for further study.

6. Off-Street Parking:

- (a) Ten off-street parking spaces are proposed to serve the uses. The apartments require one (1) space per unit, although the Planning Board typically requires one space per bedroom; in this case, that would total 4 spaces. The parking requirement for office uses in the VC District is "per site plan review." Generally, one space per 300 square feet of office space is sufficient, which in this case would result in 3 spaces. Thus it appears that a total of 7 off-street parking spaces would suffice for the proposed uses and 10 spaces are proposed.

Response: Comment noted. To accommodate an ADA stall, there are now 8 proposed spaces.

- (b) It does not appear that any accessible (handicap) spaces are proposed. Requirements for accessible spaces should be reviewed by the Village Engineer or Code Enforcement Officer.

Response: Comment noted. An accessible space is now proposed given that there is enough space to do so.

- (a) Section 151-24H(2) of the Zoning Law requires that parking lots be screened from all streets and § 151-241(2) requires that buffer planting be installed between the parking lot and the street. The applicant should discuss whether any landscaping is proposed.

Response: Buffer plantings are now provided.

- (b) Section 151-241(1) requires that buffer planting be installed between the parking lot and adjacent properties. Buffer planting is defined as "an area intended to provide an effective year-round visual barrier between different land uses and protect against noise, odor, dust, glare and unsightly storage." The applicant should discuss whether any landscaping is proposed.

Response: The proposed landscaping is now provided in the plan set.

- (c) Areas for snow storage should be identified on the plans.

Response: The area has now been identified.

7. Outdoor Lighting. Two outdoor lights are proposed, on the north and west sides of the building. We note the following:

(a) Additional information on the proposed lighting fixture should be provided to ensure it is full cut-off (with a BUG upright rating of U0).

Response: The revised lighting fixture is full cut-off, corresponding to an uplight rating of 0.

(b) A color temperature of 3000K is proposed, however a maximum color temperature of 2700K is preferred to minimize harshness.

Response: Comment noted. While 2700K may be preferable, 3000k is the more readily available and utilized for LED wall packs. The difference between 2700K and 3000K as a preference is subjective; and as a matter of practicality and actual use is minimal and both are considered per industry standards to be appropriate for the intended use. The newly proposed light fixture is an amber color, correlation to a typical rating of approximately 2300K and is the coolest fixture I could locate.

(c) Lighting levels are very high-9.3 fc below the fixtures. The Zoning Law states that lighting levels and uniformity ratios shall be based on the recommendations of the Illuminating Engineering Society (IES) of North America. The IES recommends an average of 2 fc for pedestrian areas in commercial areas. (For comparison, the NYS ATM Safety Act requires 5 fc at five feet from the ATM machine, which is considered a high security location.)

Response: The lighting plan has been revised using the new fixture proposed. In addition, the existing light fixture on the utility pole in the ROW has been added as well.

8. Landscaping. A landscaping plan should be submitted

Response: A landscape plan is now submitted.

9. Signage. The applicant should discuss the type, size, location etc of sign(s).

Response: Comment noted. Applicant shall provide.

10. Building Materials and Colors. Samples of all proposed building materials and colors should be provided

Response: Comment noted. Applicant shall provide as required.

11. Refuse enclosure. The plans do not include a refuse enclosure

Response: A refuse enclosure is now proposed.

12. ADA Compliance. The code enforcement Officer should evaluate whether the project conforms with the ADA requirements of the NYS Building Code.
Response: Comment noted. We will await the evaluation and address as may be appropriate.
13. Recreation Fee. It is not clear how many apartments are in the existing building. If additional apartments are proposed, the recreation fee would be required.
Response: Comment noted. Applicant shall address and we request that the recreation fee be considered as a requirement prior to issuance of any building permit.
14. Bulk Regulations. The Bulk Requirements on the Site Plan should be revised to include the frontage buildout and maximum side yard setbacks.
Response:
15. Plan Notes. Site Specific Note #1 refers to six bedroom and Note #6 refers to a "house addition." These appear to be errors.
Response: The notes, now appearing on sheet two, have been revised.
16. 239-m Review. The Site Plan application must be referred to the Dutchess County Department of Planning and Development in accordance with General Municipal Law § 239-m since the property is located on a State highway.
Response: Comment noted
17. Public Hearing. A public hearing, if deemed necessary by the Planning Board, shall be held within 62 days following the receipt of a complete application
Response: Comment noted.

The following are our responses to the comment letter from K.C. Engineering and Land Surveying, P.C., December 3, 2020.

1. Short EAF:
 - a. Question #2 may need to include the NYSDOT if a stormwater connection is to be made to the State drainage system. (re: Question # 17)
 - b. Question #17 indicates that the roof drainage is to be connected to the street level storm drainage, however the plans do not reflect this. In any event, the roadside drainage is owned and maintained by the NYSDOT and they would need to authorize this connection. A permit may be required.
Response: Comment noted. The applicant is to provide the revised EAF as required for the above a-b comments.
2. A signed/sealed boundary survey and topographical map is to be provided with the next submission. Additionally, there are drainage pipes entering the property from the

adjacent property to the South, and a catch basin behind the building which are to be shown.

Response: Comment noted. Our plans have been revised to depict the basin referenced. The applicant to provide when available the information from the surveyor.

3. Proposed drywell:

- a. There is a high likelihood of shallow rock at this location which may preclude the installation of a drywell. Test pitting is to be done to confirm the presence or absence of rock.
- b. Infiltration testing results are to be provided to demonstrate the suitability of groundwater recharge.
- c. How are footing drains proposed to connect to the drywell?
- d. Invert, sump and rim elevations are to be provided for the drywell and all piping.

Response: The proposed drywell referenced in the above comments a-b has been removed as the intention is to maintain the existing drainage infrastructure.

4. The area where parking spaces 9 and 10 are shown have a severe cross slope. This area does appear to be striped, however. The Board should determine the suitability of this location for usable parking spaces in light of the proposed application.

Response: Comment noted. While excessive, it is preexisting and to be utilized in the same manner as previously used.

5. A turnaround area is to be provided next to parking spaces 3 & 4.

Response: A turnaround area is now provided in front of the refuse enclosure.

6. The proposed deck and steps are to be shown on the site plan.

Response: The deck is now shown

7. The lighting plan is to provide minimum/maximum/average values for the area of consideration.

Response: A revised lighting plan is shown.

8. Pipe trench detail is to show a depth beneath the pipe of 6" minimum in earth and 12" minimum in rock, and indicator tape 12" above the pipe.

Response: The existing pipe and leader system is to be maintained with no new pipe trenching intended, the detail has been eliminated.

9. NYSDOT is to be consulted regarding proposed work on the existing building which encroaches into the State right-of-way. Temporary scaffolding within the right-of-way may be of concern to the DOT as it pertains to pedestrian movement along 9D.

Response: Comment noted. The NYSDOT has been contacted.

10. A left side elevation view is to be provided.

Response: An elevation is now provided.

11. The second-floor floorplan shows windows on the building sides, but the left side elevation view does not show them. The third-floor floorplan similarly does not agree with the elevation view. Please coordinate the views

Response: Comment noted, revised architectural plans are now provided.

Please review the provided materials at your earliest convenience. If you have any questions or require any additional information, please contact this office.

We respectfully request to be placed on the next available Planning Board agenda for further discussion.

Very truly yours,

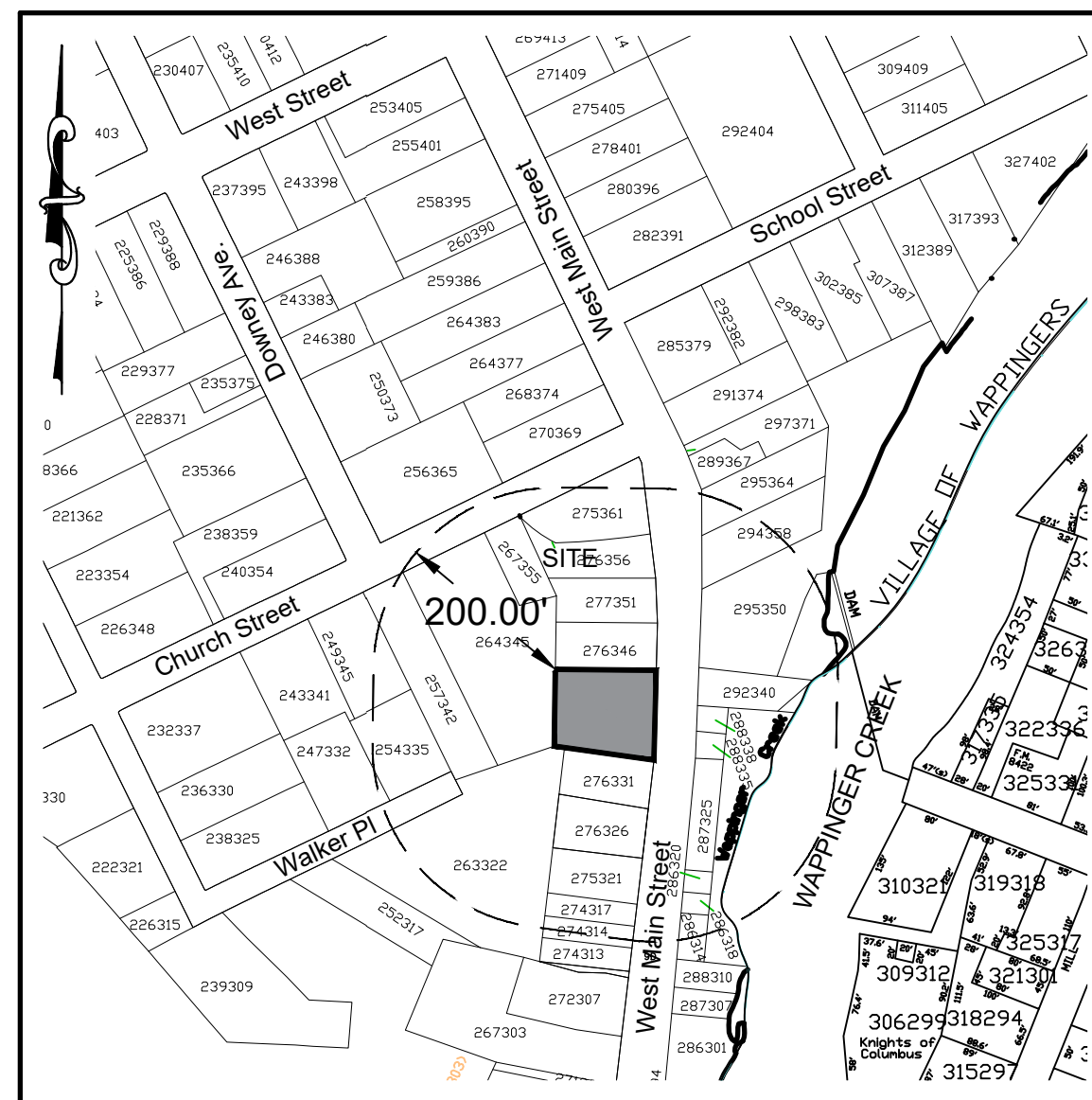
A handwritten signature in cursive script that reads "Brian Watts". The signature is written in black ink and is positioned below the typed name.

Brian Watts

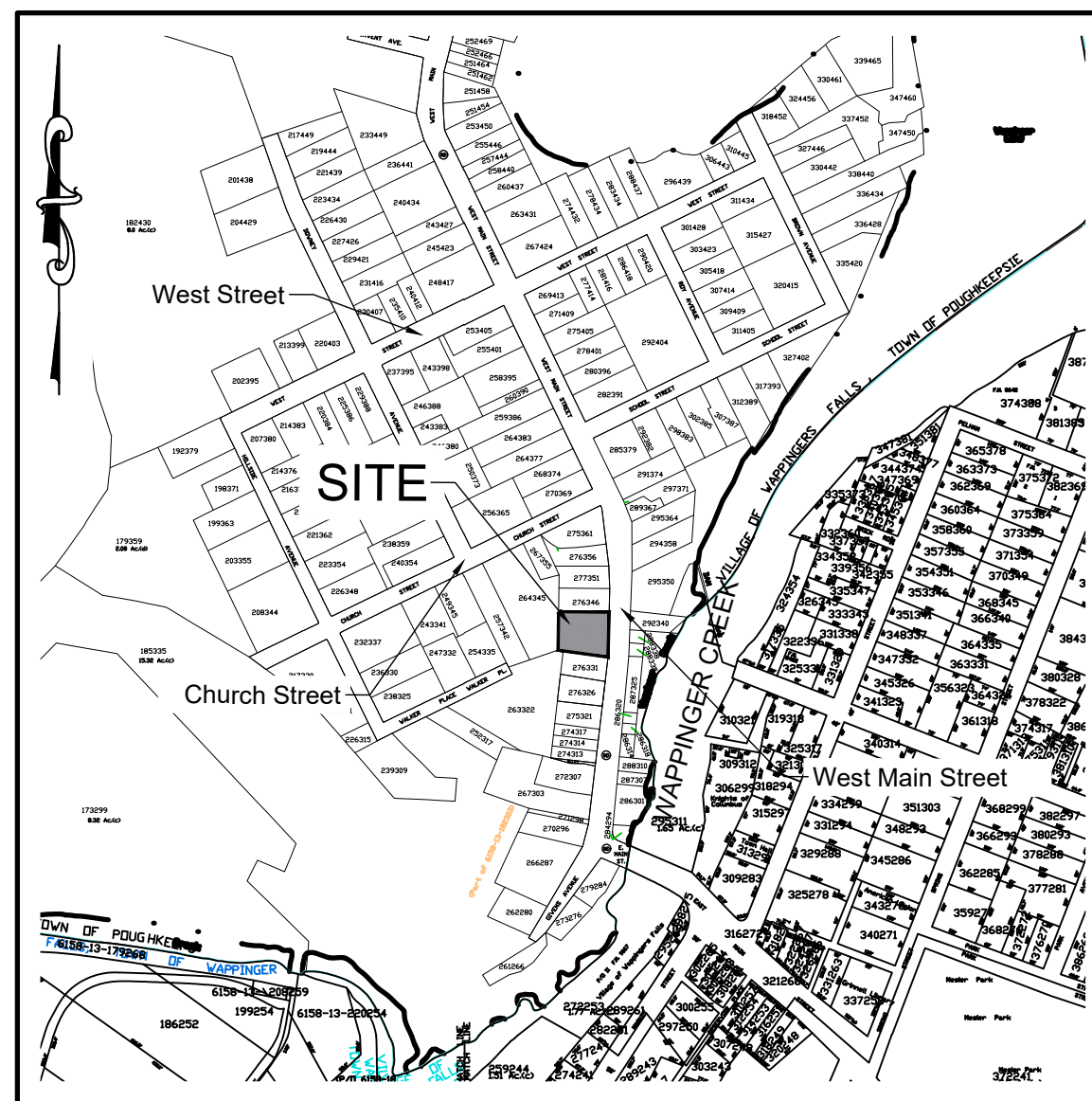
2695 W. MAIN STREET

2695 West Main Street
Village of Wappingers Falls

PREPARED FOR
RICHARD HOLLISTER
2695 W. MAIN STREET
WAPPINGER FALLS NY 12590



LOCATION MAP SCALE: 1" = 200'



AREA MAP SCALE: 1" = 400'

ALL ADJACENT OWNERS WITHIN 200 FEET OF SITE:

as per Dutchess County Real Property Tax Service Agency as of November 2018

Zone Classification: VC (Village Commercial District)
Mixed Use
Tax Map Parcel No: 134601-6158-14-277339 (0.090 Ac)
Topographic Datum: NAVD 88
Total Acreage: 0.23 Ac
Water Supply: Village of Wappingers Falls
Sewage Disposal: Village of Wappingers Falls

Village of Wappingers Falls
2582 South Ave
Wappingers Falls, NY 12590
For Property: 1346010061580014294358

Rachid Arraki
2252 First Ave Apt 5D
New York, NY 10029
For Property: 1346010061580014286314

Ronald D'Souza
PO Box 1130
Hopewell Junction, NY 12533
For Property: 1346010061580014288338

Alfredo Gonzaga
9 Church St
Wappingers Falls, NY 12590
For Property: 1346010061580014264345

Bulk Regulations: Required Proposed

Ronald A. Cservak, Sr
8 Walker Pl
Wappingers Falls, NY 12590
For Property: 1346010061580014254335

Ronald D'Souza
PO Box 1130
Hopewell Junction, NY 12533
For Property: 1346010061580014288335

Michal Kocan
15 Linden Rd
Poughkeepsie, NY 12603
For Property: 1346010061580014275361

Village Of Wappingers Falls
PO Box 92
Wappingers Falls, NY 12590
For Property: 1346010061580014286318

Building Configuration
Principal Building Height and Stories: 65' max, 5 stories, 50', 4 stories min
Accessory Building: 2 stories max

Community Services Programs In
5 Givens Ave
Wappingers Falls, NY 12590
For Property: 1346010061580014274317

Zadreamteam II Realty Corp
2430 Lurling Ave
Bronx, NY 10469
For Property: 1346010061580014287325

Lot Occupation
Lot Width: 20 ft. min. 49.92 ft
Lot Coverage: 100% 82.5%

Michal Kocan
15 Linden Rd
Poughkeepsie, NY 12603
For Property: 1346010061580014276356

Providence Realty of Lagrange
1136 Route 9
Wappingers Falls, NY 12590
For Property: 1346010061580014276331

Setbacks - Principal Building
Front Setback Principal: 2 ft. min., 12 ft. max. -2 ft.
Front Setback Secondary: 2 ft. min., 12 ft. max. --
Side Setback: 0 ft. min., 24 ft. max. 5 ft.
Rear Setback: 3 ft. min. 64.15
Frontage Buildout: 80% min at setback 94.5

Douglas Outwater
5 Walker Pl
Wappingers Falls, NY 12590
For Property: 1346010061580013247332

Walter Pulla
3 Gary Pl
Wappingers Falls, NY 12590
For Property: 1346010061580013249345

Setbacks - Accessory
Front Setback Principal: 40 ft max., from rear prop. --
Front Setback Secondary: 5 ft. min. --
Side Setback: 5 ft. min. --

Christopher L. Davis
7 Walker Pl
Wappingers Falls, NY 12590
For Property: 1346010061580014263322

Nest Hill Homes LLC
PO Box 1711
Poughkeepsie, NY 12601
For Property: 1346010061580014277351

Private Frontage
Common Lawn: not permitted
Porch & Fence: permitted
Terrace or Lightwell: permitted
Focourt: permitted
Stoop: permitted
Shopfront & Awning: permitted
Gallery: not permitted
Arcade: permitted

2689 West Main Street LLC
332 High St N
Mount Vernon, NY 10550
For Property: 1346010061580014275321

Michal Kocan
15 Linden Rd
Poughkeepsie, NY 12603
For Property: 1346010061580014267355

Off-street Parking Calculations
150-68 Schedule of Off-street parking Requirements

Deutsche Bank National Trust
1661 Worthington Rd Ste 100
West Palm Beach, FL 33409
For Property: 1346010061580014292340

William L. Raiche
11 Church St
Wappingers Falls, NY 12590
For Property: 1346010061580014257342

Use
Residential: Dwelling, Multi Family: 1 per unit
Commercial: Retail: YES 4
of Units: 2695: 3 Units (1 1-Bedroom & 2 2-bedroom)
Required ADA Spaces: 1

Community Services Programs
5 Givens Ave
Wappingers Falls, NY 12590
For Property: 1346010061580014274314

Village Of Wappingers Falls
PO Box 92
Wappingers Falls, NY 12590
For Property: 134601006158001428632

Pinnacle Properties of NY Inc
412 Saratoga Ln
Fishkill, NY 12524
For Property: 1346010061580014276326

Robert Smith
2698 main St W
Wappingers falls, NY 12590
For Property: 1346010061580014295364

Village Of Wappingers Falls
PO Box 92
Wappingers Falls, NY 12590
For Property: 1346010061580014334494

Village of Wappingers Falls
2582 South Ave
Wappingers Falls, NY 12590
For Property: 1346010061580014295350

HAIJUL LLC
1107 Main St
Fishkill, NY 12524
For Property: 1346010061580014277339

Windsor Machinery Company Inc
16 Orbit Ln
Hopewell Junction, NY 12533

Providence Realty of Lagrange
1136 Route 9
Wappingers Falls, NY 12590
For Property: 1346010061580014276346

Provided
Standard Spaces: 7
Compact Car Spaces: -
ADA Spaces: 1
Total Provided: 8

GENERAL SITE NOTES

- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD VERIFY EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY. PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFI'S SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISIONS OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- DRAWINGS ARE NOT TO BE SCALED: USE DIMENSIONS ONLY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. BUILDING DIMENSION TO BE TAKEN FROM ARCHITECTURAL PLANS. THE ENGINEERING SHALL BE NOTIFIED OF ANY DEVIATION FROM THE CONDITIONS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY WITH LOCATE UTILITY COMPANY THE LOCATION OF ANY UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATIONS.
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
- ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHOWN HERE ON SHALL BE IN ACCORDANCE WITH
 - BUILDING CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
 - CURRENT PREVAILING MUNICIPAL, COUNTY AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT MANUFACTURER SPECIFICATION, STANDARDS AND REQUIREMENTS.
- ALL CHANGES AND/OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
- CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.

Owner/Applicant

RICHARD HOLLISTER
2695 W. MAIN STREET
WAPPINGER FALLS NY 12590

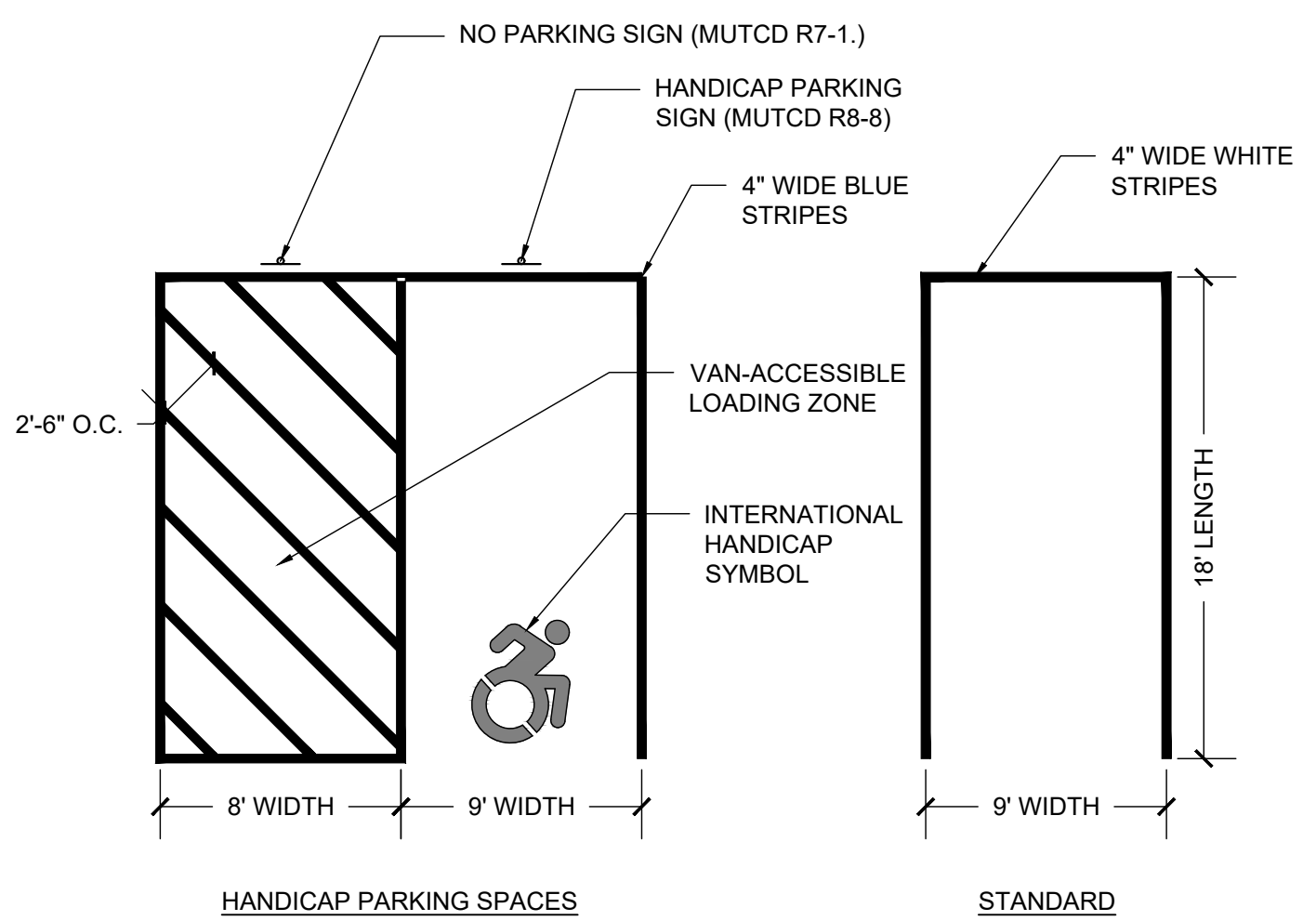
Owner's Consent Note
THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON
RICHARD HOLLISTER
DATE

Village of Wappingers Falls Planning Board
APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WAPPINGERS FALLS, NEW YORK ON THE _____ DAY OF _____, 2020 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.
VILLAGE OF WAPPINGERS FALLS PLANNING BOARD
SIGNED THIS _____ DAY OF _____, 2020
Thomas Morris, Village of Wappingers Falls Planning Board Chair
DATE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

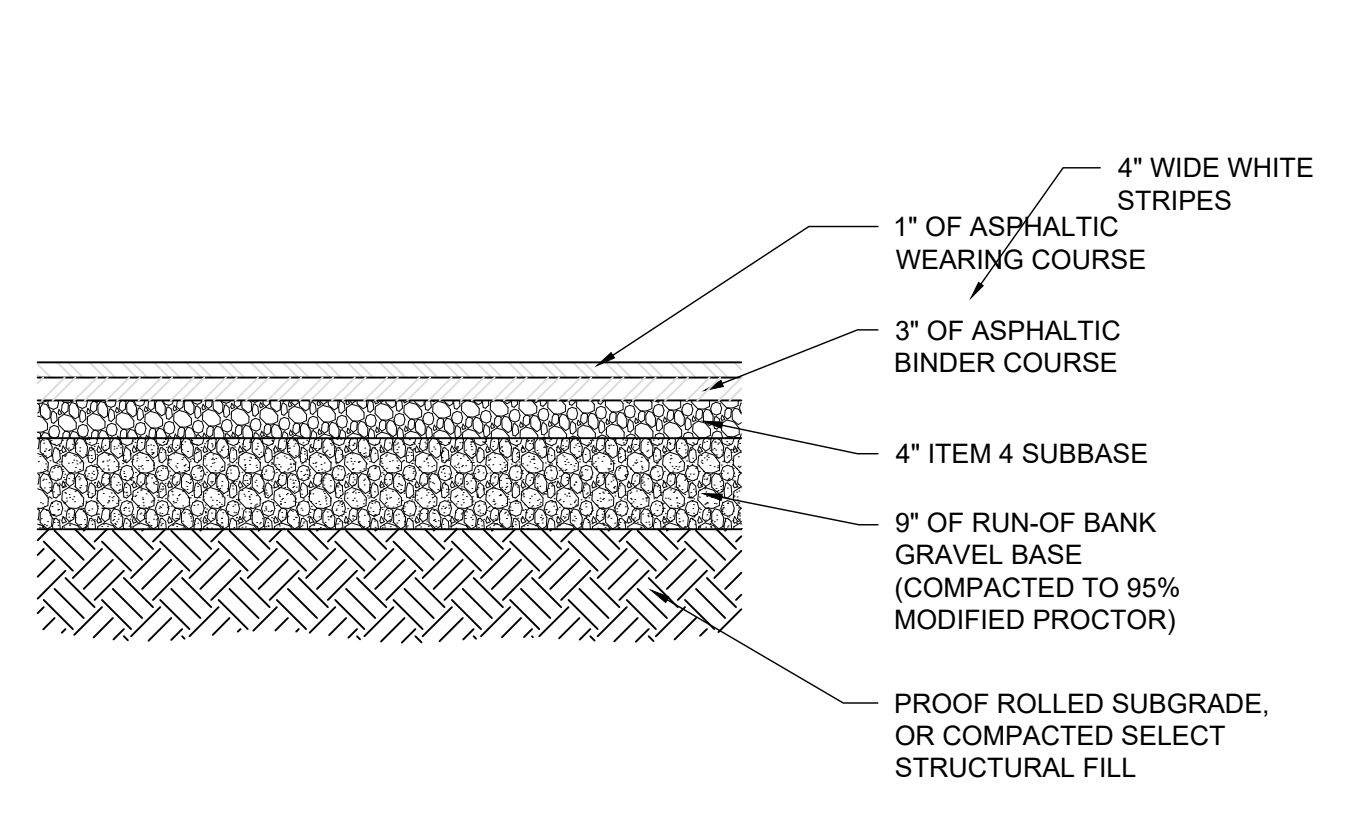
Brian J. STOKOSA, PE
DECEMBER 16, 2020
NOVEMBER 16, 2020
Project No: 2018.231 License No. 083970
DAY STOKOSA ENGINEERING P.C.
3 Van Wyck
Wappingers Falls, New York 12590
(845)-223-3202
PROJECT: 2695 W. MAIN STREET
Village of Wappinger Dutchess County, New York
DRAWING: SITE PLAN
SCALE: AS NOTED DRAWN BY: BJS CHECKED BY: BJS DRAWING No: 1
DATE: 2-12-2019
Page 1 of -





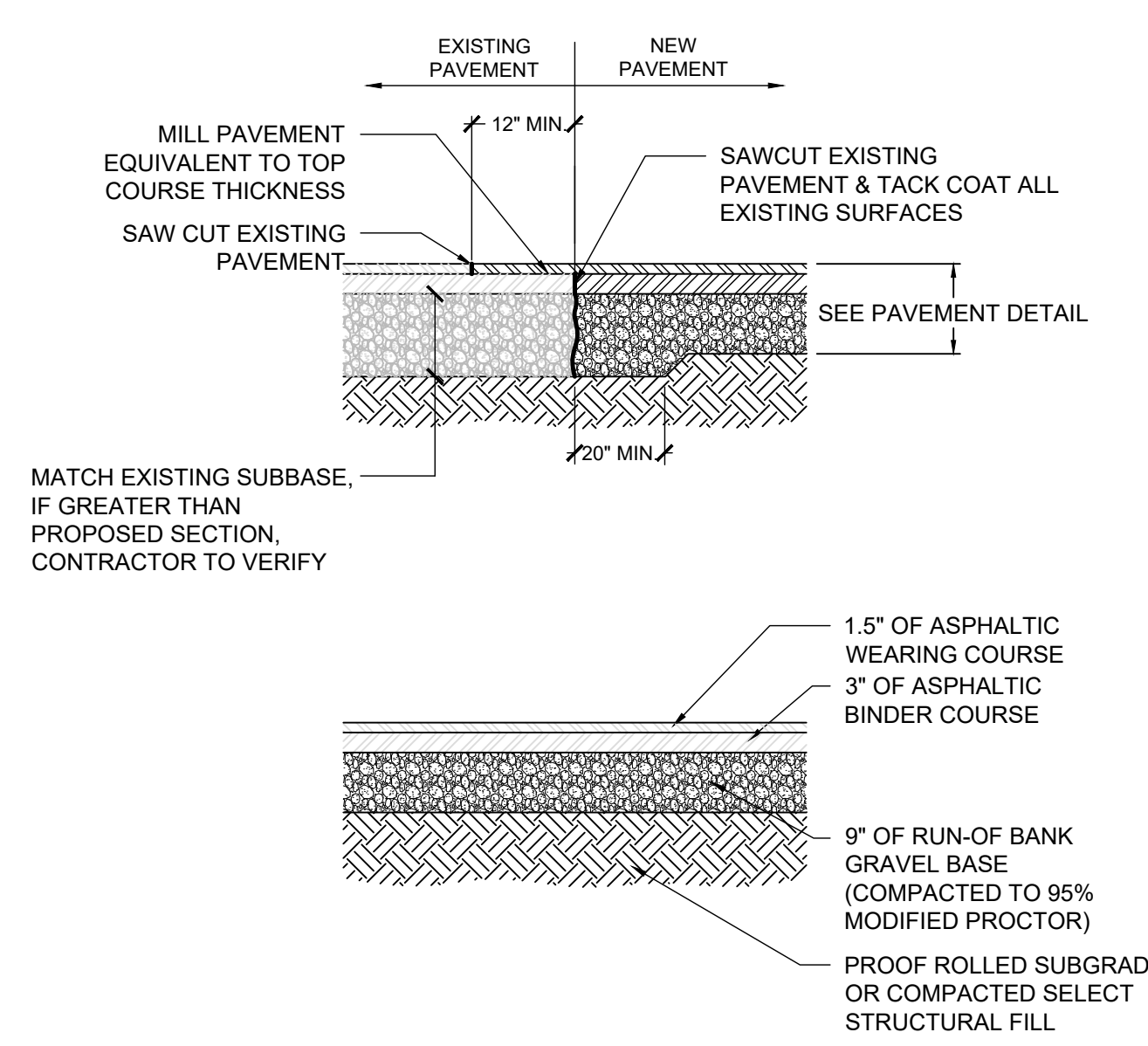
- NOTE:
1. MARKINGS AND DISTANCES SUBJECT TO CURRENT ZONING AND SITE REGULATIONS.
 2. PAINT USED SHALL BE SUITABLE FOR THE INTENDED PURPOSE
 3. STRIPING WORK SHALL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.

1 PARKING STALL MARKINGS
NOT TO SCALE

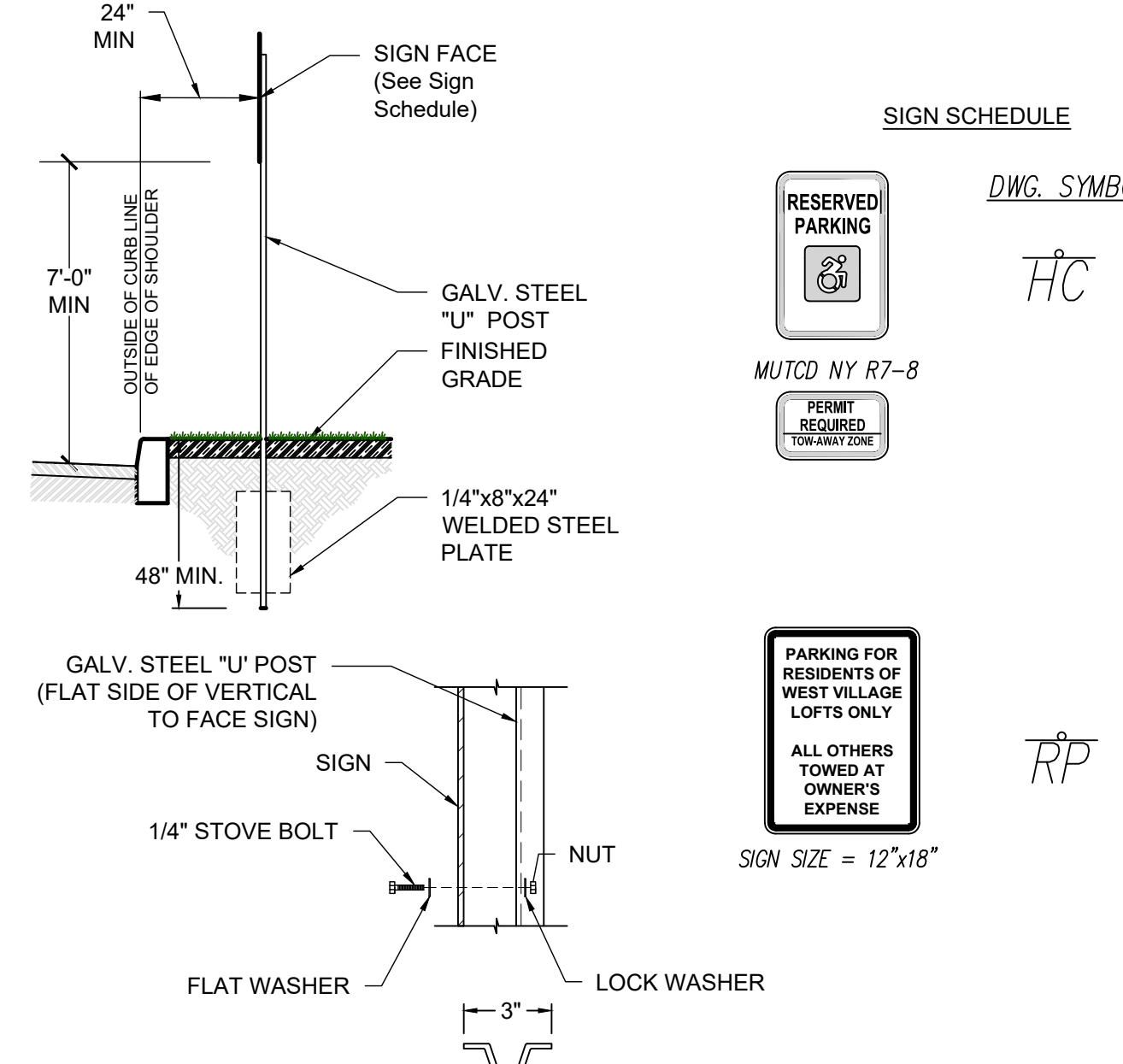


- NOTE:
1. THICKNESS INDICATED REFERS TO COMPACTED MEASURE.
 2. ALL NEW PAVEMENT SECTIONS OUTSIDE OF NYS DOT PAVING LIMITS TO CONFORM THE ABOVE REFERENCED CROSS SECTION.
 3. INDUSTRY STANDARDS AND BEST PRACTICES SHALL BE FOLLOWED REGARDING INSTALLATION PROCEDURES AND ACCOMMODATING PREVAILING CONDITIONS.

2 PAVEMENT SECTION
NOT TO SCALE



3 PAVEMENT SECTION
NOT TO SCALE



4 TYPICAL SIGN DETAIL
NOT TO SCALE

SIGN SCHEDULE

DWG. SYMBOL

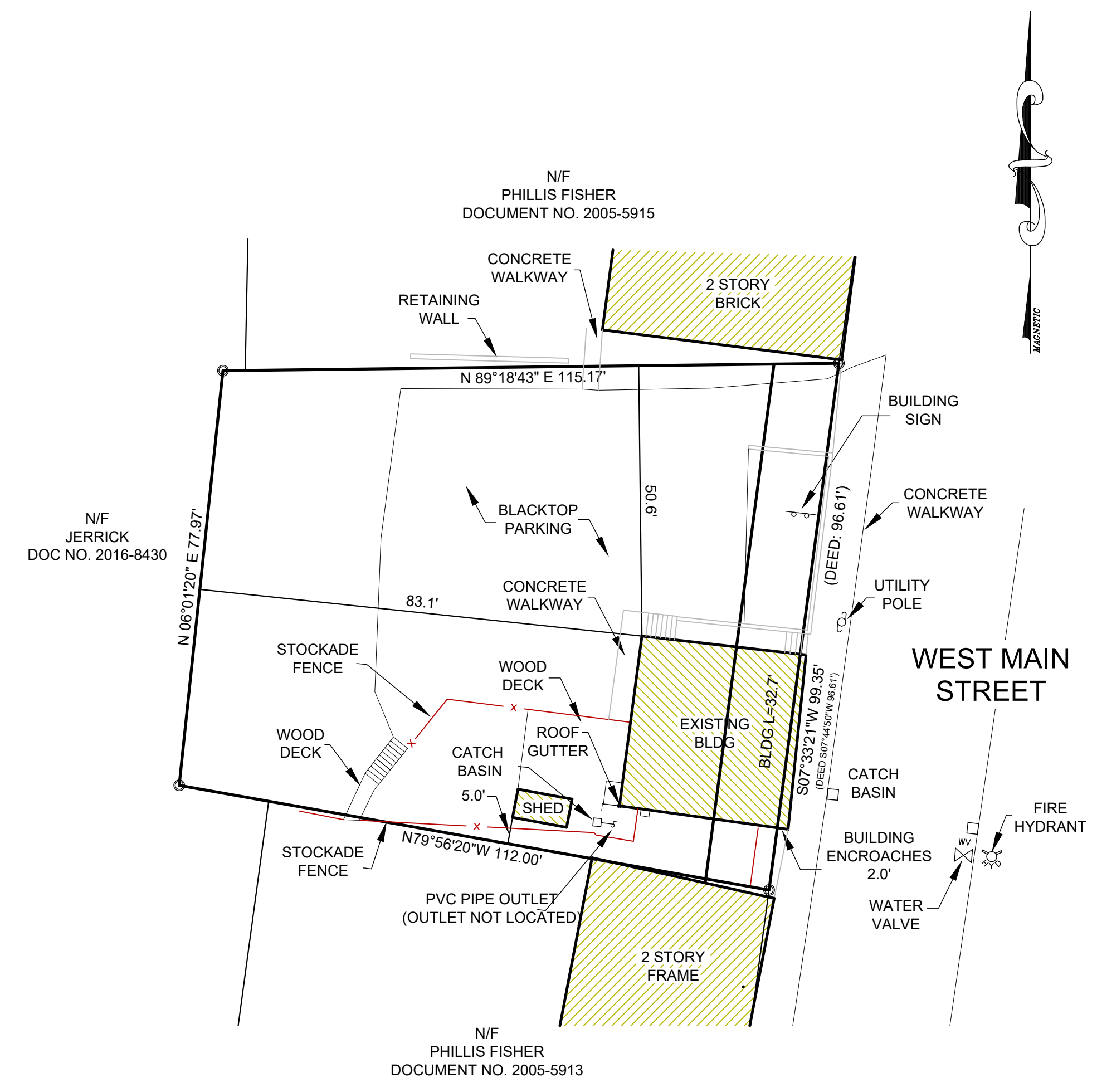
RESERVED PARKING
MUTCD NY R7-8
SIGN SIZE = 12"x18"

PERMIT REQUIRED
TOW AREA ZONE

PARKING FOR RESIDENTS OF WEST VILLAGE LOFTS ONLY
ALL OTHERS TOWED AT OWNER'S EXPENSE
SIGN SIZE = 12"x18"

HC

RP



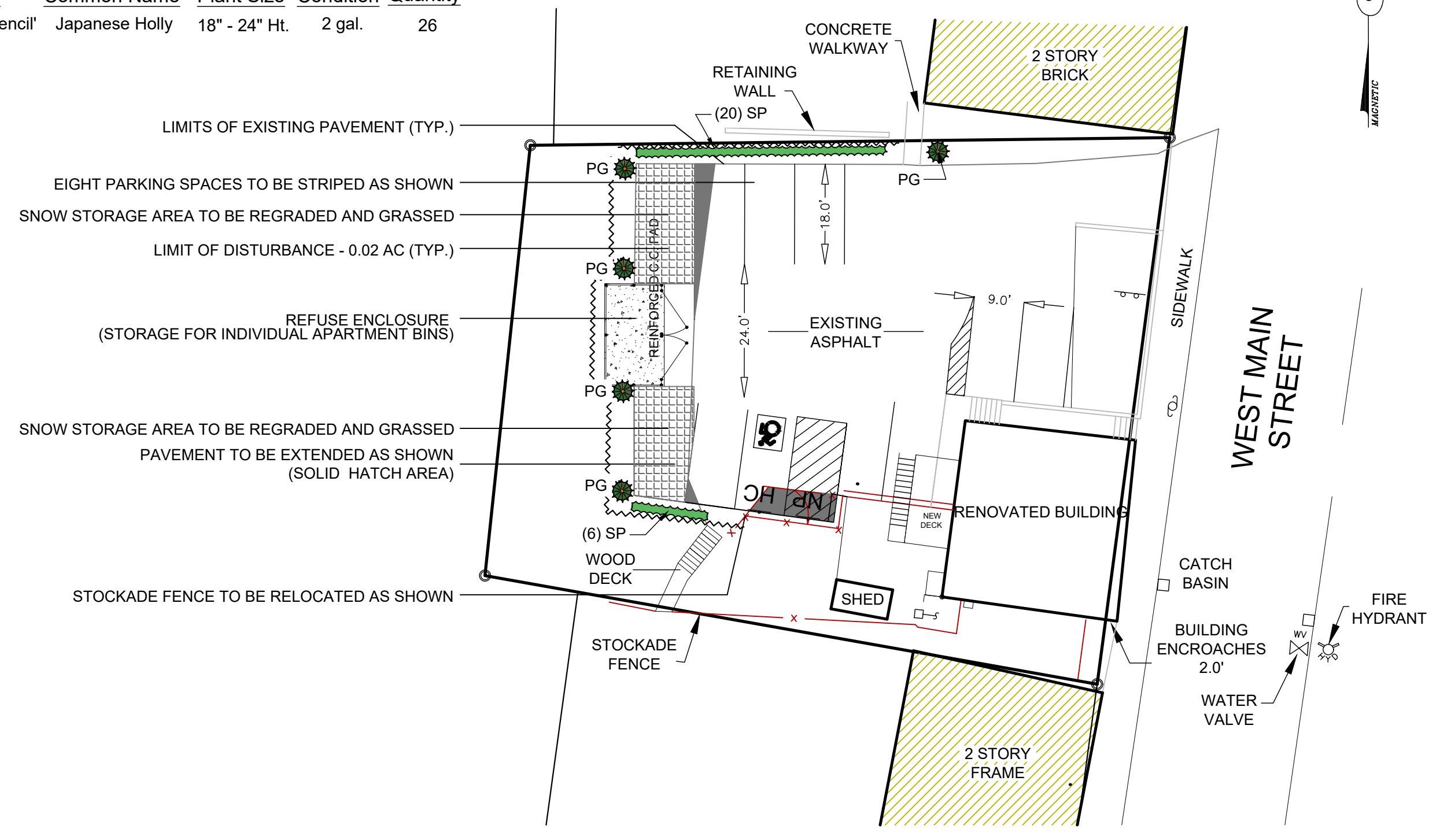
1 EXISTING CONDITIONS PLAN
SCALE: 1" = 20'

Tree Legend

Symbol	Latin Name	Common Name	Plant Size	Condition	Quantity
PG	Picea glauca	White Spruce	8-10'	B&B	5

Shrub Legend

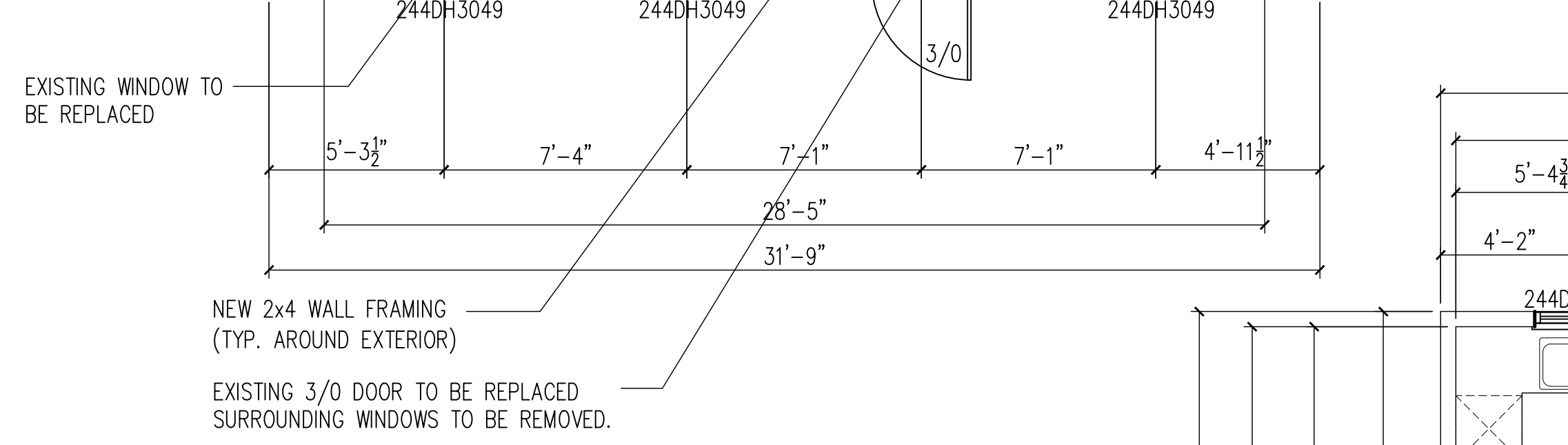
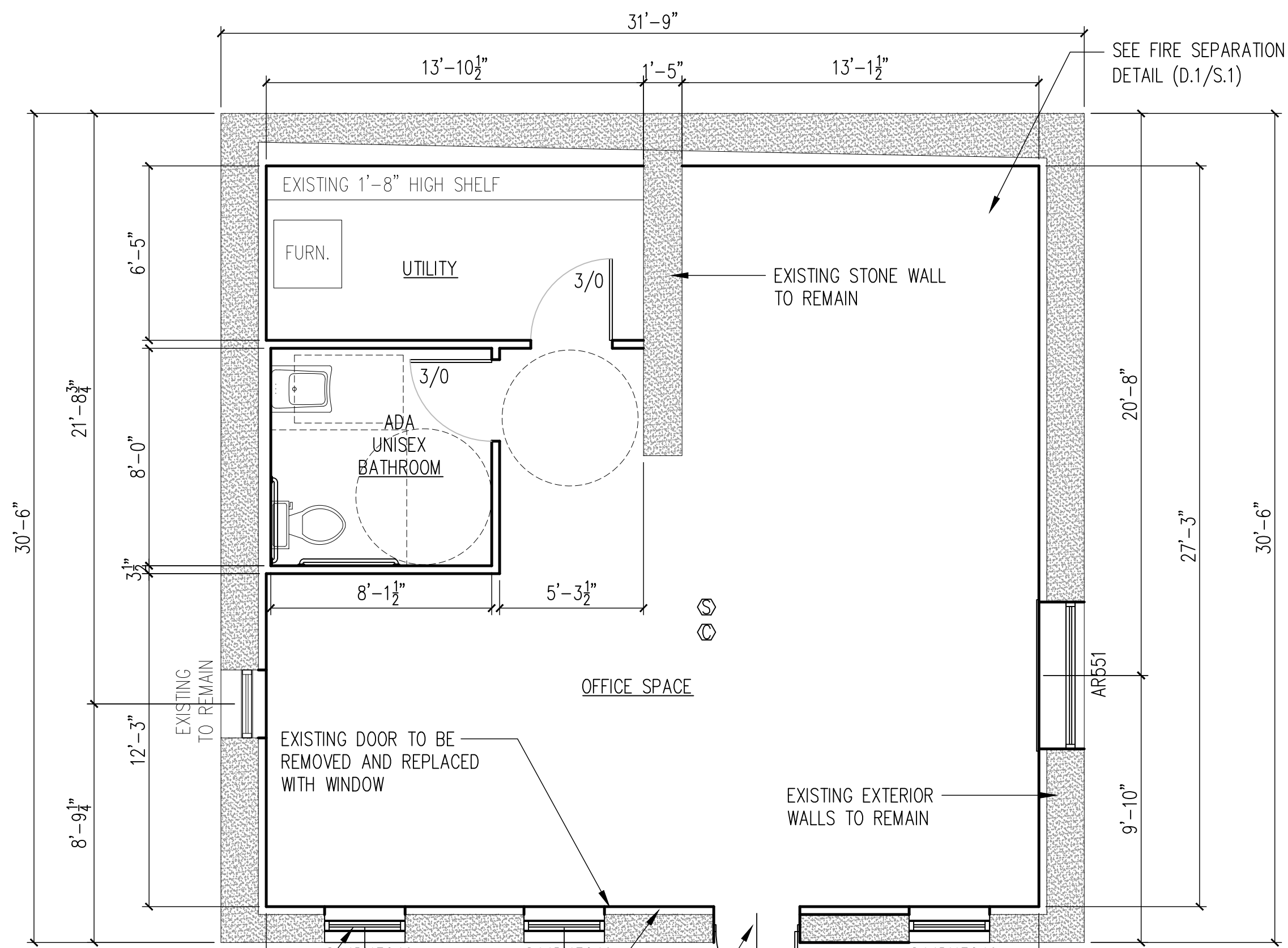
Symbol	Latin Name	Common Name	Plant Size	Condition	Quantity
SP	Ilex crenata 'Sky Pencil'	Japanese Holly	18" - 24" Ht.	2 gal.	26



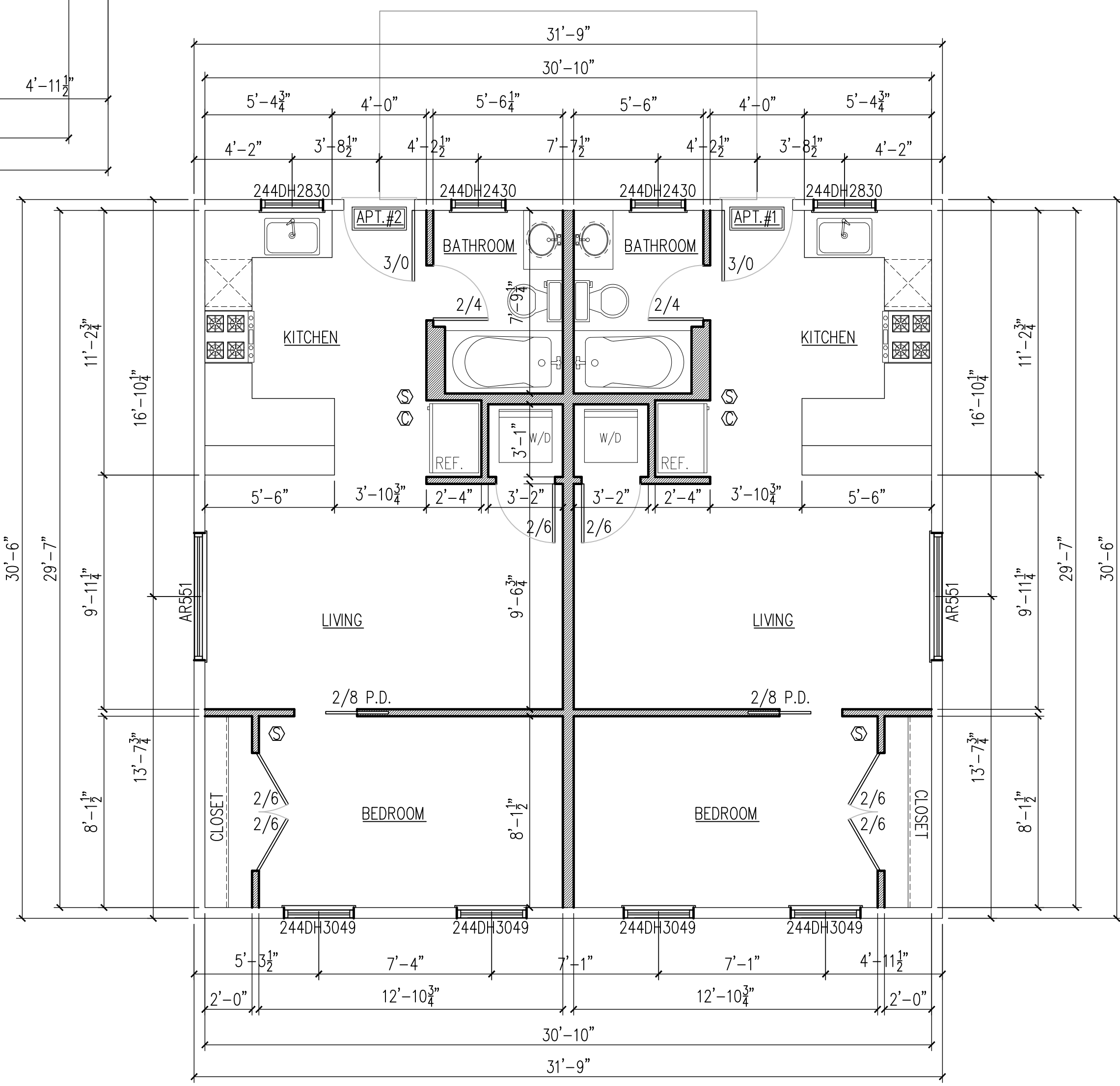
2 PROPOSED CONDITIONS PLAN
SCALE: 1" = 20'

- SITE SPECIFIC NOTES:
1. THE APPLICANT PROPOSES TO DEMOLISH THE UPPER TWO FLOORS OF AN EXISTING 2 1/2 STORY BUILDING, AND REPLACE THEM WITH TWO STORIES TO INCLUDE TWO ONE-BEDROOM APARTMENTS ON THE SECOND FLOOR, AND ONE TWO-BEDROOM APARTMENT ON THE THIRD FLOOR. THE FIRST FLOOR WILL INCLUDE A 4,688 SQUARE FOOT COMMERCIAL SPACE AND A 89 SQUARE FOOT UTILITY ROOM. THE 0.228 ACRE PARCEL IS LOCATED AT 2695 W. MAIN STREET IN THE VILLAGE COMMERCIAL (VC) DISTRICT.
 2. THE BOUNDARY AND ASBUILT INFORMATION AS TAKEN FROM THE MAPPING PREPARED BY ROBERT V. OSWALD LS DATED JUNE 11, 2018.
 3. ALL STEPS SHALL MEET NYS BUILDING CODE REQUIREMENTS AS STATED ON HOUSE DESIGN PLANS.
 4. ROOF DRAINS ENTER INTO EXISTING CATCH BASIN WHICH IS CONVEYED TO THE EXISTING DRAINAGE SYSTEM IN THE STATE ROW.
- IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

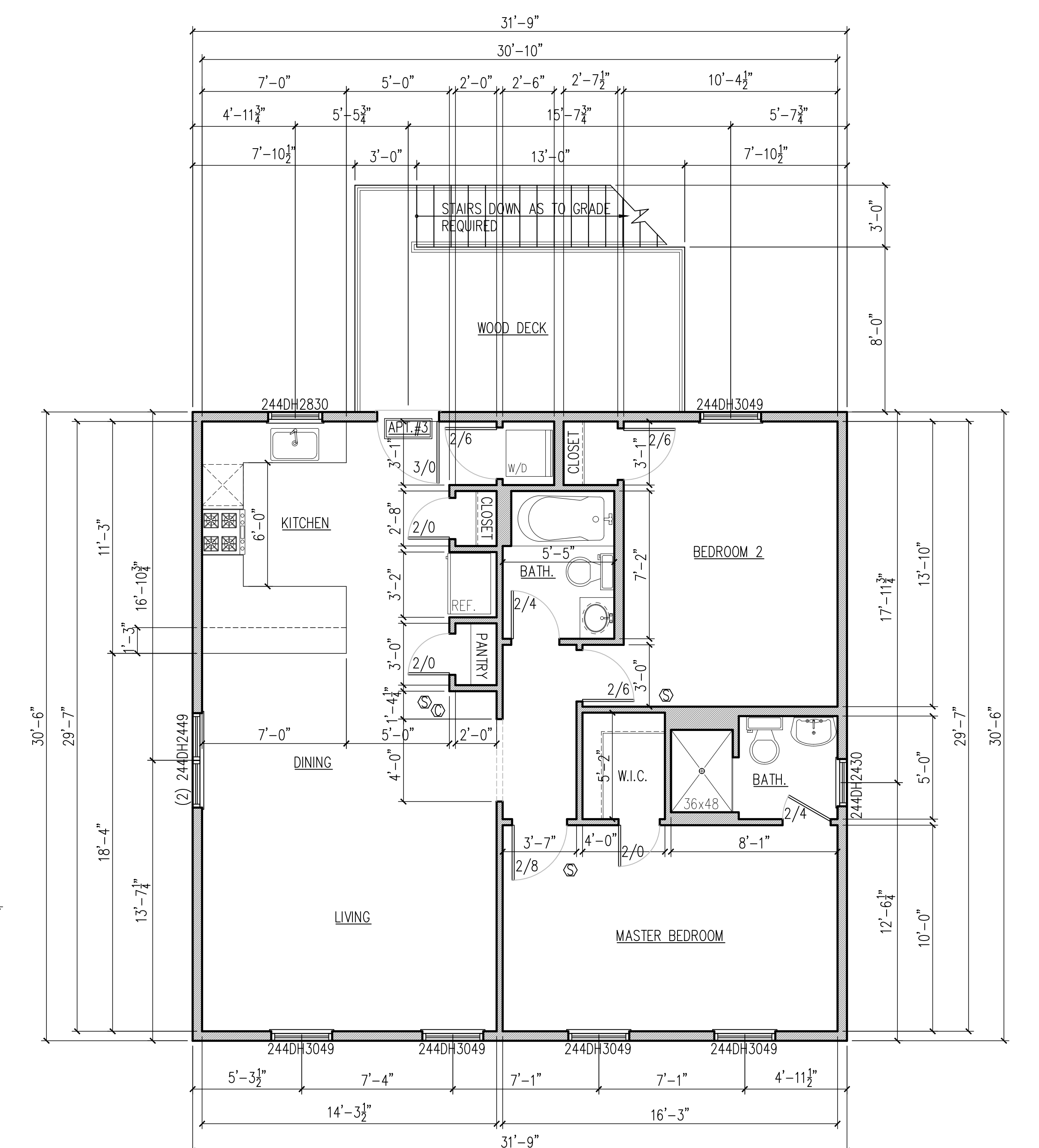
Brian J. Stokosa, PE	
DECEMBER 16, 2020	
NOVEMBER 16, 2020	
Project No.	2018.231
License No.	083970
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Wappingers Falls, New York 12590 (845)-223-3202	
2695 W. MAIN STREET Village of Wappinger Dutchess County, New York	
SITE PLAN	
SCALE	DRAWN BY
AS NOTED	BJS
DATE	CHECKED BY
2-12-2019	BJS
2 Page 1 of -	



A.1 PROPOSED FIRST FLOOR PLAN
 A.2 SCALE: 1/4" = 1'-0"



A.2 PROPOSED SECOND FLOOR PLAN
 A.2 SCALE: 1/4" = 1'-0"



A.2 PROPOSED THIRD FLOOR PLAN
 A.2 SCALE: 1/4" = 1'-0"

DRAWINGS NOT FOR CONSTRUCTION USE

PLEASE NOTE THAT ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.

Mark A. Day, PE	
12/15/2020	Revision
11/11/2020	Revision
2020.481	Project No.
069646	License No.
DAY STOKOSA ENGINEERING P.C.	
3 Van Wyck Lane Suite 2 Wappingers Falls, New York (845)-223-3202	
2695 W. Main Street Village of Wappingers New York	
Proposed Plans	
SCALE: AS NOTED	DRAWN BY: KR
DATE: 11/09/2020	CHECKED BY: MAD
A.2	