

VILLAGE OF WAPPINGERS FALLS
Offices of Planning/Zoning
2582 South Avenue Wappingers Falls, NY 12590
(845) 297-5277 Fax: (845) 296-0379

AGENDA OF THE ZONING BOARD OF APPEALS

October 4, 2022

The Zoning Board of Appeals of the Village of Wappingers Falls will hold a meeting at the American Legion Hall, 7 Spring Street, Wappingers Falls, on October 4, 2022, beginning at 7 p.m. There are two public hearings scheduled for this meeting.

The agenda is as follows:

ROLL CALL

APPROVAL OF JANUARY 11, 2022 MINUTES

PUBLIC HEARINGS

CENTER FOR PHYSICAL THERAPY

2 Delavergne Avenue (Grid #6158-10-268607) – Campilii-Snyder Fmly Farm LLC (Owner and Applicant) – Christian R. Paggi, PE (Engineer) – Area Variance Application.

This property is located in the Village Mixed (VM) zoning district. The applicant is seeking a variance from Village Code Attachment §151-5(C) and Zoning Table 2D, “Setbacks - Principal Building,” for parcels in the Village Mixed (VM) zoning district, to permit the construction of an addition to the existing structure, having a proposed secondary frontage setback of 7 feet, 8 inches, where a minimum of 10 feet is mandated, therefore requiring a variance of 2 feet, 2 inches.

2731 W MAIN STREET

2731 W Main Street (Grid #6158-13-240434) – Dylan Aguado (Owner and Applicant) – William H. Povall, III, P.E. (Engineer) – Area Variance Application.

This property is located in the Village Mixed (VM) zoning district. The applicant is seeking variances from Village Code §151-9(B)(1) which requires a right-of-way not less than 40 feet wide, with a minimum road width of 18 feet, when more than

one principal building is to be located on the same lot and each building is required to have access, to permit the construction of a second 2-family dwelling on the property to be accessed by a right-of-way width of 16 feet, with a road width of 14 feet, requiring a variance of 24 feet for the right-of-way width, and a variance of 4 feet for the road width.

DISCUSSION

The Zoning Board will discuss the Town of Poughkeepsie Planning Board intent to be lead agency on the proposed Delavergne Avenue Subdivision, 40 Delavergne Avenue, Grid #6158-01-164655 (Town of Poughkeepsie) and Grid #6158-09-173629 (Village of Wappingers Falls).

LAWRENCE J. PAGGI, PE, PC

Consulting Engineering

43 Broad Street
Fishkill, New York 12524

Phone 845 897 2375
Fax 845 897 2239

September 15, 2022

Attn: Mercedes Perez
Secretary to Planning & Zoning
Village of Wappingers Falls Zoning Board of Appeals
2582 South Avenue
Wappingers Falls, NY 12590

Re: 2 Delavergne Avenue
Application for Area Variance
Tax Grid No.: 134601-6158-10-268607

Dear Chairman Firstenberg and Members of the Board:

Please find enclosed ten (10) copies of the following information relative to the above referenced Area Variance Application:

1. Application for Area Variance, dated 9/7/22
2. Owner Affidavit Forms, dated 9/9/22
3. Short EAF, dated 6/8/22
4. Letter of Denial from Village Zoning Administrator, dated 8/30/22
5. Amended Site Plan, Sheet C100, dated 6/8/22, last revised 8/16/22
6. Proposed Building Renderings, 8.5" x 11"
7. Pergola Roof Catalog, 8.5" x 11"
8. Photographs of project area, 8.5" x 11"
9. Application and Escrow Fees (two separate checks)
10. Digital Copy (CD)

The Applicant is seeking an Area Variance of 2.2-ft to allow for a 7.8-ft secondary frontage setback to a proposed addition, where a 10-ft minimum setback is required. If granted, the variance would allow for the construction of a *Pergola Roof*® addition on the southeast corner of the existing Center for Physical Therapy building at 2 Delavergne Avenue. The proposed Pergola addition is fitted with a mechanical louvered roof system and glass sidewalls and doors, providing a unique indoor/outdoor treatment space for patients and therapists. Additional information on the proposed Pergola structure is included in the submission materials, and the Applicant will be prepared to speak more to the intended use and aesthetic at the upcoming Zoning Board meeting.

Application for Site Plan Approval has been made to the Village Planning Board on June 8, 2022, and the Applicant has subsequently appeared before that Board on July 7th and September 1st for review and discussion.

The Applicant kindly requests to be placed on the October 4th Zoning Board meeting agenda for the opportunity to present this application. Your consideration of this matter is greatly appreciated.

Sincerely,



Christian R. Paggi, PE
Senior Engineer

Enclosures



VILLAGE OF WAPPINGERS FALLS

APPLICATION FOR AREA VARIANCE

OFFICE OF BUILDING,
PLANNING AND ZONING
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277
FAX: (845) 296-0379
bmurphy@wappingersfallsny.gov
mperez@wappingersfallsny.gov
www.wappingersfallsny.gov

SUBMISSION REQUIREMENTS

1. All sections of the application form must be complete and accurate.
2. Application fee (non-refundable): cash or checks payable to "Village of Wappingers Falls"
3. The application must be filed with ten (10) copies of your appeal, together with ten (10) copies of all supporting documentation, and also submitted electronically in PDF format, including:

- "Letter of Denial"
- Affidavit of ownership
- Contract of Sale or Lease, if applicable
- Photographs of affected area if applicable
- Plot Plan :

* A scale drawing not less than 8 1/2 by 11 inches in size.

*Suggested examples to include are: boundaries and dimensions of lot, dimensions and locations of existing structures (include porches, fences, walls, pools, sheds, signs, etc.). Dimensions of building set backs from property lines, location of driveways and parking layout, adjacent property lines, location of driveways, and parking layouts, adjacent property lines within 100 feet of the site, right of ways and easements, adjacent street(s), north point, building elevation (not required in most cases) may be helpful in rendering a decision.

APPLICATION DEADLINE:

In order to be on the following month's agenda you should submit a properly completed application by the submittal due date. For the ZBA meeting schedule and submittal due dates, please visit the Building, Planning & Zoning page of the Village website: <https://www.wappingersfallsny.gov/building-planning-zoning/>

ZBA meetings begin at 7:00 p.m. You are encouraged to visit the Village website and/or call the Planning and Zoning office the day of the meeting to confirm the meeting.



VILLAGE OF WAPPINGERS FALLS
OFFICE OF BUILDING, PLANNING & ZONING
 (845) 297-5277 Fax: (845) 296-0379

APPLICATION FOR AN AREA VARIANCE

APPEAL NUMBER: _____ **MEETING DATE:** _____

APPLICANT:

Name: Campilli-Snyder Fmly Farm LLC

Address: 2 Delavergne Ave

Phone Numbers: (H) 845-297-4789 (C) _____

(E-mail) c4pt@optonline.net -

(If the applicant is not the owner, a Consent form signed by the owner must be filed with this application.)

PROPERTY OWNER:

Name: Same as Applicant

Address: _____

Contact Phone Numbers. : (H) _____ (C) _____

(E-mail) _____

PROPERTY INFORMATION

Property Address (subject of appeal): 2 Delavergne Ave, Wappingers Falls, NY 12590

Tax Parcel #: 134601-6158-10-268607

Date property acquired: 2001

Present use of property: Physical Therapy Clinic

Zoning District: VM-Village Mixed

Dimensions: Lot Area 22,238 (sq. ft. Width 147.1 ft. Depth 150.0 ft.

Setback: Primary Front 31.3* ft. Rear 17.3 ft. *Proposed primary and secondary front yards (corner lot)
 Secondary Front Sides 7.8* ft. and 65.9 ft.

REQUEST FOR AREA VARIANCE

Deed Restrictions: None

Section(s) of ordinance from which variance is requested:

SECTION	REQUIRING	REQUESTED VARIANCE
§ 151-5(C) Table 2D	10-ft secondary frontage setback to principal structure	2.2-ft variance to allow 7.8-ft variance



VILLAGE OF WAPPINGERS FALLS
OFFICE OF BUILDING, PLANNING & ZONING
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APPLICATION FOR AN AREA VARIANCE (Continued)

Description of appeal Requested: Requesting 2.2-ft variance from to allow 7.8-ft secondary frontage setback to the proposed addition to the existing primary structure.

Dates and Descriptions of prior appeals, variances or special permit for property: None

Planning Board review date(s): 7/7/22 & 9/1/22

Environmental review: Determined to be an Unlisted Action by Planning Board at 7/7/22 meeting

PLEASE ANSWER THE FOLLOWING QUESTIONS: (Use attachments if necessary)

1. How will this variance affect nearby properties?

The proposed addition will abut West Main (9D) and Delavergne Avenue. There will be no encroachments on or near setbacks abutting adjacent residences or businesses.

2. How will granting this variance benefit the property owner?

The addition will provide indoor/outdoor treatment area where none is currently available.

The addition will allow for direct access to the front yard for treatment of patients on uneven/natural surface (i.e. grass).

3. What is the minimum relief needed? 2.2-ft. The proposed addition is proprietary (Pergola)

and is only provided in modular form; as such the addition cannot be reduced by the required 2.2-ft

4. Why are alternative methods for compliance NOT FEASIBLE?

See response 3. above. Also, due to the current floor plan of the clinic and the need to maintain compliance with various ADA and HIPPA laws, the addition cannot be relocated to avoid the need for a variance.

5. Did you do something to your property to cause the need for the variance? (i.e., previous activities such as grading, excavations, additions, improvements) ? The existing building has been in place for over 25 years. There

have been no recent activities on the site that would cause the need for the variance.



VILLAGE OF WAPPINGERS FALLS

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APPLICATION FOR AN AREA VARIANCE (Continued)

6. How will this variance affect the general character of the community with respect to noise, vibration, odors, vehicular and pedestrian traffic, visual aesthetics, public services (such as schools, police, fire, water, sewer, and roads)? There is no proposed increase in intensity of the existing use, therefore no changes to
water, sewer, traffic, parking, etc. is anticipated. A brochure for the proposed pergola addition is
attached to this application demonstrating the quality of the structure and aesthetics. The addition
is also proposed to be landscaped to remain consistent with the character of the surrounding area.

7. How will the proposed variance affect the health, safety, security morals or general welfare of residents, visitors or workers in the area? The proposed variance is not anticipated to have any impact on residents, visitors
or workers in the area other than the employees and patients of the Center for Physical Therapy, as
the variance will allow for the creation of needed alternative treatment space.

REQUIRED SUBMITTALS:

- "Letter of Denial"
- Affidavit of ownership
- Contract of Sale or Lease, if applicable
- Photographs of affected area if applicable
- Plot Plan
- Application Fee

SIGNATURE AND VERIFICATION

Please be advise that no application can be deemed complete unless signed below.

The applicant hereby states that all information given is accurate as of the date of application. If not the owner of the property, I hereby swears that this application is made with the informed knowledge and consent of the owner.

SIGNATURE OF APPLICANT

DATE

Short Environmental Assessment Form

Part 1 - Project Information

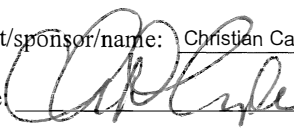
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 2 Delavergne Avenue			
Project Location (describe, and attach a location map): 2 Delavergne Avenue, Wappingers Falls, NY 12590 (Village of Wappingers)			
Brief Description of Proposed Action: Addition of new sun room pergola attached to existing Physical Therapy facility.			
Name of Applicant or Sponsor: Campilii-Snyder Fmly Farm LLC		Telephone: 845-297-4789	
Address: 2 Delavergne Avenue		E-Mail: c4pt@optonline.net	
City/PO: Wappingers Falls		State: NY	Zip Code: 12590
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Wappingers: Site Plan approval from Village Planning Board; Area Variance from Village of Wappingers Falls ZBA, Building Permit from Village Building Department; NYSDOT		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____		0.50 acres	
b. Total acreage to be physically disturbed? _____		0.02 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____		0.50 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name:Wappinger Lake, Reason:Protection of natural resource, Agency:Wappinger Falls, Village of, Date:6-29-98 If Yes, identify: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Pied-billed Grebe, Indiana Bat	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
<u>Runoff generated by new pergola to be directed to new stormwater management system (sub-surface infiltration) with surface overflow to adjacent lawn area.</u>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Christien Campilii</u> Date: <u>6/8/2022</u>		
Signature: <u></u> Title: <u>Owner/Applicant</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



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Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Wappinger Lake, Reason:Protection of natural resource, Agency:Wappinger Falls, Village of, Date:6-29-98
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Pied-billed Grebe, Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

PART "A"
OWNER AFFIDAVIT

State of NEW YORK }
County of DUTCHESS } ss:

CHRISTIAN CAMPILII being duly sworn, deposes and says:

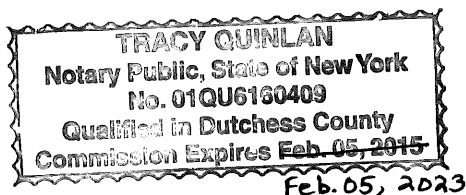
1. That I/we are the Owner(s) of the within property as described in the foregoing application for Zoning Board of Appeals approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize LAWRENCE J PAGGI, PE, EPC, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Zoning Board of Appeals approval that I/we expressly grant permission to the Zoning Board of Appeals and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Zoning Board of Appeals action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Zoning Board of Appeals, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Zoning Board of Appeals intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

[Signature]
Applicant/Owner

Applicant/Owner

Sworn to before me this 9TH day of
SEPTEMBER, 2022.

[Signature]
Notary Public



Feb. 05, 2023

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of NEW YORK }
County of DUTCHESS } ss:

CHRISTIAN CAMPILII being duly sworn, deposes and says:

1. That I/we are the OWNER named in the foregoing application for Zoning Board of Appeals approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 2 DELAVERGNE AVENUE in the County of DUTCHESS and the State of NEW YORK.
3. That I/we understand that by submitting this application for Zoning Board of Appeals approval that I/we expressly grant permission to the Zoning Board of Appeals and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Zoning Board of Appeals action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Zoning Board of Appeals, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Zoning Board of Appeals intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

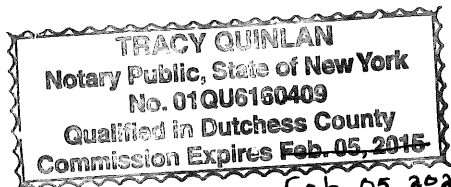
Applicant/Agent

Applicant/Agent

Sworn to before me this 9TH day of

SEPTEMBER, 2022.

Notary Public



Feb. 05, 2023



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

August 30, 2022

Campilli-Snyder Fmly Farm LLC
2 Delavergne Ave
Wappingers Falls, NY 12590

Re: Center for Physical Therapy
2 Delavergne Ave
Wappingers Falls, NY 12590

To Whom It May Concern:

Reference is made to your submission to my office and your application to the Planning Board regarding your proposal to construct a pergola addition to the existing structure at 2 Delavergne Avenue in Wappingers Falls, NY. Please note that 2 Delavergne Avenue is located in the Village Mixed zoning district.

At this time, I must deny your application because the addition, as proposed, does not meet Village Code requirements for the secondary frontage setback of a principal building. Pursuant to Village Code Attachment §151-5(C) and Zoning Table 2D, "Setbacks - Principal Building," for parcels in the Village Mixed (VM) zoning district, the secondary frontage setback for a principal building is required to be a minimum of 10 feet. The proposed secondary frontage setback is 7 feet, 8 inches. Therefore, a variance of 2 feet, 2 inches is required.

An application for an area variance is enclosed for your convenience. If you have any questions, please contact our office.

Thank you.

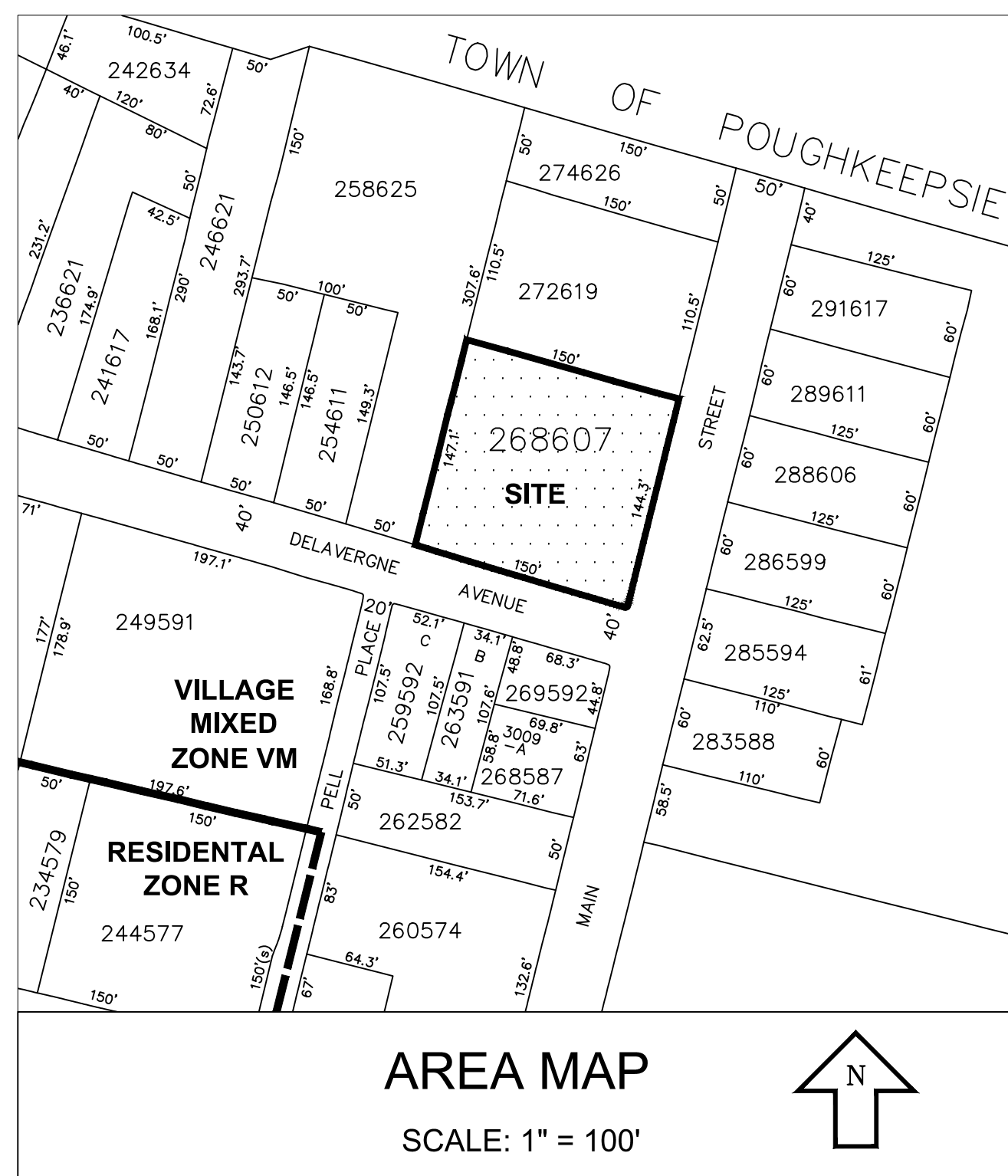
Bryan Murphy
Bryan Murphy
Building Inspector/Zoning Administrator
Village of Wappingers Falls

BM/mp
Enclosure

Cc: Christian Paggi, PE, Lawrence J. Paggi, PE, PC Engineering (*via email*)

Center For Physical Therapy - Photos of the project area





AREA MAP
SCALE: 1" = 100'

SITE DATA:

LOT 1
OWNER: CAMPILII-SNYDER FMLY FARM LLC
ADDRESS: 2 DELAVERGNE AVE WAPPINGERS FALLS NY, 12590
TAX ID No.: 134601-6158-10-268607
AREA: CURRENT: 0.51 AC PROPOSED: 0.51 AC ZONE: VM-VILLAGE MIXED

SITE AREA BREAKDOWN

	ACRES	PERCENTAGE
BUILDING:	0.11	21.6 %
GREENSPACE:	0.15	29.4 %
CONCRETE:	0.03	5.9 %
ASPHALT:	0.22	43.1 %

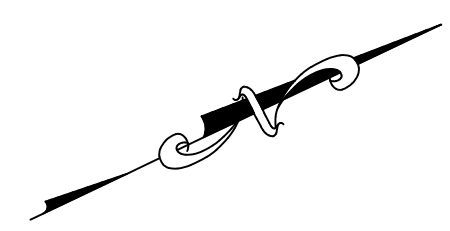
SITE DIMENSIONS

	REQUIRED	PROPOSED
MIN LOT AREA:	N/A	0.51 AC
MAX BUILDING HT.:	3 STORY	1 STORY
MIN LOT WIDTH:	25 FT.	147.12 FT.
MIN FRONT SETBACK:		
PRIMARY:	10 FT.	31.3 FT.
SECONDARY:	10 FT.	7.8 FT.
MIN SIDE SETBACK:	0 FT.	65.9 FT.
MIN REAR SETBACK:	10 FT.	17.3 FT.
MAX LOT COVERAGE:	75%	70.6%
BUILDING COVERAGE:	N/A	21.6%
MIN. GREENSPACE:	10%	29.4%

VARIANCES REQUIRED TO BE OBTAINED FROM THE VILLAGE ZONING BOARD:
• VARIANCE TO ALLOW 7.8 FT SECONDARY FRONT SETBACK

BOUNDARY AND EXISTING CONDITIONS INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "MAP OF SURVEY FOR THE LANDS OF CHRISTOPHER CAMPILII", PREPARED BY ROBERT V. OSWALD LAND SURVEYING, DATED 5/9/22

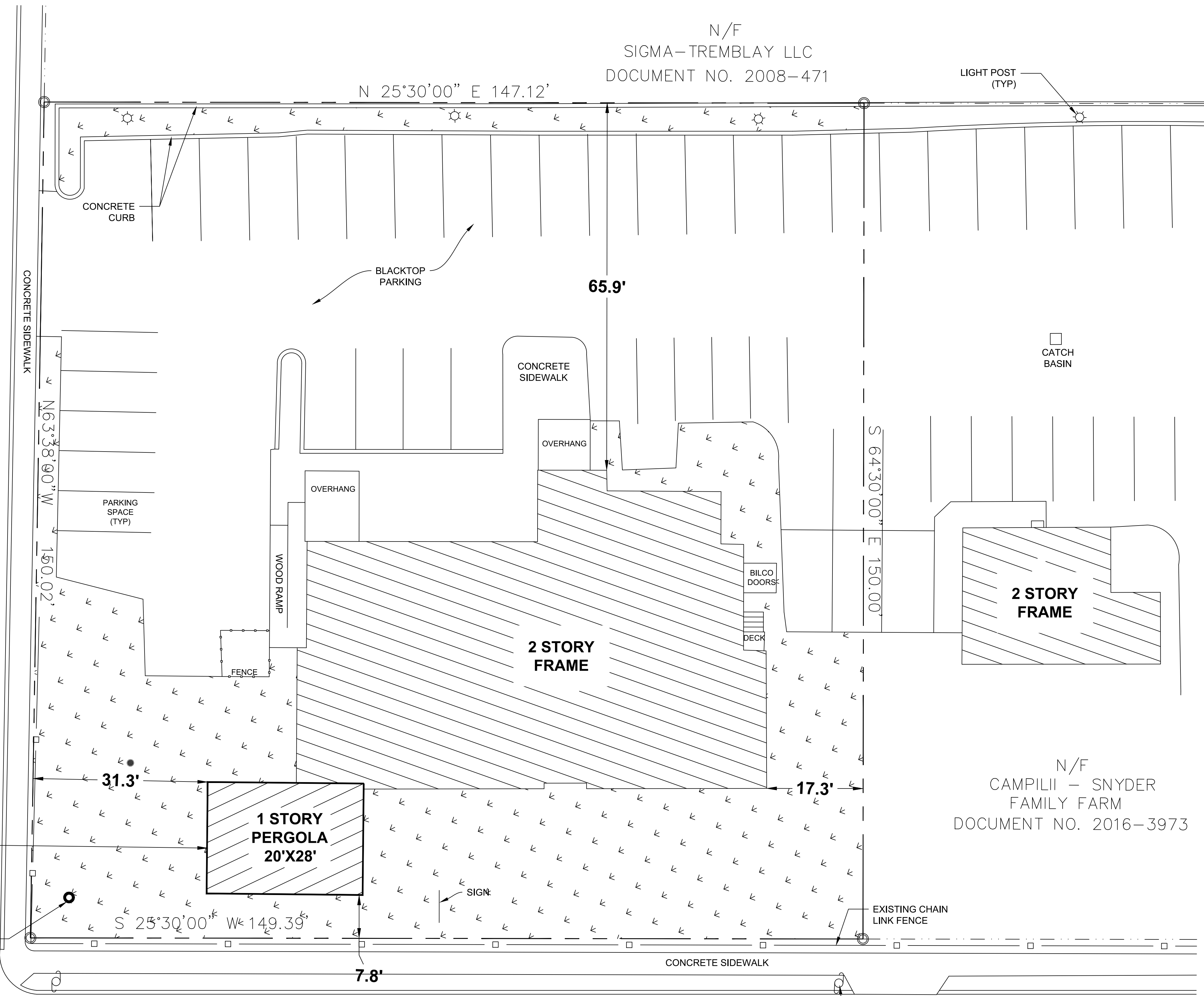
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW



DELAVERGNE AVENUE

PROPOSED 560 SF PERGOLA SUN ROOM

UTILITY POLE (FIELD LOCATED BY SANOK DESIGN GROUP)



WEST MAIN STREET (A.K.A. ROUTE 9D)

LAWRENCE J. PAGGI, PE, PC
CONSULTING ENGINEERING
43 BROAD STREET
FISHKILL, NEW YORK 12524
TELEPHONE: (845) 897-2375

FINAL	DATE
BY: CJP	8/11/2022

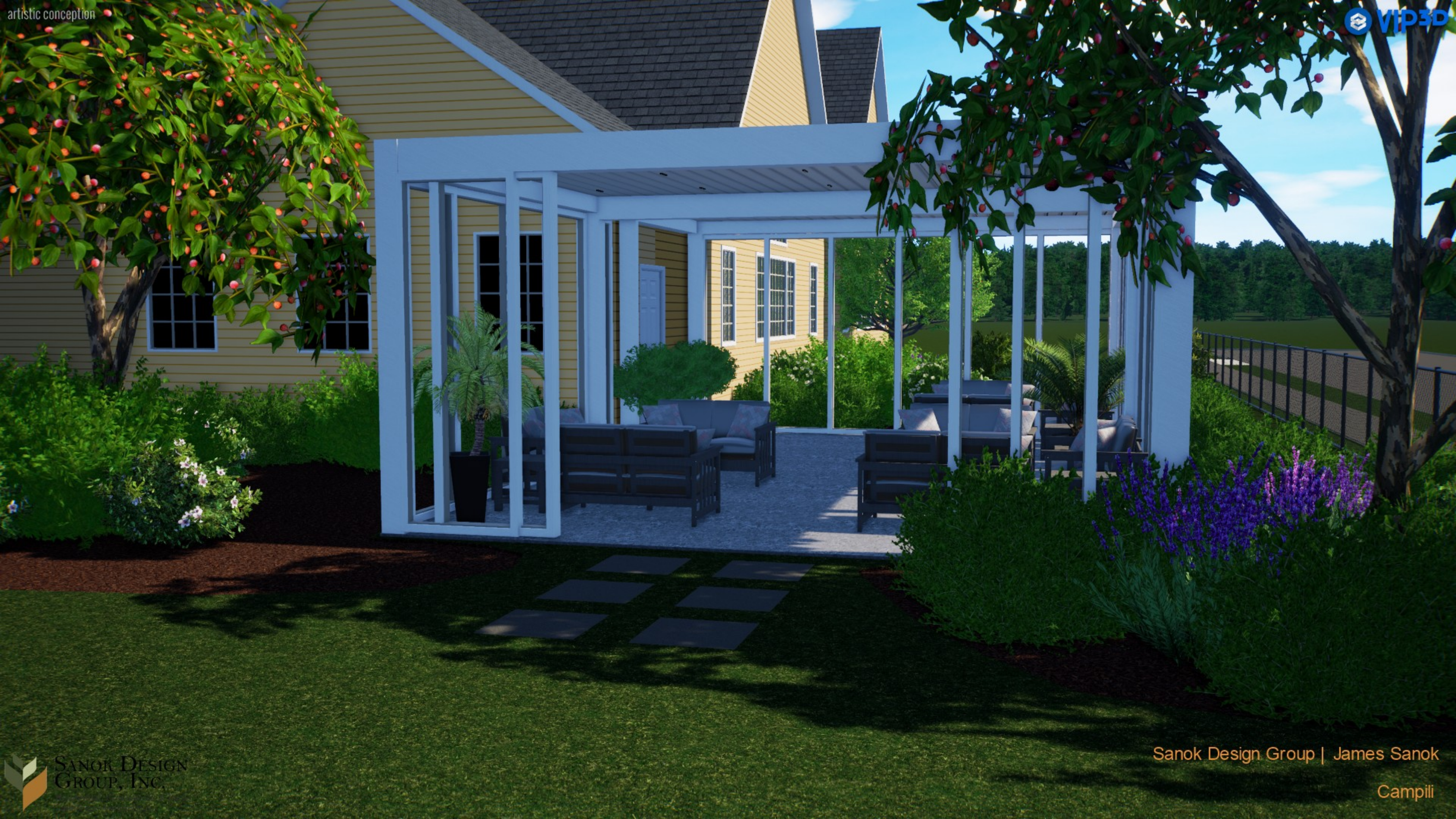
RESPONSES TO PLANNING BOARD COMMENTS

CAMPILII-SNYDER FMLY FARM LLC
2 DELAVERGNE AVE, WAPPINGERS FALLS, NY 12590
VILLAGE OF WAPPINGERS FALLS
COUNTY OF DUTCHESS, STATE OF NEW YORK
AMENDED SITE PLAN

DATE: **JUNE 8, 2022**
SCALE: 1" = 10'
JOB NUMBER:

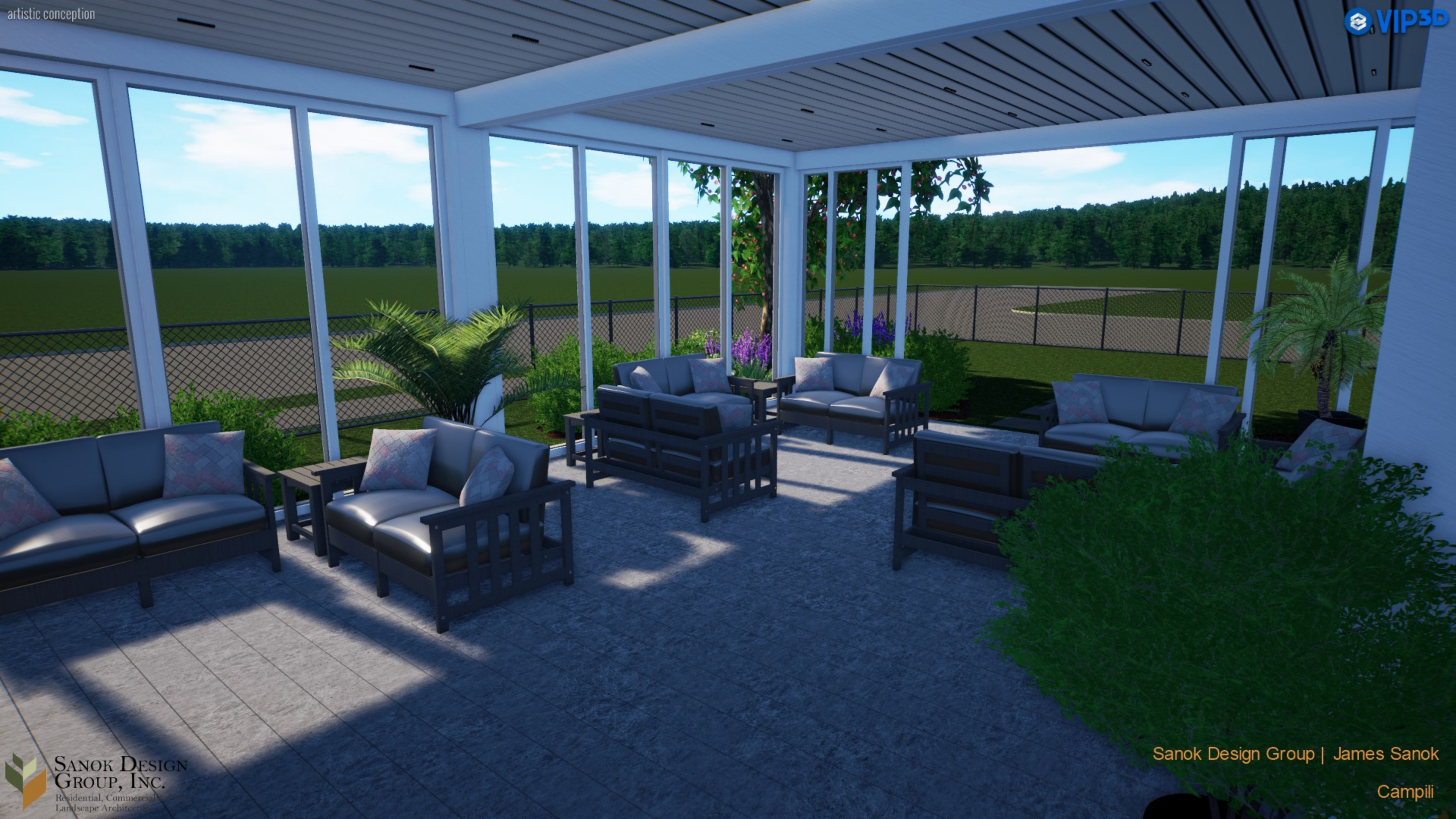
SHEET NUMBER:
C100

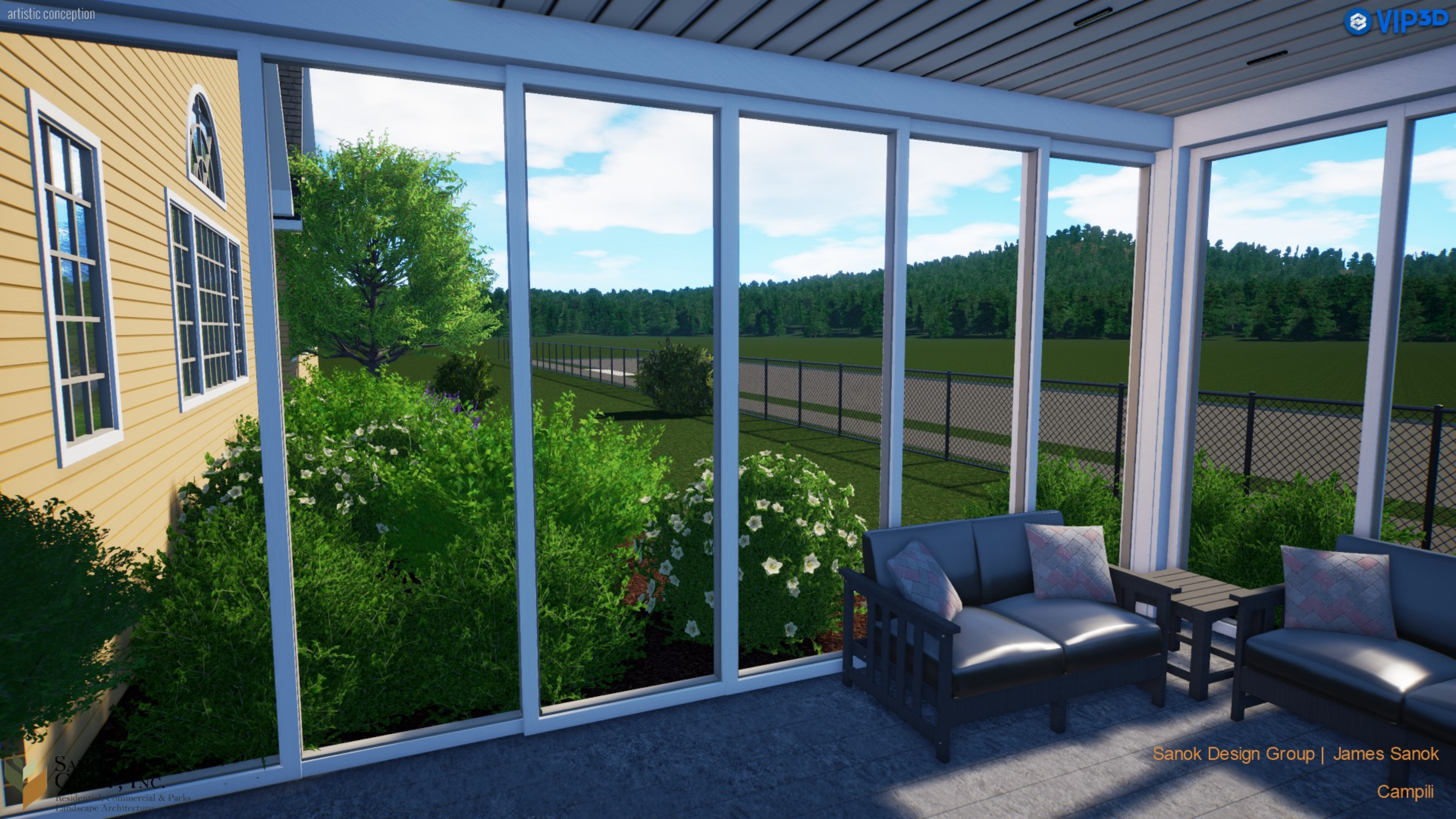






















**PERGOLA
ROOF**

(800) 967-0991
info@pergolaroof.com
pergolaroof.com
85 Broad street, Floor 18
New York, NY 10004



Ultimate Outdoor Solutions

ABOUT PERGOLA ROOF

Pergola Roof offers the best solutions to utilize your outdoor space all year round.

Our wide range of innovative products can be tailored to your specific needs to create an aesthetically pleasing landscape.

We lead by example through quality, design, and functionality.

"It's definitely unique. I've never seen anything like it before"

- Andy Spiler, Commack Fire Department

PERGOLA 1



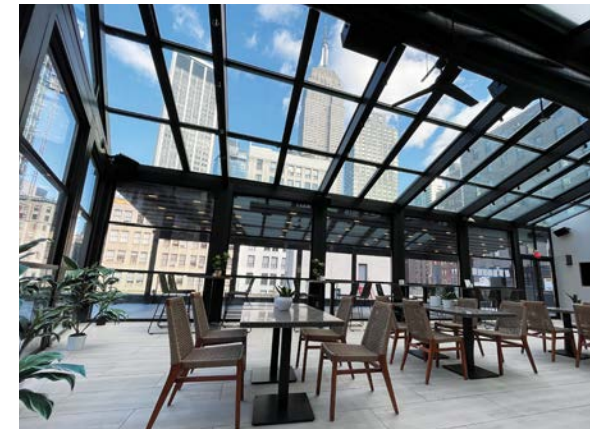
LOUVER 15



SCREEN 35



SUNROOM 41

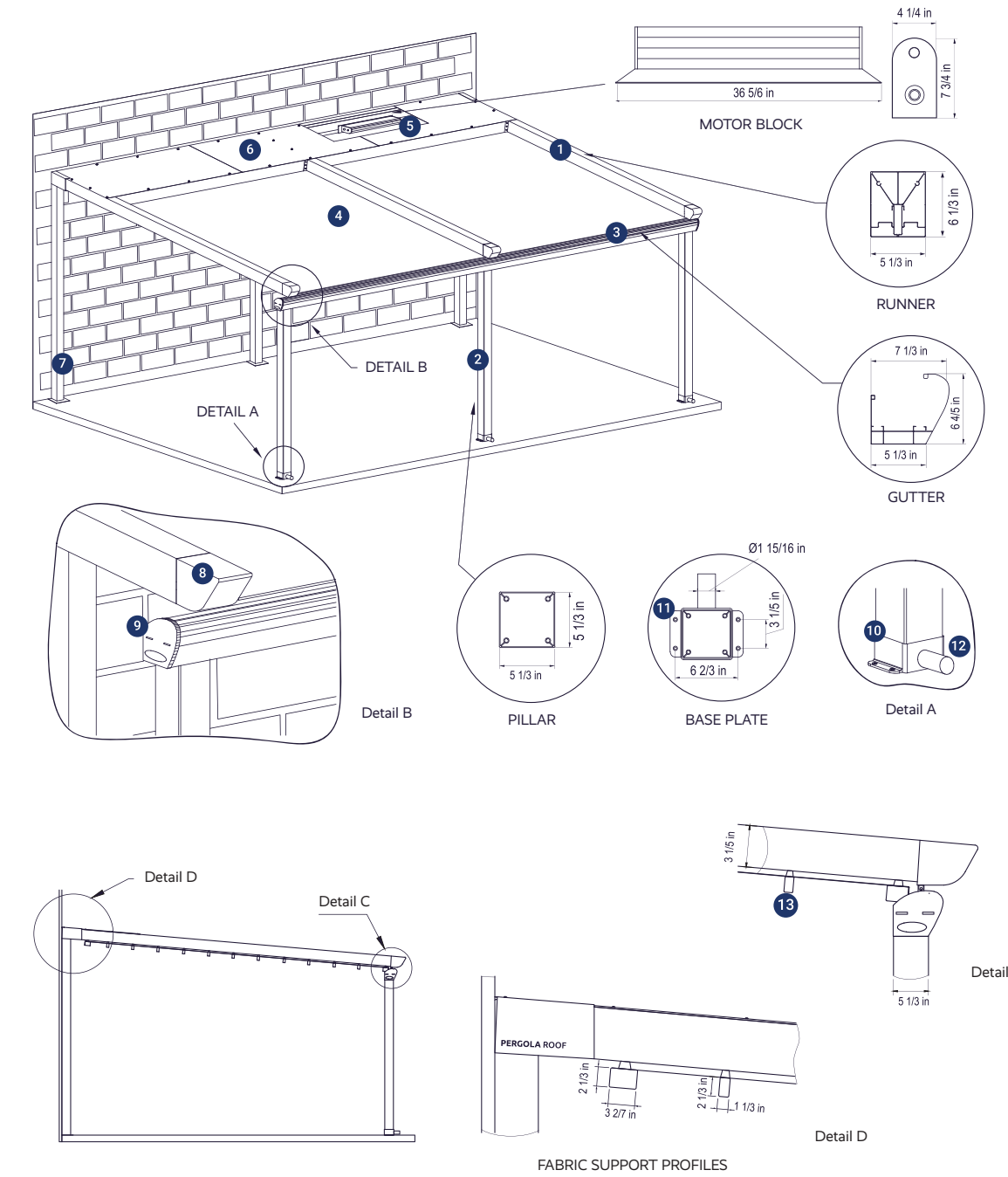


GUILLOTINE 47





Design Specs



1. Unibody aluminum press casting runner beam
2. Aluminum column (3 mm thick)
3. Double-skinned aluminum stream gutter
4. Fire retardant and waterproof retractable ceiling fabric with 3 layered complete blackout by Sergi Ferrari
5. The opening / closing movement of the roof cover is motorized with remote control by Somfy
6. Motor and fabric cover panel
7. Rear legs may be eliminated when directly installed to the wall
8. Die cast aluminum beam end cap
9. Plastic injected stream gutter side cap
10. Aluminum die casting attachment flange
11. M18 hex nut
12. Water dissent
13. Rail profile with integrated LED lighting

Pergola

Materials

FABRIC / COMPOSITE

Soltis Flexlight 602 by Serge Ferrari is a highly durable, dimensionally stable material with a 5 year warranty.



Flexlight 602

	Technical properties	Standards
Yarn	1100 dtex PES HT	1100 dtex PES HT
Finish	Varnish both sides	Varnish both sides
Weight	19.1 oz/yd2	22 oz/yd2 EN ISO 2286-2
Width	105.1	62 in: 109.3 yds 98.4 & 105.1 in: 54.6/328 yds
Standard length	54.6 yds/328 yds	
Tensile strength (warp/weft)	250/250 daN/5 cm	EN ISO 1421
Tear strength (warp/weft)	25/25 daN/5 cm	DIN 53.363
Adhesion	9/9 daN/5 cm	EN ISO 2411
Flame retardancy	Method 2/NFPA 701 • CSFM T19 • ASTM E662 • B1/DIN 4102-1 • M2/NFP 92-507 • Euroclass EN ISO 13501-1 • CAN / ULC S109-2014 (pending)	
Extreme working temperatures	-31°F / +158°F	In static position, internal test



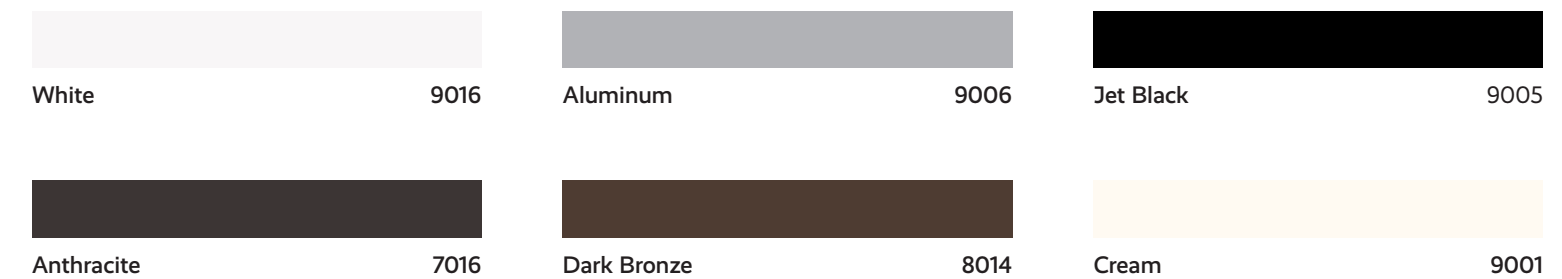
White

Gray

Cream

STRUCTURE

	Technical properties	Standards
Metal	11 gauge aluminum	
Finish	PE58 Qualicoat approved thermosetting powder coatings	
Weight	4 psf	
Width	16' span max. (no limit on number of sections)	
Projection	32' max. (single runner beam)	
Wind resistance	130 mph (vinyl canopy retracted closed)	
Tensile strength Rm (N/mm2)	245 (min.)	TS EN ISO 6892-1
Yield point Rp 0,2 (N/mm2)	200 (min.)	TS EN ISO 6892-1
Elongation A (%)	10 (min.)	TS EN ISO 6892-1



White

9016

Aluminum

9006

Jet Black

9005

Anthracite

7016

Dark Bronze

8014










Cream

9001

LOUVER

Louvered Roof | Motorized

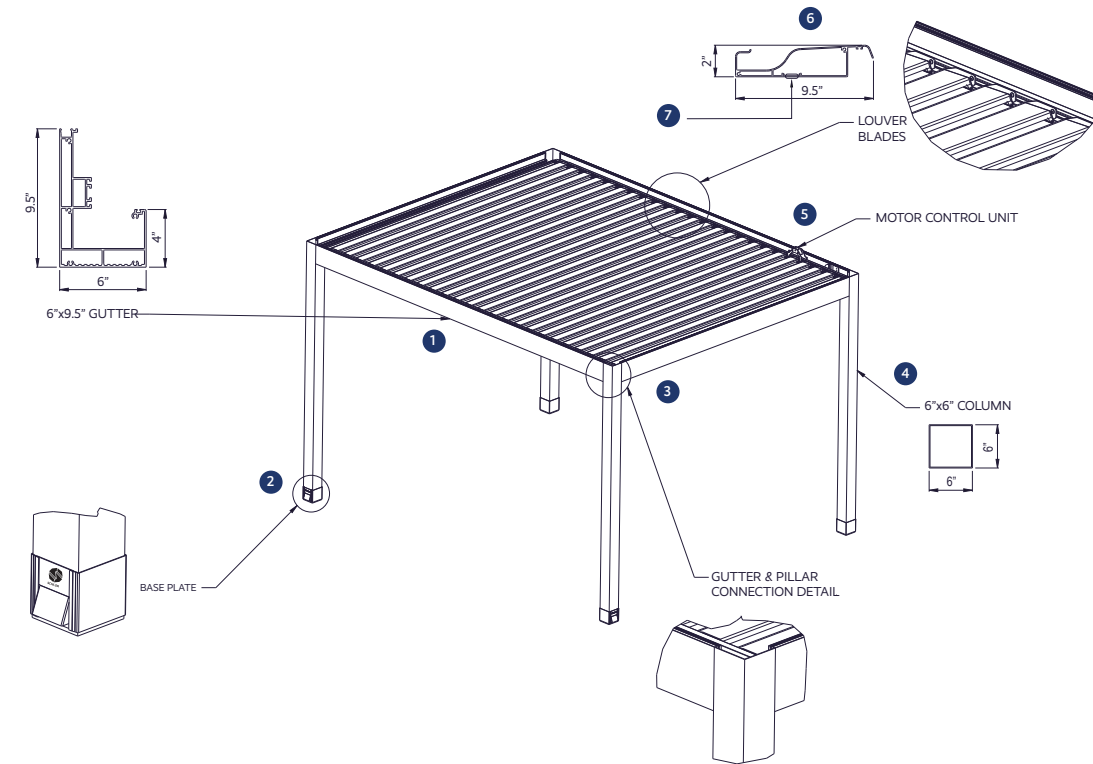
High-end motorized louvered roof, made of an aluminum structure with insulated aluminum panels. Our louvered structure offers outstanding comfort in the cold and hot seasons. This structure is built to handle whatever mother nature chooses to throw at it. Can handle a great deal of snow and wind load.

-  All Seasons
-  Resists bad weather
-  Fire retardant
-  Complete blackout
-  Watertight
-  Dimmable LED lights
-  Remote controlled
-  Custom finishes
-  Built to last





Design Specs



1. Built-in gutter aluminum side profiles
2. Unibody aluminum press casting base plate
3. Gutter drainage through column
4. Aluminum column (3 mm thick)
5. The pivoting open / close movement of the louver blades is motorized with remote control
6. Louver blades pivot up to 110°, they can be filled polyurethane foam for insulation
7. Optional integrated LED lights



Free standing - closed



Free standing - open

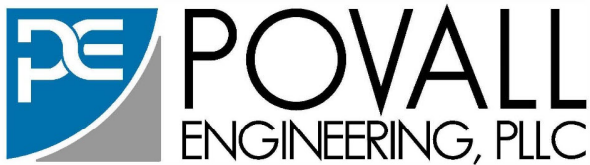


Wall mounted - closed



Wall mounted - open





p: (845) 897-8205

f: (845) 897-0042

www.PovallEngineering.com

3 Nancy Court, Suite 4

Wappingers Falls, NY 12590

William H. Povall III, P.E.

Professional Engineer: NY

September 14, 2022

Chairman Allan Firstenberg and Zoning Board of Appeals Members
Village of Wappingers Falls Planning Board
2582 South Avenue
Wappingers Falls, NY 12590

RE: Site Plan for 2731 W Main Street
Tax Grid Nos. 134601-6158-13240434 – 0.37 ac.
Village of Wappingers Falls

Dear Chairman Firstenberg and Zoning Board of Appeals Members:

On behalf of the owner/applicant, Dylan Aguado, we are submitting an Application for an Area Variance for the Site Plan referenced above. The owner/applicant is proposing to add a second 2-family residence on a 0.37-acre parcel located at the above referenced address in the VM, Village Mixed Zoning District. Currently there is one (1) existing two-family apartment building/house located on the parcel. The existing driveway will be relocated between the two buildings/houses to improve shared access. The owner/applicant is requesting two (2) area variances from the requirements of §151-9.B.(1) requiring a minimum 40-foot wide right-of-way with a minimum road width of 18 feet.

The owner/applicant is proposing a 16-foot-wide right-of-way, requiring a 24-foot variance. In addition, the shared access road is proposed to be 14 feet wide, requiring a 4-foot variance.

In support of this application, please find enclosed the following:

- Ten (10) copies of the Application for an Area Variance
- Ten (10) copies of the Letter of Denial dated July 21, 2022
- Eleven (11) copies of the Site Plan for 2731W Main Street (2 - full size copy & 9 - 11x17 copies)
- Ten (10) copies of the Short Environmental Assessment Form
- Ten (10) copies of the Owner & Applicant Affidavits
- Ten (10) copies of the deed for the parcel
- A check in the amount of \$270.00 for the application fee.

We respectfully request to be placed on the next available Zoning Board of Appeals agenda. Please contact this office, should you have any questions or require any additional information. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. H. Povall III', with a long horizontal flourish extending to the right.

William H. Povall, III, P.E.

cc: Dylan Aguado



VILLAGE OF WAPPINGERS FALLS

APPLICATION FOR AREA VARIANCE

OFFICE OF BUILDING,
PLANNING AND ZONING
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277
FAX: (845) 296-0379
bmurphy@wappingersfallsny.gov
mperez@wappingersfallsny.gov
www.wappingersfallsny.gov

SUBMISSION REQUIREMENTS

1. All sections of the application form must be complete and accurate.
2. Application fee (non-refundable): cash or checks payable to "Village of Wappingers Falls"
3. The application must be filed with ten (10) copies of your appeal, together with ten (10) copies of all supporting documentation, and also submitted electronically in PDF format, including:

- "Letter of Denial"
- n/a Affidavit of ownership
- n/a Contract of Sale or Lease, if applicable
- n/a Photographs of affected area if applicable
- Plot Plan : (Site Plan)

* A scale drawing not less than 8 1/2 by 11 inches in size.

*Suggested examples to include are: boundaries and dimensions of lot, dimensions and locations of existing structures (include porches, fences, walls, pools, sheds, signs, etc.). Dimensions of building set backs from property lines, location of driveways and parking layout, adjacent property lines, location of driveways, and parking layouts, adjacent property lines within 100 feet of the site, right of ways and easements, adjacent street(s), north point, building elevation (not required in most cases) may be helpful in rendering a decision.

APPLICATION DEADLINE:

In order to be on the following month's agenda you should submit a properly completed application by the submittal due date. For the ZBA meeting schedule and submittal due dates, please visit the Building, Planning & Zoning page of the Village website: <https://www.wappingersfallsny.gov/building-planning-zoning/>

ZBA meetings begin at 7:00 p.m. You are encouraged to visit the Village website and/or call the Planning and Zoning office the day of the meeting to confirm the meeting.



VILLAGE OF WAPPINGERS FALLS
OFFICE OF BUILDING, PLANNING & ZONING
 (845) 297-5277 Fax: (845) 296-0379

APPLICATION FOR AN AREA VARIANCE

APPEAL NUMBER: _____ **MEETING DATE:** _____

APPLICANT:

Name: Dylan Aguado
 Address: 9 Lenny Court
Wappingers Falls, NY 12590
 Phone Numbers: (H) _____ (C) 845-705-5049
 (E-mail) aguado.landscaping@aol.com -

(If the applicant is not the owner, a Consent form signed by the owner must be filed with this application.)

PROPERTY OWNER:

Name: Dylan Aguado
 Address: 9 Lenny Court
Wappingers Falls, NY 12590
 Contact Phone Numbers. : (H) _____ (C) 845-705-5049
 (E-mail) aguado.landscaping@aol.com

PROPERTY INFORMATION

Property Address (subject of appeal): 2731 West Main Street
 Tax Parcel #: 134601-6158-13-240434
 Date property acquired: 12-18-20
 Present use of property: Residential - one (1) two-family dwelling
 Zoning District: VM - Village Mixed
 Dimensions: Lot Area 16,278 (sq. ft. Width 108.4 ft. Depth 150.4 ft.
 Setback: Front 10.3 ft. Rear 70.8 ft.
 Sides 21.4 ft. and 10.0 ft.

REQUEST FOR AREA VARIANCE

Deed Restrictions: _____

Section(s) of ordinance from which variance is requested:

SECTION	REQUIRING	REQUESTED VARIANCE
151-9.B.(1)	40 foot wide right-of-way	24 ft. variance allowing a 16 ft. wide right of way
151-9.B.(1)	18 foot wide road	4 ft. variance allowing a 14 ft. wide road



VILLAGE OF WAPPINGERS FALLS
OFFICE OF BUILDING, PLANNING & ZONING
 (845) 297-5277 Fax: (845) 296-0379
APPLICATION FOR AN AREA VARIANCE (Continued)

Description of appeal Requested: The applicant is proposing a shared driveway/access to serve two (2) two-family dwellings. There is currently one existing two-family dwelling and a second two-family dwelling is proposed. The existing driveway is proposed to be removed and relocated/replaced with a new shared driveway access. To provide the new access, a 24 foot right of way variance and a 4 foot shared driveway width variance is being requested.

Dates and Descriptions of prior appeals, variances or special permit for property: n/a

Planning Board review date(s): June 9, 2022

Environmental review: _____

PLEASE ANSWER THE FOLLOWING QUESTIONS: (Use attachments if necessary)

1. How will this variance affect nearby properties?

The owner/applicant will be relocating the existing driveway serving their two-family house which is located adjacent to the southerly property line with the neighbor to the south. The new shared driveway is proposed to be relocated between the existing two-family house and the proposed second two-family house in the center of the parcel. Therefore, relocating the shared driveway access to the center of the parcel and away from the neighbors will not adversely affect nearby properties. The action will have eliminated driveway traffic immediately adjacent to the southerly neighbor's residence, thus improving upon existing conditions.

2. How will granting this variance benefit the property owner?

Granting the variances will allow the owner to locate the shared driveway between the existing two-family house and the proposed second two-family house. Allowing the shared driveway R.O.W. and actual driveway width will provide for an increased side yard setback from the new two-family house and the neighbor to the north. Granting the variance will also minimize the reduced driveway pavement, minimize impervious surfaces, increase lawn area/green spaces and reduce potential stormwater runoff conditions.

3. What is the minimum relief needed? The proposed application is requesting the variances necessary to accommodate

proper access (driveway width to accommodate two-way vehicle movement) while balancing reduced impervious surfaces and maximizing side yard areas. These parameters minimize potential impacts to the surrounding neighbors while accomplishing the necessary site improvements. Based on these objectives, the variances requested are the minimum relief needed.

4. Why are alternative methods for compliance NOT FEASIBLE?

See response on attached sheet.

5. Did you do something to your property to cause the need for the variance? (i.e., previous activities such as grading, excavations, additions, improvements) ? The owner did not do anything to the property to reduce the potential for installing

a new two-family house on the property as permitted in the Village Mixed (VM) zone. The current conditions have existed since the buildout of the property many years ago. Proposing the new two-family house is something that is proposed by the owner and necessitates the requested variances. Constructing the new two-family house will provide additional needed housing in the community. The variances have been minimized the the extent possible in order to not have any adverse impacts to the surrounding neighbors.



VILLAGE OF WAPPINGERS FALLS
OFFICE OF BUILDING, PLANNING & ZONING
(845) 297-5277 Fax: (845) 296-0379
APPLICATION FOR AN AREA VARIANCE (Continued)

6. How will this variance affect the general character of the community with respect to noise, vibration, odors, vehicular and pedestrian traffic, visual aesthetics, public services (such as schools, police, fire, water, sewer, and roads) ? The requested variances will have no adverse affect on the general character of the community. The new two-family home will result in a house layout and spacing consistent with surrounding properties. The new two-family home will visbily align and blend with the neighboring home as the applicant's parcel is nearly twice the size of the surrounding properties.
The action is small in nature with only one (1) two-family additional house being proposed and will have no adverse affects on visual aesthetics, noise, odor, vehicle and pedestrian traffice and community services.

7. How will the proposed variance affect the health, safety, security morals or general welfare of residents, visitors or workers in the area? The requested variances will have no adverse affect on the health, safety, security morals or general welfare of the surrounding area. The action is very small in nature with only proposing one (1) additional two-family house (residential use).

REQUIRED SUBMITTALS:

- "Letter of Denial"
- n/a Affidavit of ownership
- n/a Contract of Sale or Lease, if applicable
- n/a Photographs of affected area if applicable
- Plot Plan
- Application Fee

SIGNATURE AND VERIFICATION

Please be advise that no application can be deemed complete unless signed below.

The applicant hereby states that all information given is accurate as of the date of application. If not the owner of the property, I hereby swears that this application is made with the informed knowledge and consent of the owner.

SIGNATURE OF APPLICANT

9/15/2022

DATE

RE: Site Plan for 2731 W Main Street
Tax Grid Nos. 134601-6158-13240434 – 0.37 ac.
Village of Wappingers Falls

Application for Area Variance response:

4. Why are alternative methods for compliance NOT FEASIBLE?

In order to provide a shared driveway R.O.W. width of 40', there will not be enough remaining width on the applicant's parcel between the existing home and the adjacent property to the north to construct a properly sized house. Presently the width in this area (northerly side yard) is approximately 58' toward the rear of the existing two-family house. This leaves only 18' of width outside a potential 40' wide R.O.W. to construct the house with the home constructed along the northly side property line (0' side setback). Presently, the side yard setback to the south is only 21.4' leaving no room between the existing two-family house and southerly side property line for a 40' wide R.O.W. Therefore, providing a 40' wide R.O.W. for a shared driveway is not feasible.

Providing an 18' wide shared driveway to the north of the existing two-family house is possible. However, such a driveway width will require the proposed two-family house to be shifted to the north closer to the adjacent neighboring property line leaving only 6' ± of side yard. This results in a very small side yard with limited green space separating the new buildout and the neighbor's home. The 18' wide driveway also increases impervious surfaces and creates additional stormwater runoff. Reducing the driveway width to 14' minimizes potential stormwater impacts while maintaining appropriate two-way vehicle passing for the minimum traffic associated with only the two (2) - two-family residences. Expanding the existing driveway to the south is also possible. However, an 18' wide shared driveway will need to be constructed from the southerly property line to and against the existing two-family house as only 18' is available. Maintaining the existing driveway location will require much more paved areas and in order to access all the necessary parking in the rear of the buildings. Such a driveway will leave no green space/yard area to the neighbor's property line to the south. The proposed action provides a side yard/green space to the southerly neighbor improving upon existing conditions. Thus, although proving an 18' wide shared driveway is possible, such a driveway width creates additional impacts that a reduced driveway width does not.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Site Plan for 2731 West Main Street			
Project Location (describe, and attach a location map): 2731 West Main Street, Village of Wappingers Falls. Location map on attached Site Plan.			
Brief Description of Proposed Action: The owner/applicant is proposing to construct a new two-family apartment building/house on the parcel. The existing two-family apartment building/house will remain. The proposed apartment building/house will connect to the existing water and sewer services in the existing structure. The existing driveway will be relocated between the two buildings/houses to improve shared access. Additional parking is proposed to accommodate the new two-family apartment building/house.			
Name of Applicant or Sponsor: Dylan Aguado		Telephone: 845-705-5049 E-Mail: aguado.landscaping@aol.com	
Address: 9 Lenny Court			
City/PO: Wappingers Falls		State: NY	Zip Code: 12590
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.37 acres	
b. Total acreage to be physically disturbed?		0.23 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.37 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: <u>Name: Wappinger Lake, Reason: Protection of natural resource, Agency: Vlg of Wappingers Falls, Date: 6-29-98</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Bald Eagle, Pied-billed Grebe, Indiana Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Existing sheetflow from the rear yard will continue consistent with the current drainage pattern.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: Per NYSDEC EAF Mapper, DEC ID Nos. 314058, 546031 & 314127 are Environmental remediation sites within 2,000 ft. of the subject parcel. These sites are the Wappinger Creek, Hudson River & Three Star Anodizing located on Market Street.	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Dylan Ayvado</u> Date: <u>4/27/2022</u> Signature: <u>[Signature]</u> Title: <u>owner</u>		

Project: _____

Date: _____

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project: _____

Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

E-mail: bmurphy@wappingersfallsny.gov

www.wappingersfallsny.gov

July 21, 2022

Mr. Dylan Aguado
9 Lenny Court
Wappingers Falls, NY 12590

Re: 2731 W. Main Street

Dear Mr. Aguado,

Reference is made to your submission to my office and your application to the Planning Board proposing constructing a new two-family structure on the parcel which contains an existing structure. Please note that 2731 W. Main Street is located in the Village Mixed Zoning District.

At this time, I must deny your application because the proposed right-of-way width is 18 feet with a road width of 12 feet. Per §151-9(B)(1), which applies where more than one principal building is proposed to be located on the same lot, each building is required to have access, and "Such access shall consist of a right-of-way not less than 40 feet wide with a road width of a minimum of 18 feet." Therefore, a 22-foot area variance for the right-of-way width, and a 6-foot area variance for the road width, would be required.

Enclosed please find an application form for an area variance, for your convenience. The Zoning Board meeting schedule and submission deadline can be found on our website: www.wappingersfallsny.gov.

If you have any questions, please contact our office.

Thank you.

Bryan Murphy
Building Inspector/Zoning Administrator
Village of Wappingers Falls

BM/mp
Enclosure

Cc: William H. Povall, III, P.E., Povall Engineering, PLLC (via email)
Wendy Przetakiewicz, Povall Engineering, PLLC (via email)



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: Dylan Aguado

Address of property owner: 9 Lenny Court

City: Wappingers Falls State: NY Zip: 12590

Phone number of property owner: (Include home, work, mobile number and e-mail address):

(H) _____ (C) 845-705-5049

(W) _____ (Email) aguado.landscaping@aol.com

Address of site where work is being conducted: W 2731 Main Street, Village of Wappingers Falls

Description of work: The owner/applicant is proposing to construct a new two-family apartment building/house on the parcel. The existing two-family apartment building/house will remain. The proposed apartment building/house will connect to the existing water and sewer in the existing structure. The existing driveway will be relocated between the two apartment buildings/houses to improve shared access. Additional parking is proposed on the parcel to accommodate the new two-family apartment building/house.

Name of person doing work: William H. Povall, III, P.E.

Address of person doing work: 3 Nancy Court, Suite 4

City: Wappingers Falls State: NY Zip: 12590

Phone number of person doing work (Include home, work, mobile numbers and e-mail address):

(H) _____ (C) 845-797-5003

(W) 845-897-8205 (Email) whp@povallengineering.com

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.


Signature of Property Owner

4/22/22
Date Signed

PART "A"
OWNER AFFIDAVIT

State of New York }
County of Dutchess } ss:

Dylan Aguado being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize Povall Engineering, PLLC, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

[Signature]
Applicant/Owner

Applicant/Owner

Sworn to before me this 22 day of

April, 2022.

[Signature]
Notary Public

WENDY PRZETAKIEWICZ
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PR6295033
Qualified in Dutchess County
My Commission Expires December 23, 2025

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of New York }
County of Dutchess } ss:

Dylan Aguado being duly sworn, deposes and says:

1. That I/we are the owner/applicant named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 9 Lenny Court, Wappingers Falls, NY in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

[Signature]
Applicant/Agent

Applicant/Agent

Sworn to before me this 22 day of
April, 2022.

[Signature]
Notary Public

WENDY PRZETAKIEWICZ
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PR6295033
Qualified in Dutchess County
My Commission Expires December 23, 2025



Dutchess County Clerk Recording Page

Record & Return To:

Date Recorded: 1/25/2021

Time Recorded: 1:41 PM

MACKEY BUTTS & WISE LLP
319 MILL ST

Document #: 02 2021 450

POUGHKEEPSIE, NY 12601

Received From: NORTH RIVER ABSTRACT

Grantor: CACCOMO VICTORIA M

Grantee: AGUADO CODY

Recorded In: Deed

Tax District: Town of Poughkeepsie

Instrument Type:

Examined and Charged As Follows :

Recording Charge: \$200.00
Transfer Tax Amount: \$1,476.00
Includes Mansion Tax: \$0.00
Transfer Tax Number: 4437

Number of Pages: 4

*** Do Not Detach This Page

*** This Is Not A Bill

Red Hook Transfer Tax:

RP5217: Y

TP-584: Y

County Clerk By: jmo

Receipt #: 2687

Batch Record: 16

Bradford Kendall
County Clerk



022021450

20-NRA-DU-74273

(1/P)

3p60
140
200
1476
<hr/>
1,676

BARGAIN AND SALE DEED WITH COVENANTS AGAINST GRANTORS ACTS

THIS INDENTURE, Made the 18 day of December, Two Thousand Twenty

BETWEEN

VICTORIA M. CACCOMO f/k/a VICTORIA M. LUDDY, residing at 2731 West Main Street, Wappingers Falls, New York 12590,

party of the first part, and

CODY AGUADO, residing at 34 Old State Road, Wappingers Falls New York 12590, and **DYLAN AGUADO**, residing at 9 Lenny Court, Wappingers Falls, New York 12590, as joint tenants with right of survivorship,

parties of the second part,

WITNESSETH, that the party of the first part, in consideration of ONE (\$1.00) DOLLAR, lawful money of the United States, and other good and valuable consideration paid by the parties of the second part, does hereby grant and release unto the parties of the second part, their heirs and assigns forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate lying and being in the Village of Wappingers Falls, Town of Poughkeepsie, County of Dutchess and State of New York, bounded and described as follows:

SEE SCHEDULE "A" ATTACHED

BEING the same premises conveyed to Victoria M. Luddy by deed from Leo L. Stearns, Jr. and Mary Ann Stearns, dated April 24, 2014, and recorded in the Dutchess County Clerk's Office on May 2, 2014 as Document Number 02-2014-2659.

TOGETHER with all right, title and interest if any of the party of the first part in and to any streets and roads abutting the above-described premises to the centerline thereof.

TOGETHER WITH the appurtenances and all the estate and rights of the party of the first part in and to the said premises.

TO HAVE AND TO HOLD the premises herein granted unto the parties of the second part, their heirs and assigns forever.

AND the party of the first part covenants that he/she has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except aforesaid.

AND in Compliance with Sec. 13 of the Lien Law, the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has hereunto set his/her hand and seal the day and year first above written.

IN PRESENCE OF

Victoria M. Caccomo L.S.
VICTORIA M. CACCOMO f/k/a
VICTORIA M. LUDDY

STATE OF NEW YORK)
) ss:
COUNTY OF DUTCHESS)

On the 18 day of December in the year Two Thousand Twenty, before me, the undersigned, personally appeared **VICTORIA M. CACCOMO f/k/a VICTORIA M. LUDDY**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person on behalf of which the individual(s) acted, executed the instrument.

ARAE A D MINNOW
Notary Public, State of New York
No. 01mi6388294
Qualified in Dutchess County
My Commission Expires March 31, 2023
ArAEA D Minnow
Signature and Office of Individual
taking acknowledgment

R&R:
Mackey, Butts, & Wise
Roderick MacLeod Esq
319 Mill St.
Poughkeepsie NY 12601

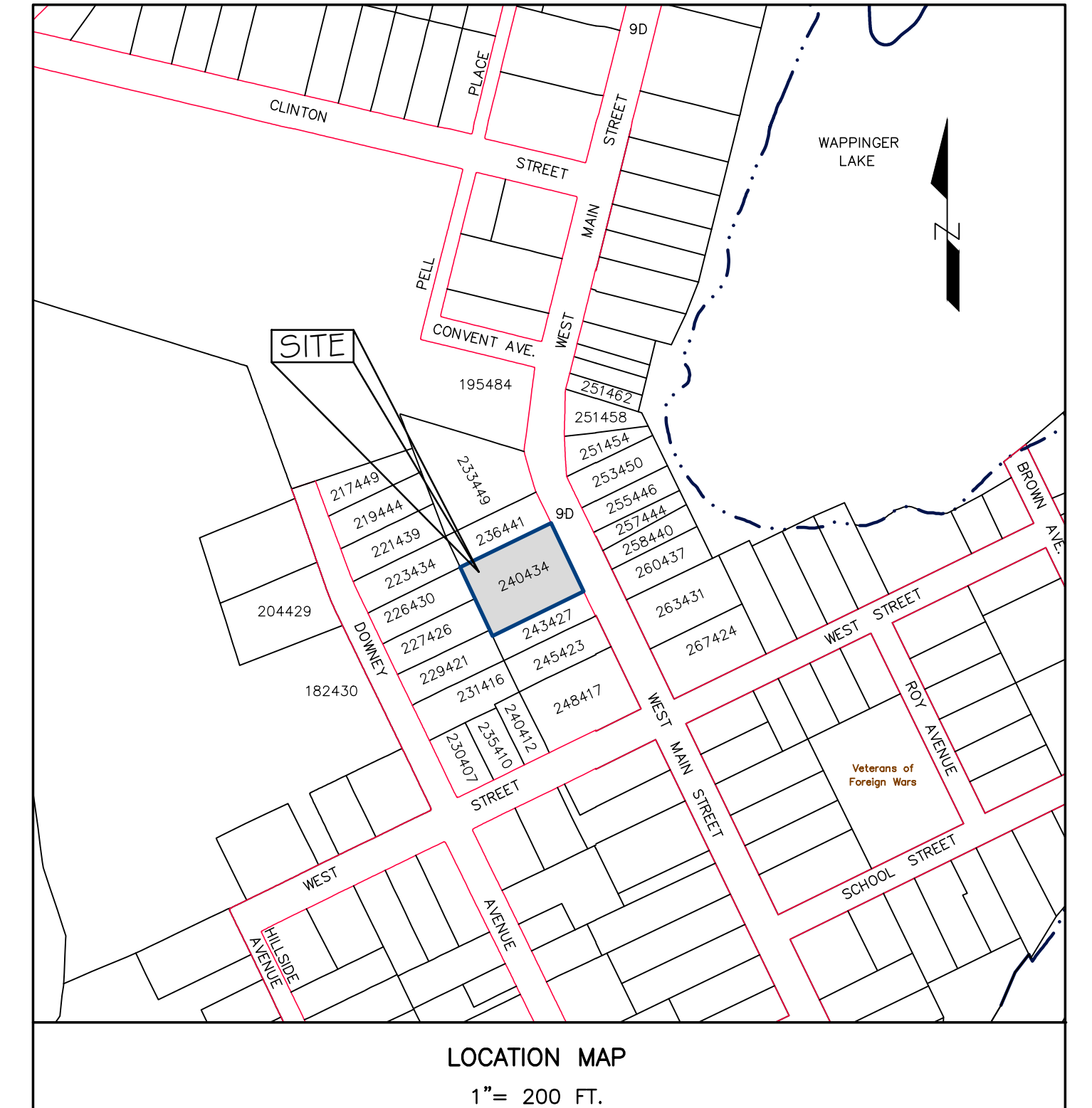
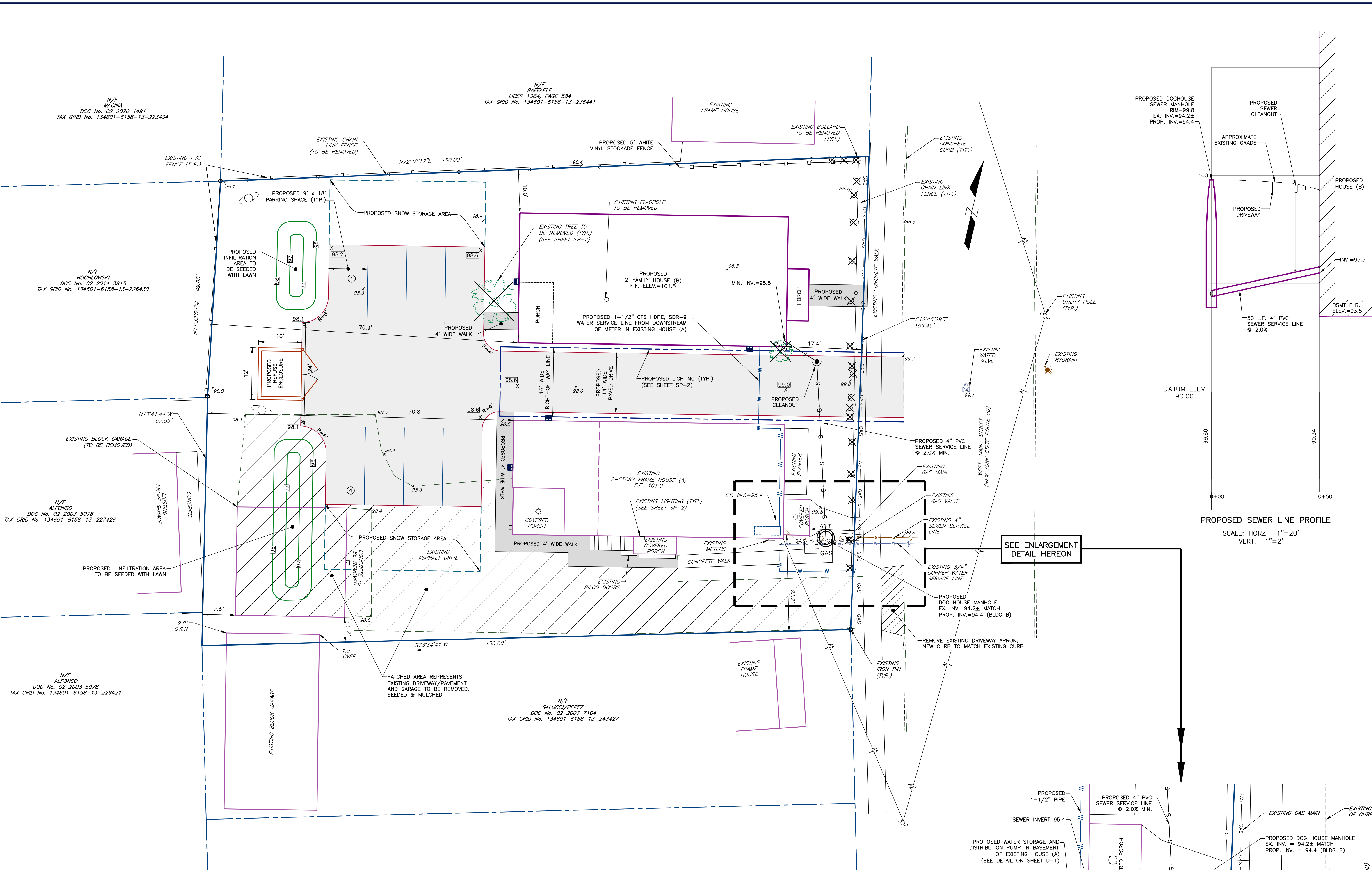
Schedule A Description

Title Number 20-NRA-DU-76273

Page 1

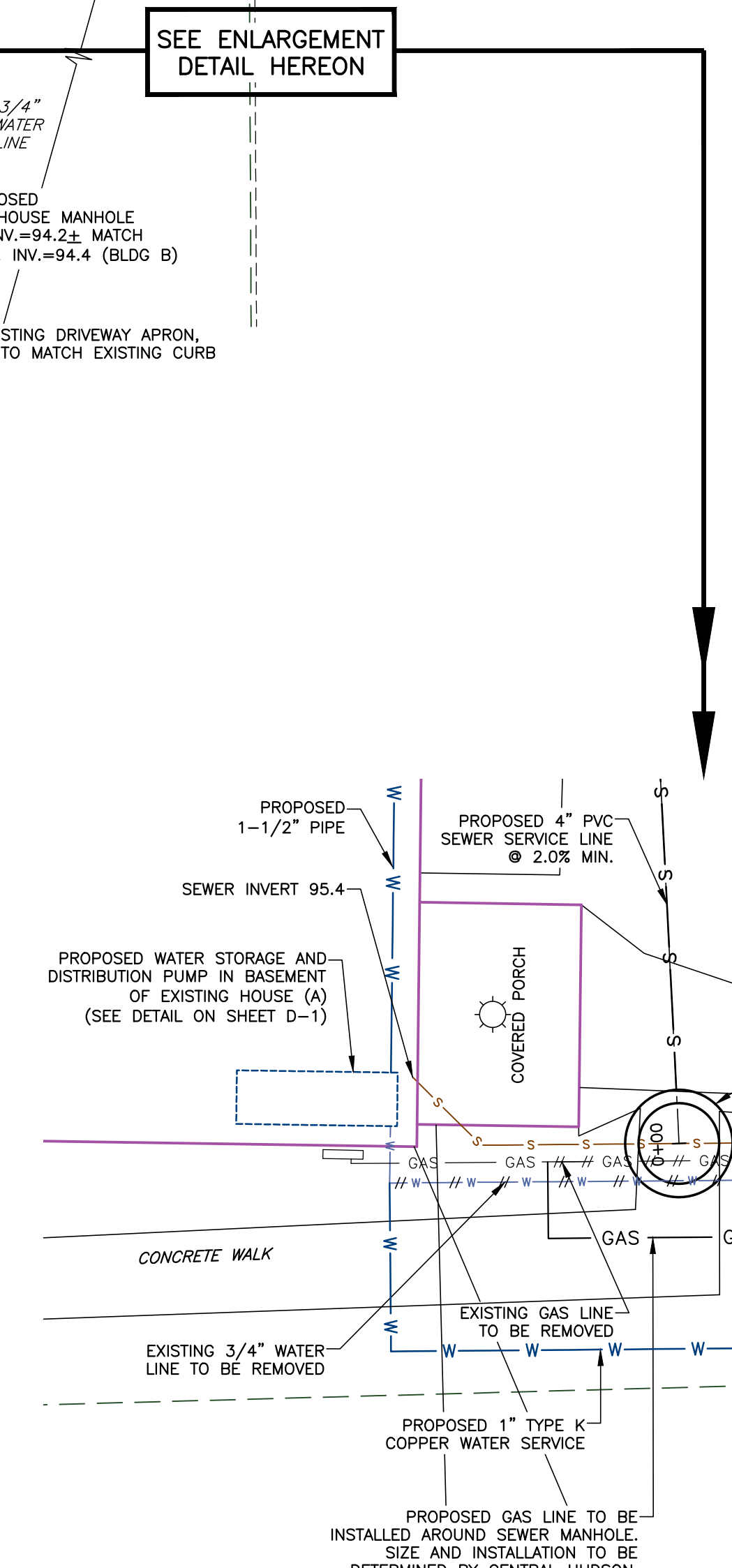
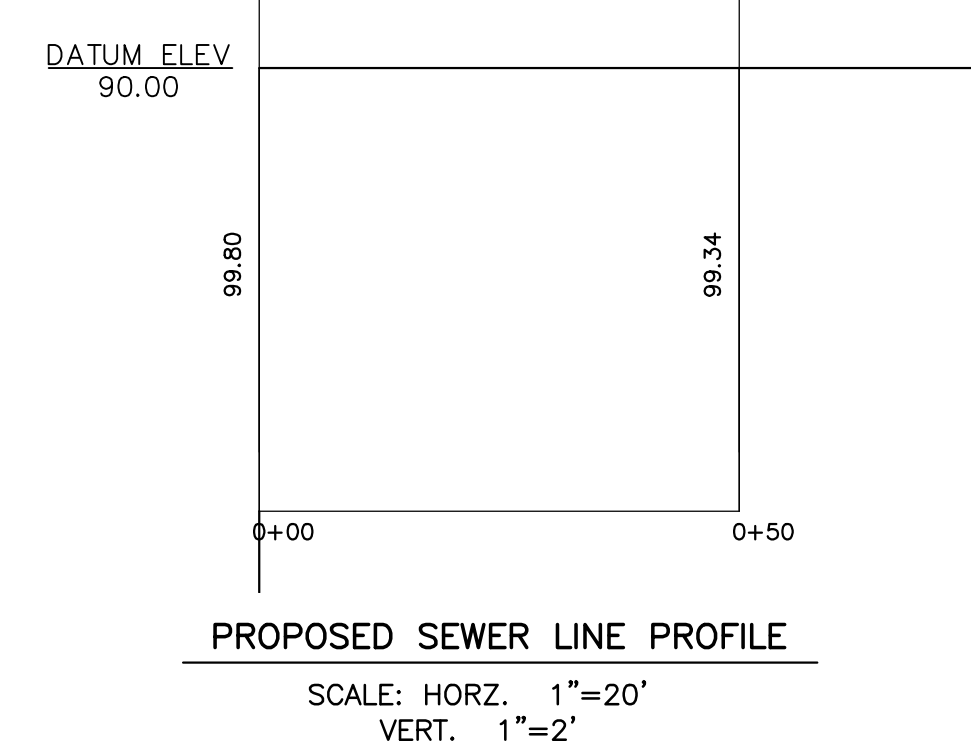
ALL that certain plot, piece or parcel of land situate, lying and being in the VILLAGE OF WAPPINGERS FALLS, TOWN OF POUGHKEEPSIE, County of Dutchess and State of New York, described as follows:

BEGINNING at a point in the westerly line of West Main Street in said Village, at the northeasterly corner of lot owned by Edward Odell, and running thence westerly along his north line 150 feet to the easterly line of lot belonging to Peter Downey; thence northerly along said Downey's east line and the east line of said lot belonging to Jacob Baker, 110 feet more or less, to lot belonging to James McCloskey, thence easterly along his southerly line 150 feet to the westerly line of West Main Street aforesaid; thence southerly along the westerly line of said West Main Street, 110 feet more or less to the place of BEGINNING.



GENERAL NOTES

- ALTERATION OF THIS PLAN BY ANY PERSON OTHER THAN A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAWS. ANY ALTERATIONS OF THIS PLAN BY A NY LICENSED PROFESSIONAL ENGINEER SHALL BE SO NOTED AND DATED AND BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF SUCH PROFESSIONAL ENGINEER.
- EXISTING SURVEY FROM A MAP ENTITLED "MAP OF SURVEY OF LANDS OF AGUADO, 2731 WEST MAIN STREET (NY 90)", DATED JANUARY 8, 2022, PREPARED BY JOHN J. POST JR., L.S.
- LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.



PARKING SCHEDULE

REQUIRED PARKING:	
VM VILLAGE MIX USE DISTRICT:	
DWELLING: TWO FAMILY = 1 SPACE PER UNIT: 4 UNITS = 4 SPACES	
TOTAL EXISTING PARKING SPACES	= 4 SPACES
TOTAL PROPOSED PARKING SPACES	= 4 SPACES
TOTAL PARKING SPACES PROVIDED:	= 8 SPACES

SCHEDULE OF BULK REGULATIONS

VM DISTRICT	REQUIRED	EXISTING	PROPOSED
PRINCIPAL BUILDING HEIGHT	3 STORIES MAX/2 STORIES MIN.	2 stories	2 stories
ACCESSORY BUILDING HEIGHT	2 STORIES MAX.	1 story	N/A
MINIMUM LOT WIDTH	25 FT.	108.4 ft.	108.4 ft.
MAXIMUM LOT COVERAGE	75% MAX.	37%	48%
MINIMUM GREENSPACE	10% MIN.	63%	52%
FRONT SETBACK (PRINCIPAL)	10 FT. MIN.	10.3 ft.	10.3 ft.
FRONT SETBACK (SECONDARY)	10 FT. MIN.	N/A	N/A
SIDE SETBACK	0 FT. MIN.	21.4 ft.	10.0 ft.
REAR SETBACK	10 FT. MIN.	70.8 ft.	70.8 ft.
ACCESSORY BUILDING			
PRINCIPAL FRONTAGE	30 FT.	117.0 ft.	N/A
SECONDARY FRONTAGE	5 FT. MIN. OR 3 FT. AT CORNER	N/A	N/A
SIDE SETBACK	5 FT. MIN.	5.7 ft.	N/A

OWNER/APPLICANT:
 DYLAN AGUADO
 9 LENNY COURT
 WAPPINGERS FALLS, NY 12590

PROPERTY INFORMATION:
 2731 WEST MAIN STREET
 TAX MAP NO. 134601-6158-13-240434
 DOC. No. 22021 450

ZONING DESIGNATION:
 VM - VILLAGE MIXED DISTRICT

PROPERTY ACREAGE:
 TOTAL AREA = 0.374± ACRES

VILLAGE OF WAPPINGERS FALLS PLANNING BOARD

FINAL APPROVAL DATED: _____

PB CHAIR: _____ DATE: _____

WITNESS: _____

LEGEND

	PROPERTY LINE		EXISTING SPOT GRADE
	ADJACENT LOTLINE		PROPOSED SPOT GRADE
	EXISTING WATER LINE		PROPOSED WATER LINE
	EXISTING SEWER LINE		PROPOSED SEWER LINE
	EXISTING GAS LINE		PROPOSED GAS LINE
	EXISTING CHAIN LINK FENCE		PROPOSED LIGHT
	EXISTING PVC FENCE		EXISTING TREE TO BE REMOVED
	EXISTING UTILITY POLE WITH OVERHEAD WIRES		
	EXISTING HYDRANT		
	EXISTING WATER VALVE		

REVISIONS

DATE:	DESCRIPTION:
09-14-22	GENERAL REVISIONS PER VILLAGE COMMENTS

OWNER'S CONSENT NOTE:
 THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS, AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER: _____ DATE: _____

POVALL ENGINEERING, PLLC

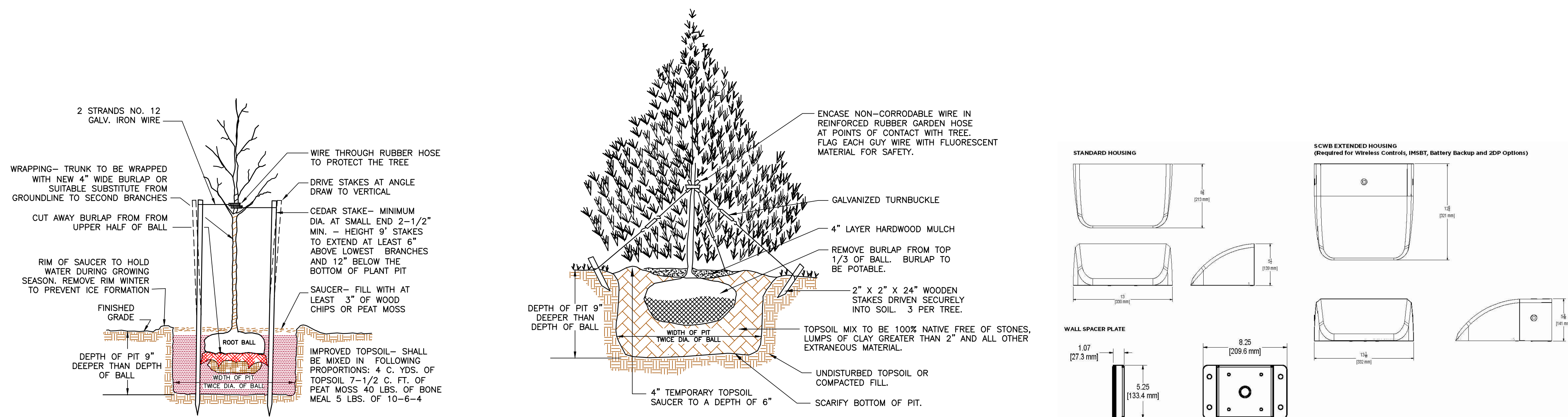
WILLIAM H. POVALL III, P.E.
 N.Y.S.P.E. LICENSE #075020

3 NANCY COURT, SUITE 4
 WAPPINGERS FALLS, NY 12590

TEL: (845) 897-8205
 FAX: (845) 897-0042

SITE PLAN FOR
2731 WEST MAIN STREET
 VILLAGE OF WAPPINGERS FALLS DUTCHESS COUNTY, NEW YORK

JOB #: 2202
DATE: 04-28-22
SCALE: 1"=10'
SP-1
 SHEET 1 OF 3



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

NOTES:
1. SET TREE 4" ABOVE FINISHED GRADE TO ALLOW FOR SETTLEMENT.
2. REMOVE DEAD AND DAMAGED BRANCHES BY PRUNING ACCORDING TO RECOGNIZED HORTICULTURAL PRACTICES. DO NOT CUT LEADER.

EVERGREEN PLANTING DETAIL
NOT TO SCALE

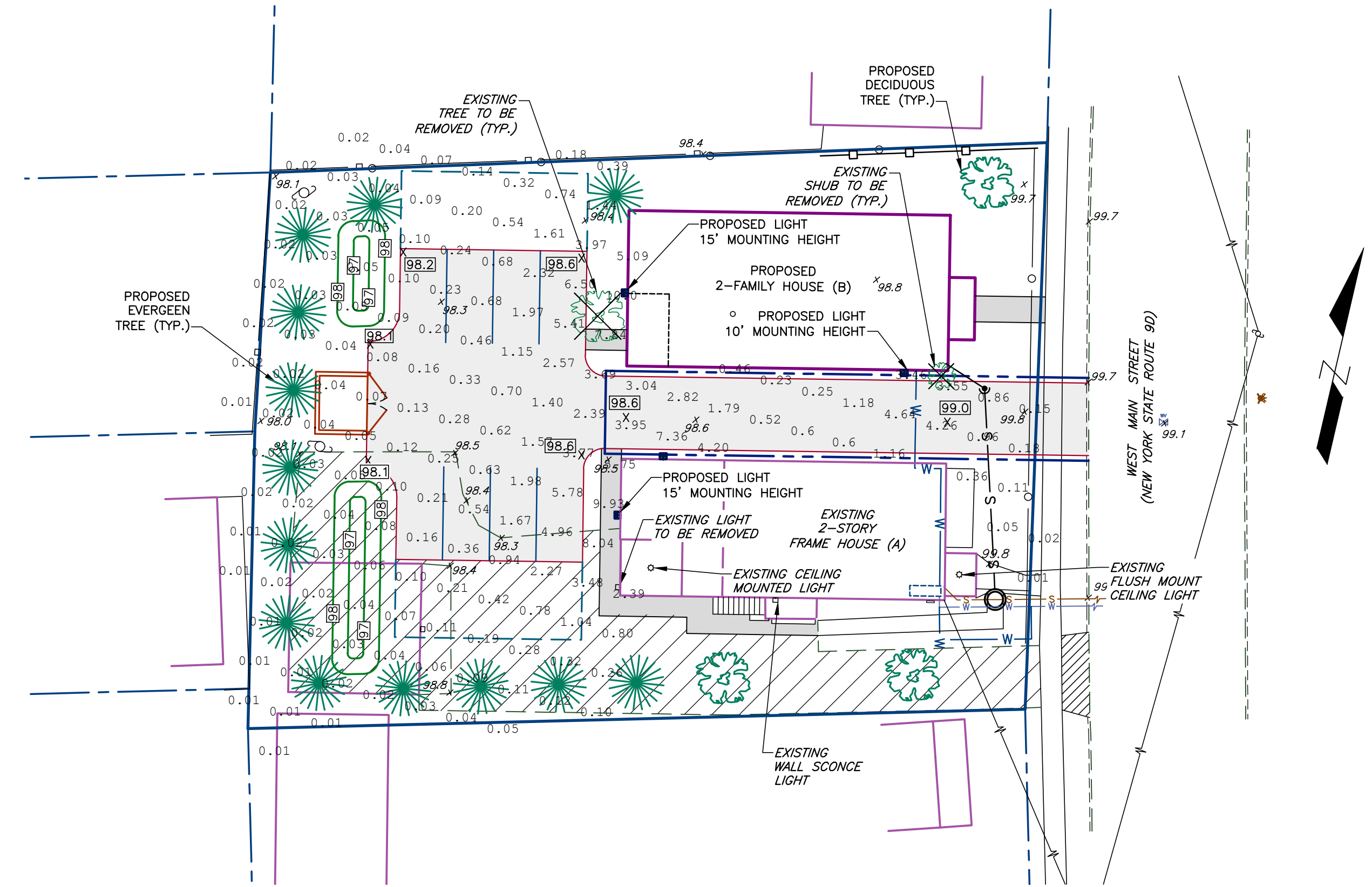
WALL MOUNTED LIGHTING DETAIL
NOT TO SCALE

PLANTING SCHEDULE				
SYMBOL	QTY.	*COMMON NAME	BOTANICAL NAME	SIZE
	3	RED OAK OR RED MAPLE	QUERCUS RUBRA ACER RUBRUM	3"-3 1/2" MIN. CAL.
	13	BLUE SPRUCE OR EASTERN WHITE PINE	PICEA PUNGENS PINUS STROBUS	8-10 FT. HT.

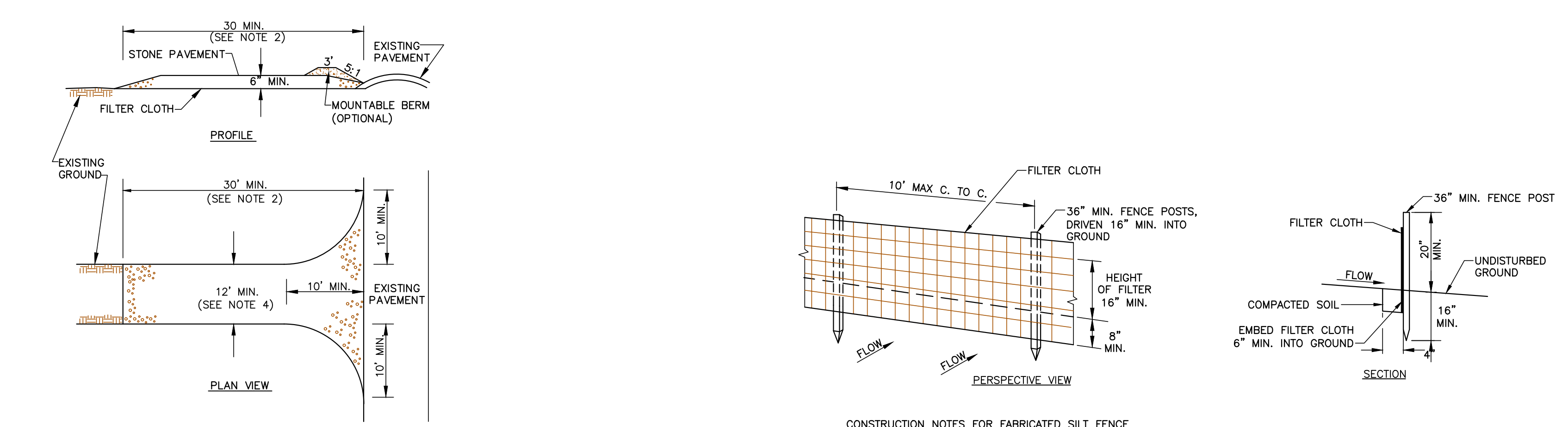
* THE TYPE OF TREE SHALL BE OWNER'S CHOICE FROM LISTED TREE TYPE IN SCHEDULE.

PROPOSED LIGHTING INFORMATION						
QUANTITY	MANUFACTURER/MODEL No.	MOUNTING HEIGHT	LUMINAIRE SCHEDULE			DESCRIPTION
			LUMENS	**COLOR TEMPERATURE		
2	*MIRADA SMALL WALL SCONCE (XWS)	10'	2000	2700K		OUTDOOR LED WALL LIGHT
2	*MIRADA SMALL WALL SCONCE (XWS)	15'	6000	2700K		OUTDOOR LED WALL LIGHT

* OR APPROVED EQUAL
** MAXIMUM COLOR TEMPERATURE = 2700K



LIGHTING & LANDSCAPE PLAN
SCALE: 1" = 20'

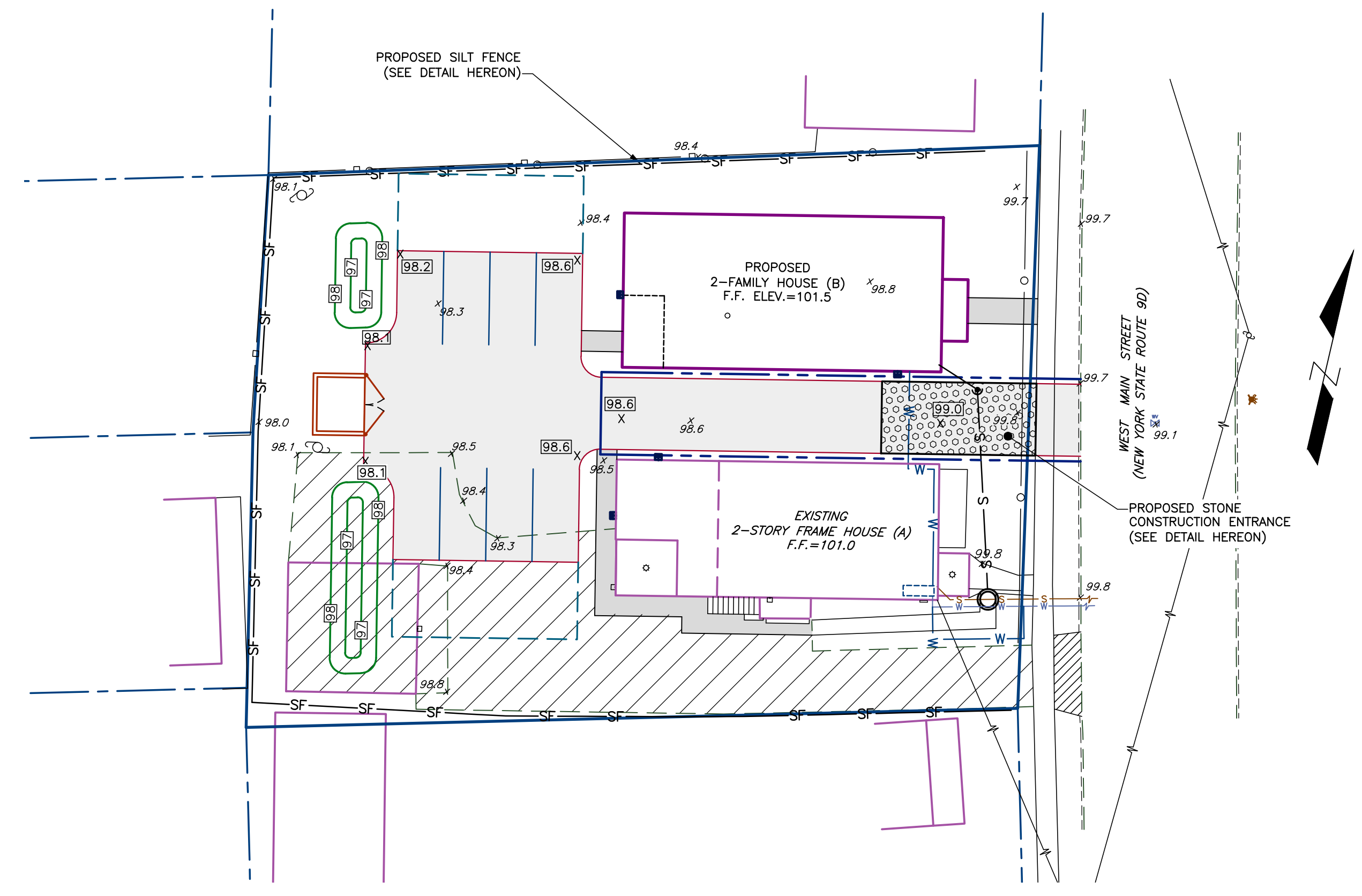


- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINFALL EVENT.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL
NOT TO SCALE



EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 20'

VILLAGE OF WAPPINGERS FALLS
PLANNING BOARD

FINAL APPROVAL DATED: _____

PB CHAIR: _____ DATE: _____

WITNESS: _____

REVISIONS	
DATE:	DESCRIPTION:

LEGEND	
	PROPERTY LINE
	ADJACENT LOTLINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING CHAIN LINK FENCE
	EXISTING PVC FENCE
	EXISTING UTILITY POLE WITH OVERHEAD WIRES
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING SPOT GRADE
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED STOCKADE FENCE
	PROPOSED SILT FENCE
	PROPOSED LIGHT
	PROPOSED FOOTCANDLE
	EXISTING TREE TO BE REMOVED
	PROPOSED TREE

POVALL ENGINEERING, PLLC

WILLIAM H. POVALL III, P.E.
N.Y.S.P.E. LICENSE #075020

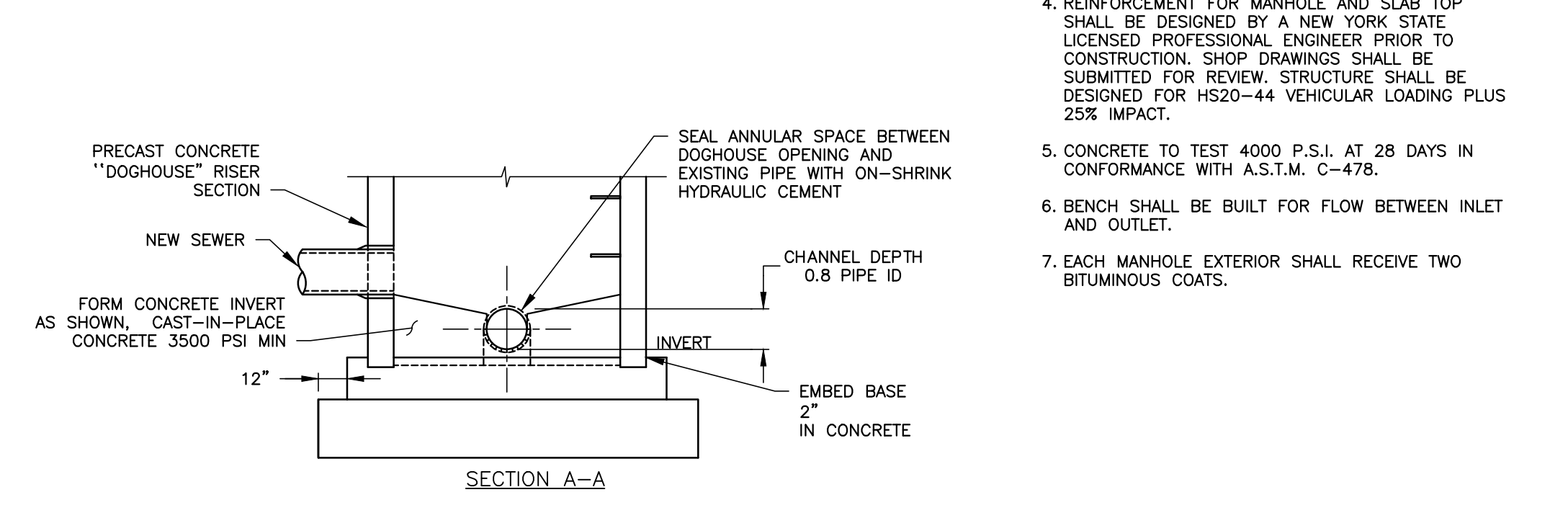
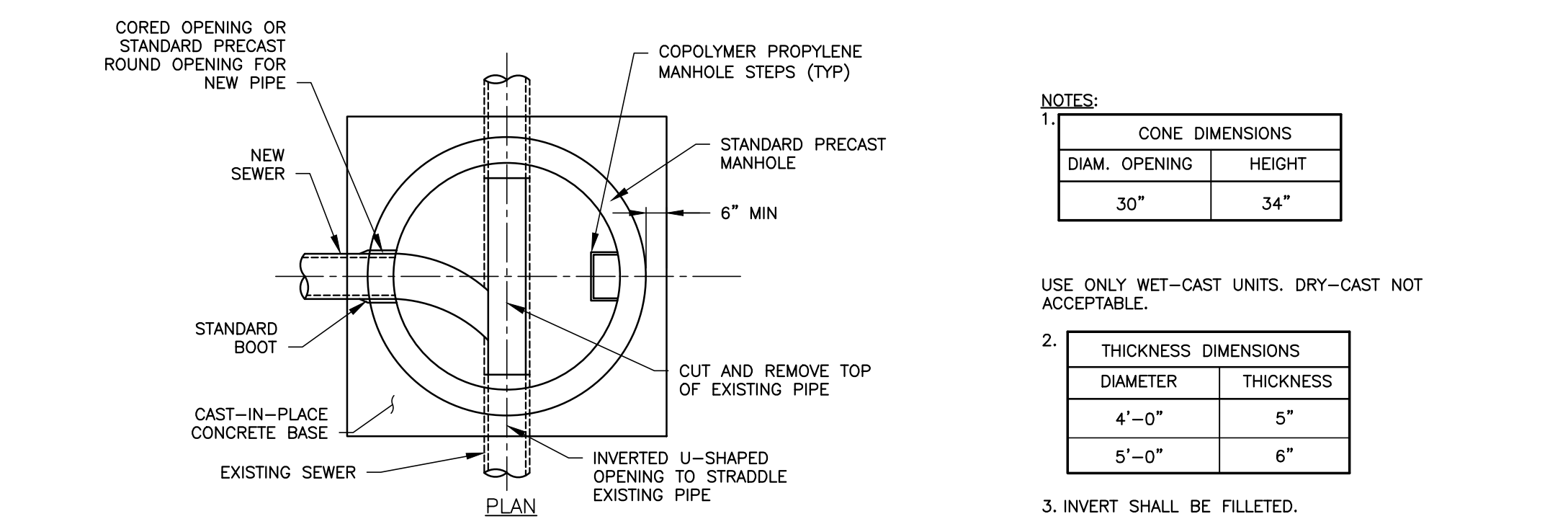
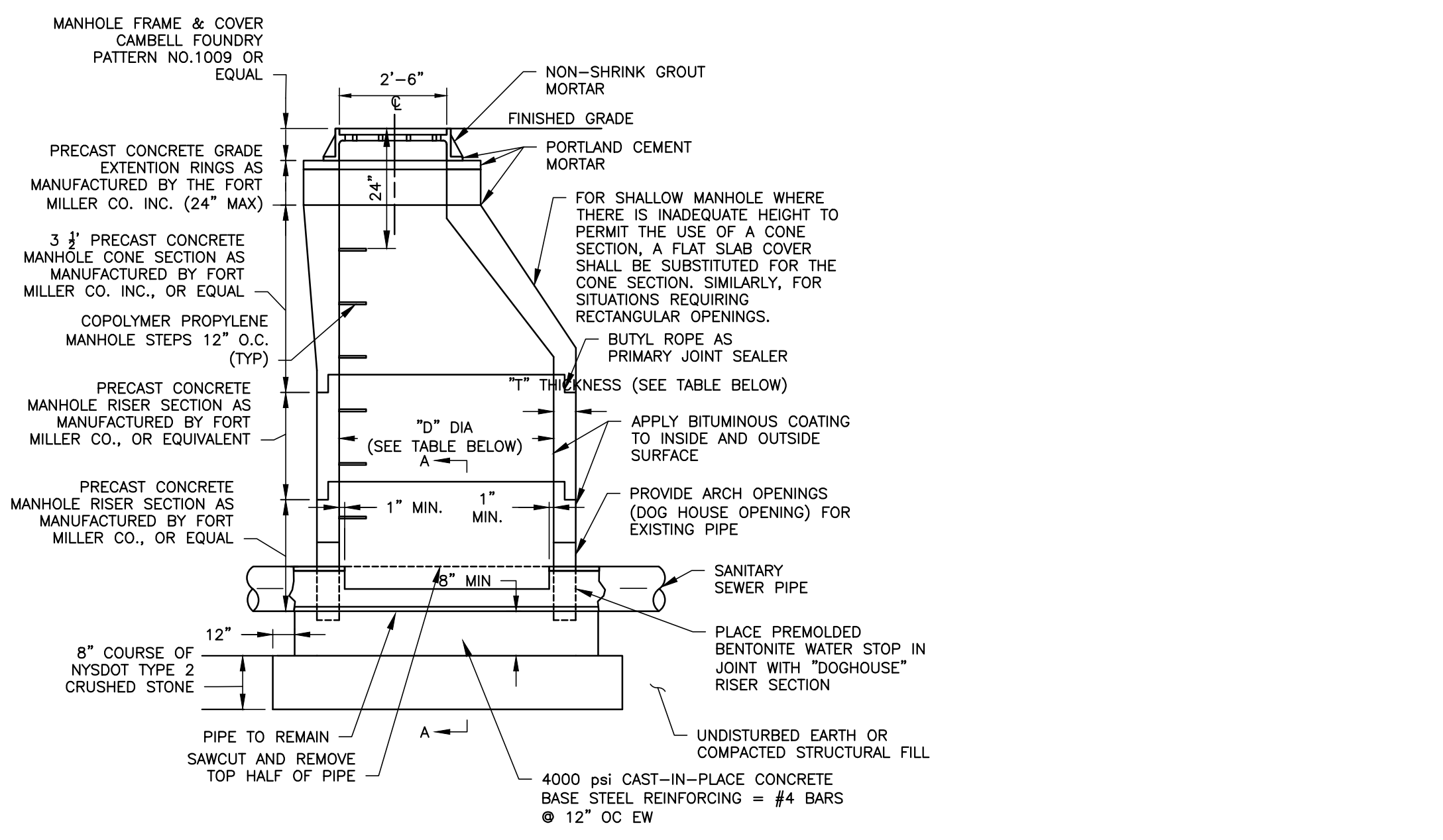
3 NANCY COURT, SUITE 4
WAPPINGERS FALLS, NY 12590

TEL: (845) 897-8205
FAX: (845) 897-0042

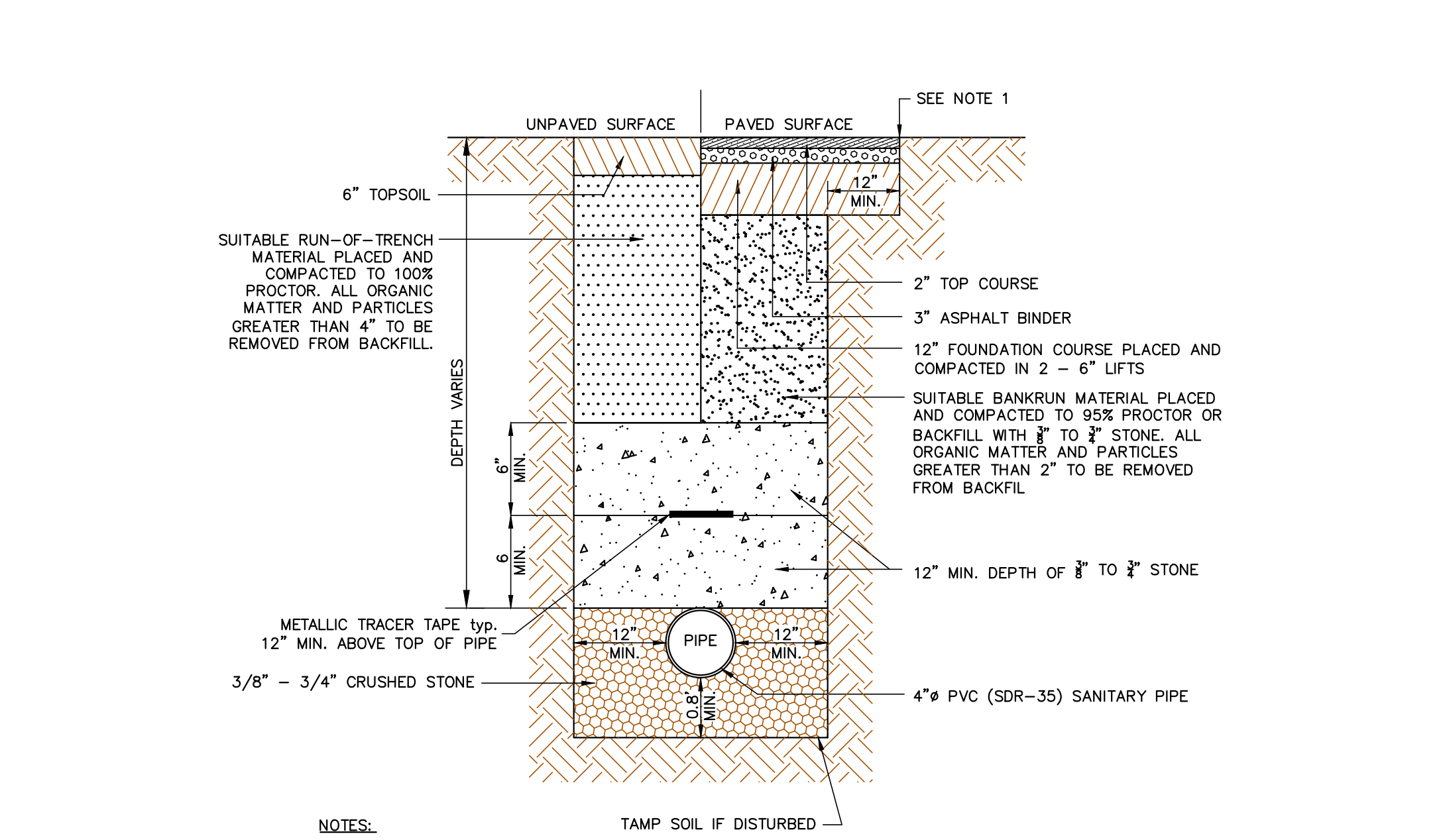
**LIGHTING & LANDSCAPING AND
EROSION & SEDIMENT CONTROL PLAN FOR
2731 WEST MAIN STREET**

VILLAGE OF WAPPINGERS FALLS
DUTCHESS COUNTY, NEW YORK

JOB #: 2202
DATE: 09-14-22
SCALE: AS SHOWN
LLE-1
SHEET 2 OF 3

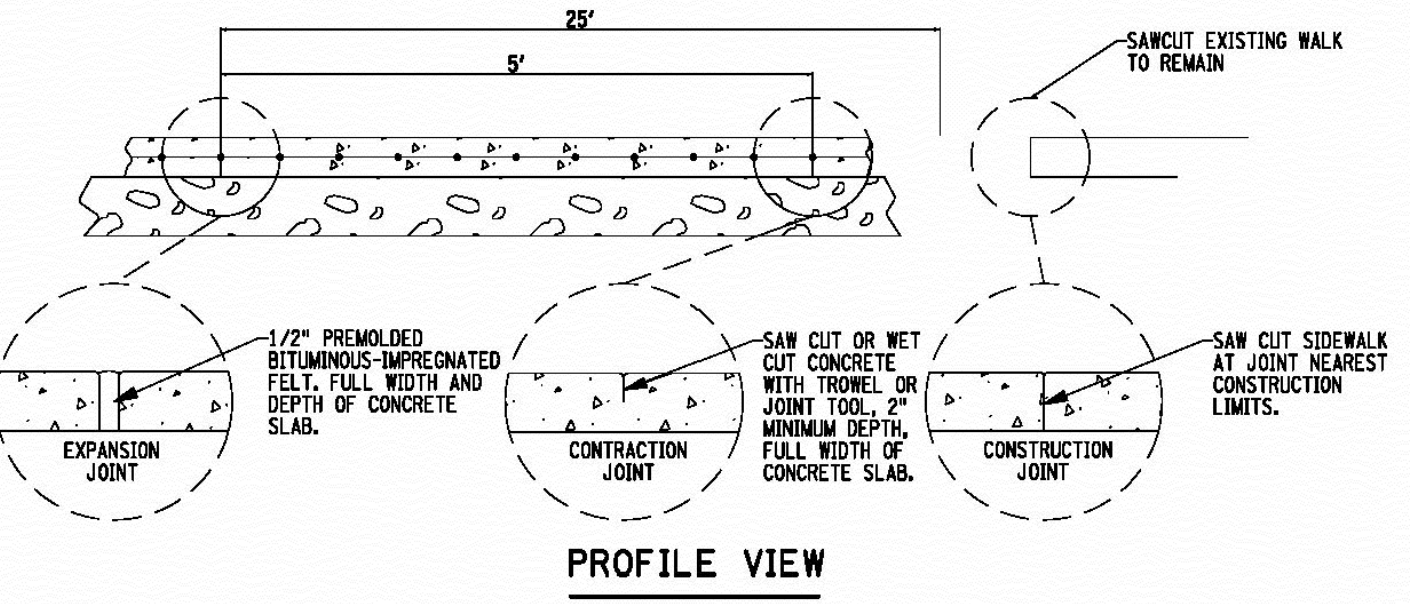
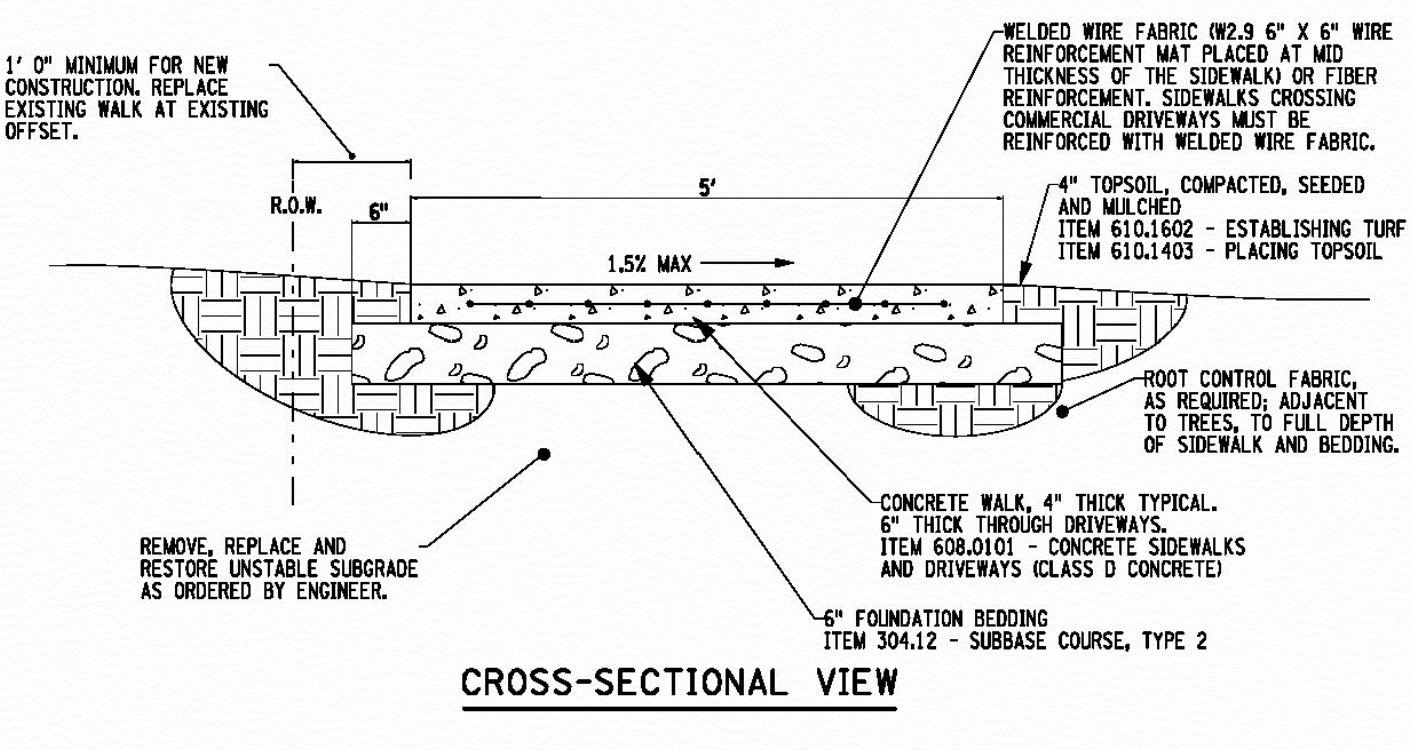


PRECAST CONCRETE DOGHOUSE INSERTION MANHOLE
NOT TO SCALE



SANITARY SEWER TRENCH DETAIL
NOT TO SCALE

**HIGHWAY WORK PERMITS
SIDEWALK WITHIN NYS RIGHT-OF-WAY
(N.T.S.)**

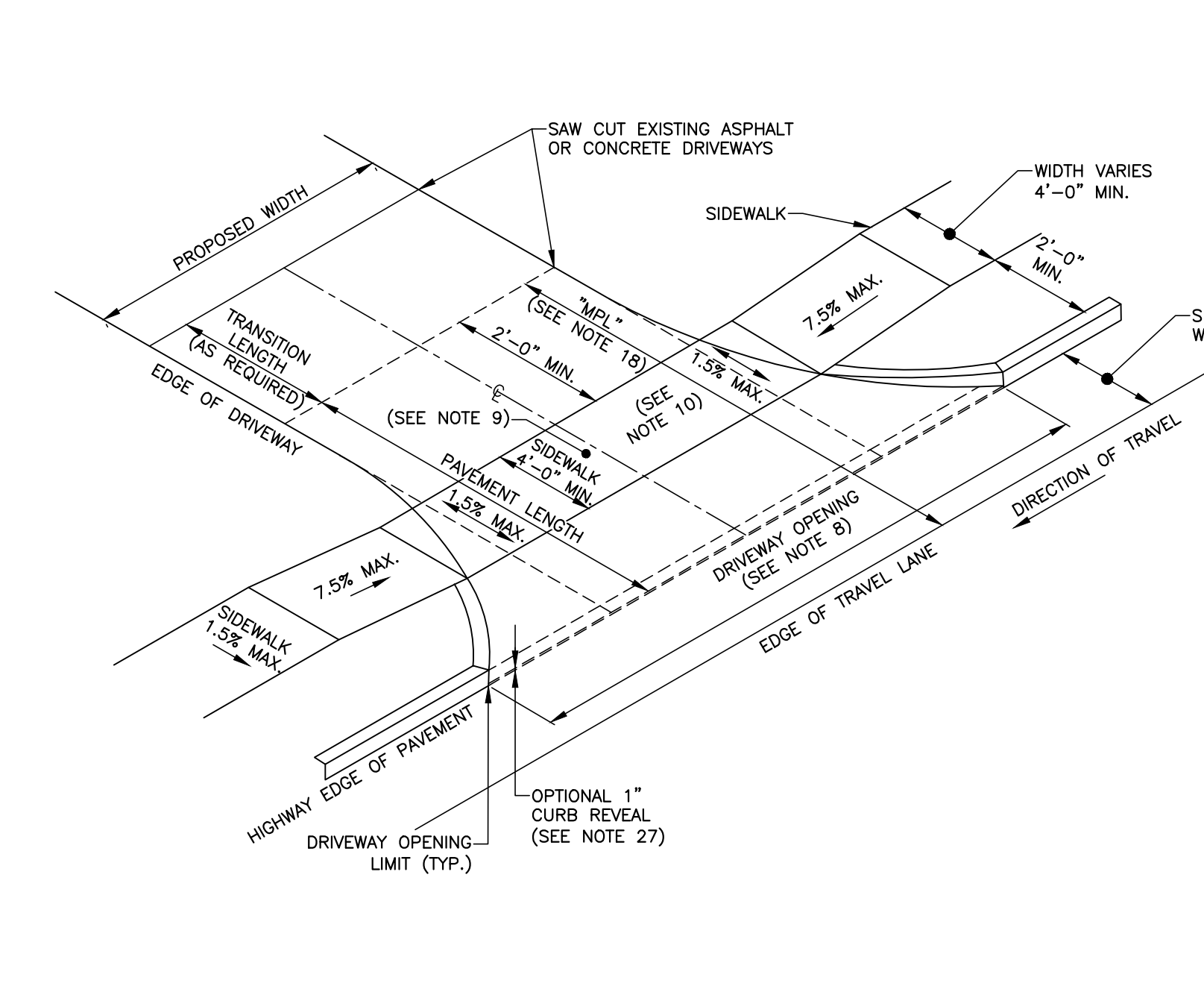


- NOTES:
- 1) THE GRAVEL OR STONE BASE SHALL BE PLACED ON A WELL GRADED AND COMPACTED SUBGRADE. THE GRAVEL OR STONE BASE SHALL BE THOROUGHLY COMPACTED.
 - 2) ALL EXPOSED SURFACES SHALL BE BROOMED AND EDGES FINISHED WITH A 1/4" RADIUS EDGING TOOL. THE FINISHED CONCRETE SURFACE SHALL BE TREATED WITH A CLEAR, NON-YELLOWING CURING COMPOUND.
 - 3) NO CONCRETE SHALL BE PLACED BEFORE APRIL 20TH, OR AFTER OCTOBER 31ST. NO CONCRETE SHALL BE PLACED UNLESS THE AMBIENT AIR AND BASE MATERIAL SURFACE TEMPERATURE IS ABOVE 40 DEGREES.
 - 4) ALL WORK SHALL CONFORM TO NYS DOT SPECIFICATIONS.
 - 5) ALL WORK SHALL CONFORM TO ADA REQUIREMENTS.
 - 6) CONTACT NYS DOT ENGINEER IF PROPOSED SIDEWALK IS LESS THAN 5' WIDE.
 - 7) RUNNING SLOPE/GRADE WHERE HWY GRADE IS 5% OR LESS: MAX. RUNNING SLOPE/GRADE WHERE HWY GRADE IS 5% OR MORE: HWY GRADE IS MAX.

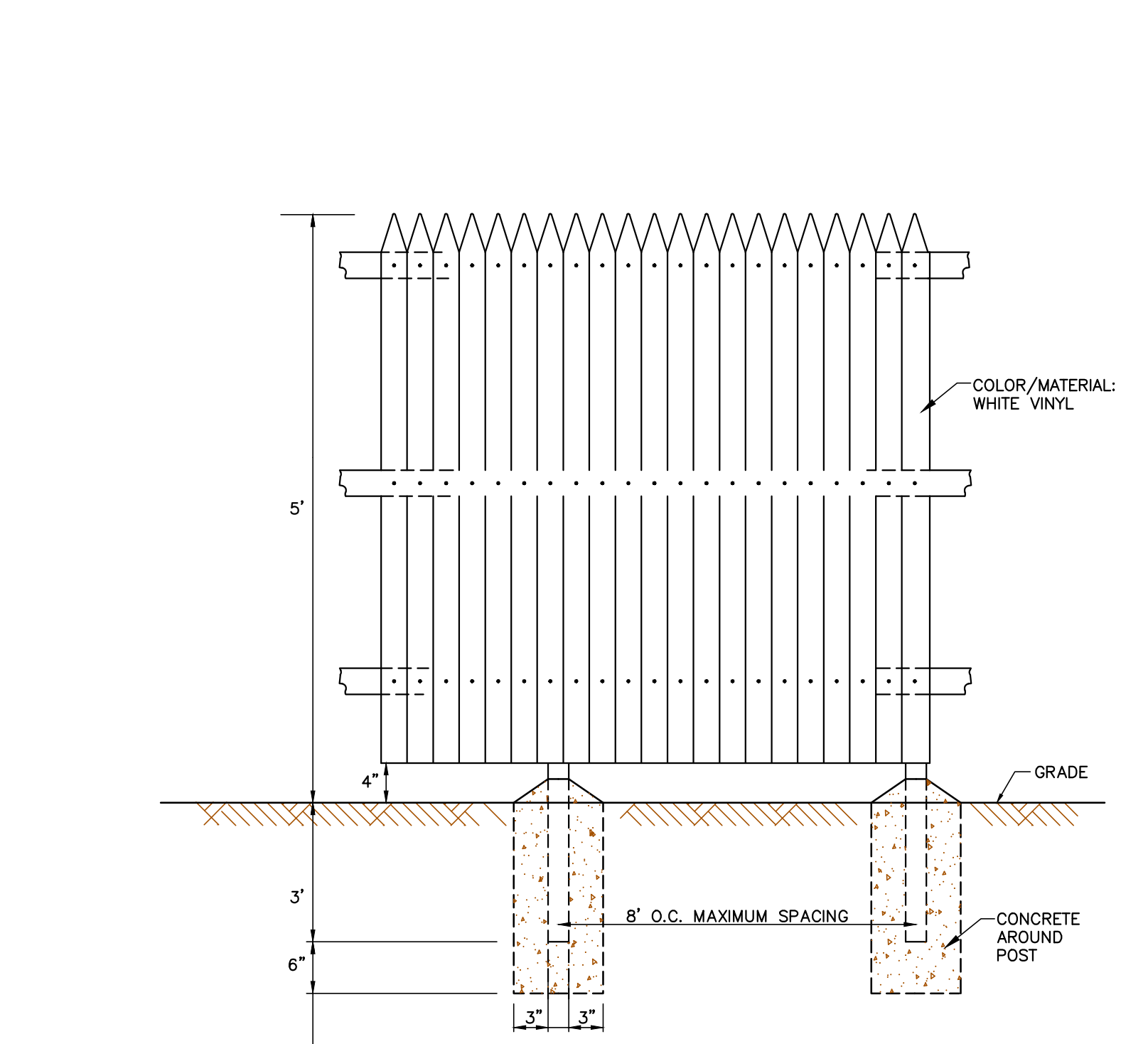
**REPLACEMENT CONCRETE
SIDEWALK DETAIL**
NOT TO SCALE



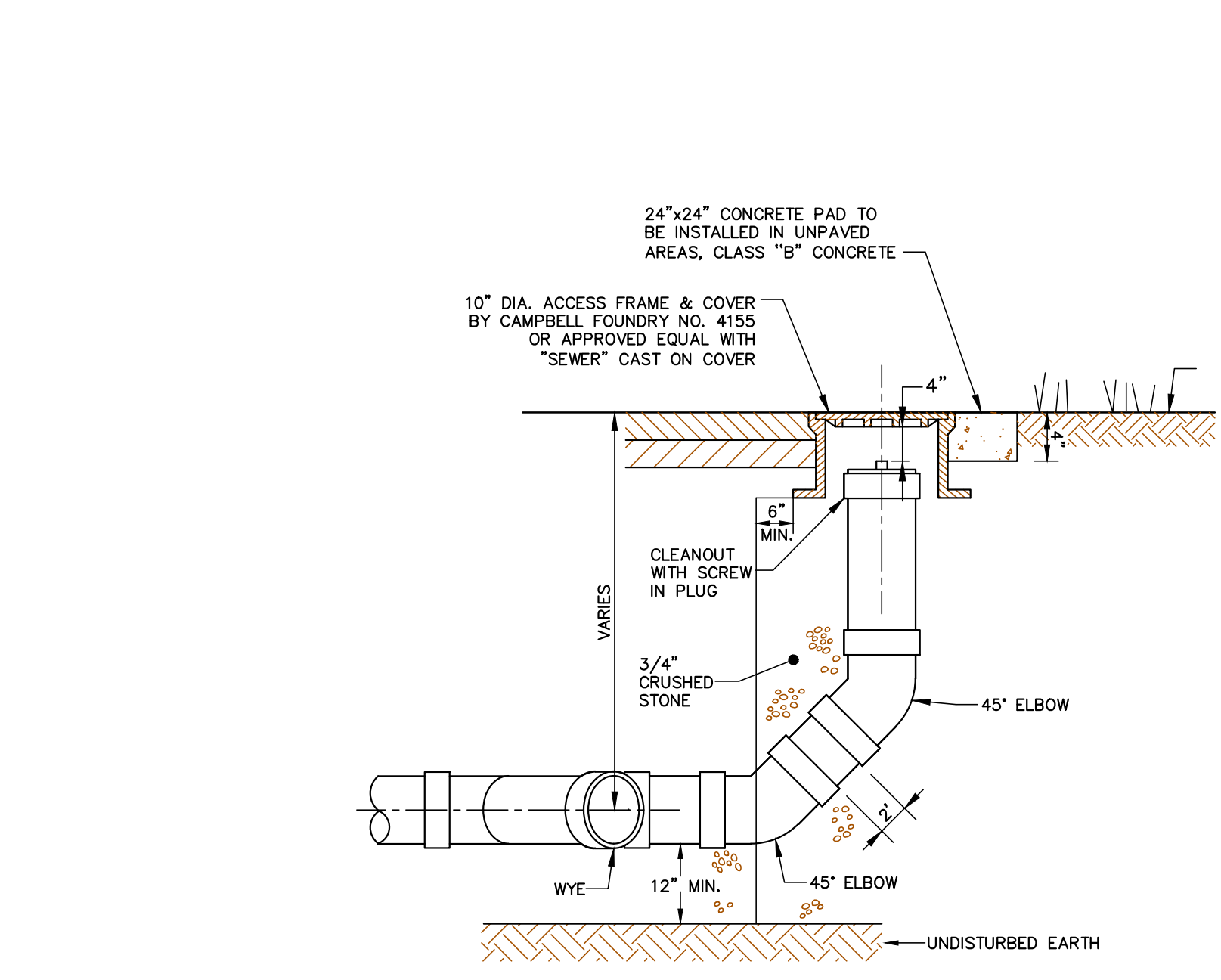
TYPICAL WATER SERVICE TRENCH DETAIL
NOT TO SCALE



NEW YORK STATE RESIDENTIAL TYPE 2 DRIVEWAY ENTRANCE DETAIL
NOT TO SCALE

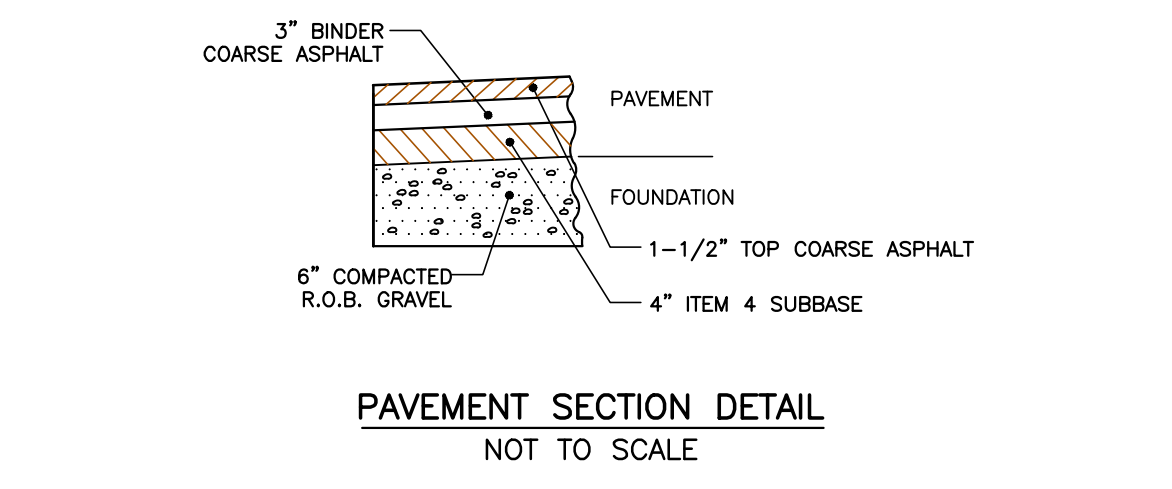


5' HIGH STOCKADE FENCE DETAIL
NOT TO SCALE

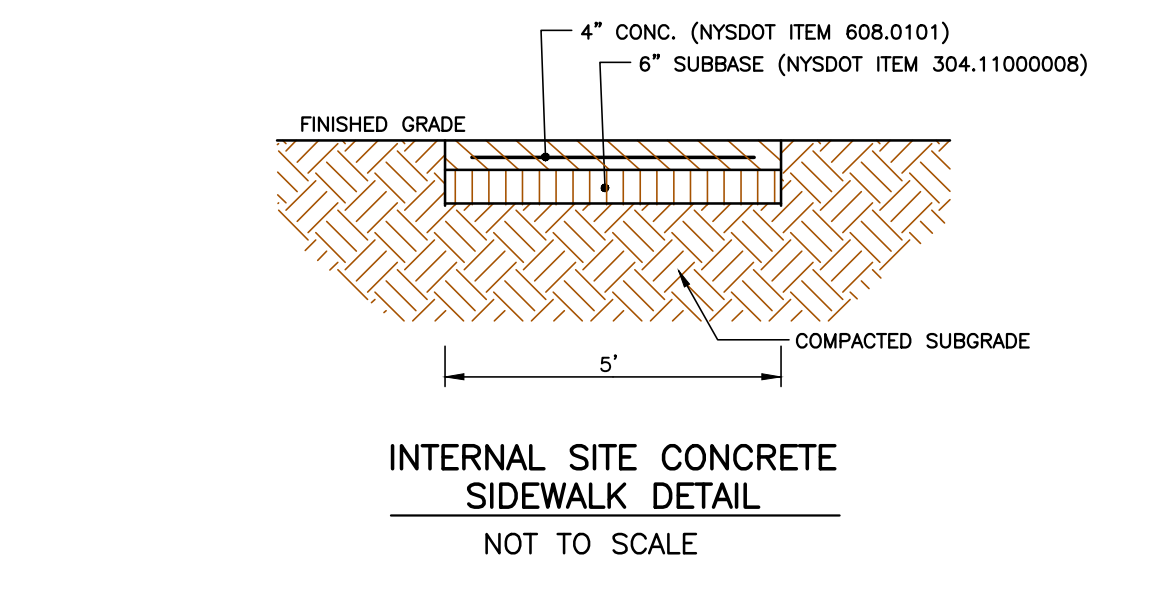


CLEANOUT DETAIL
NOT TO SCALE

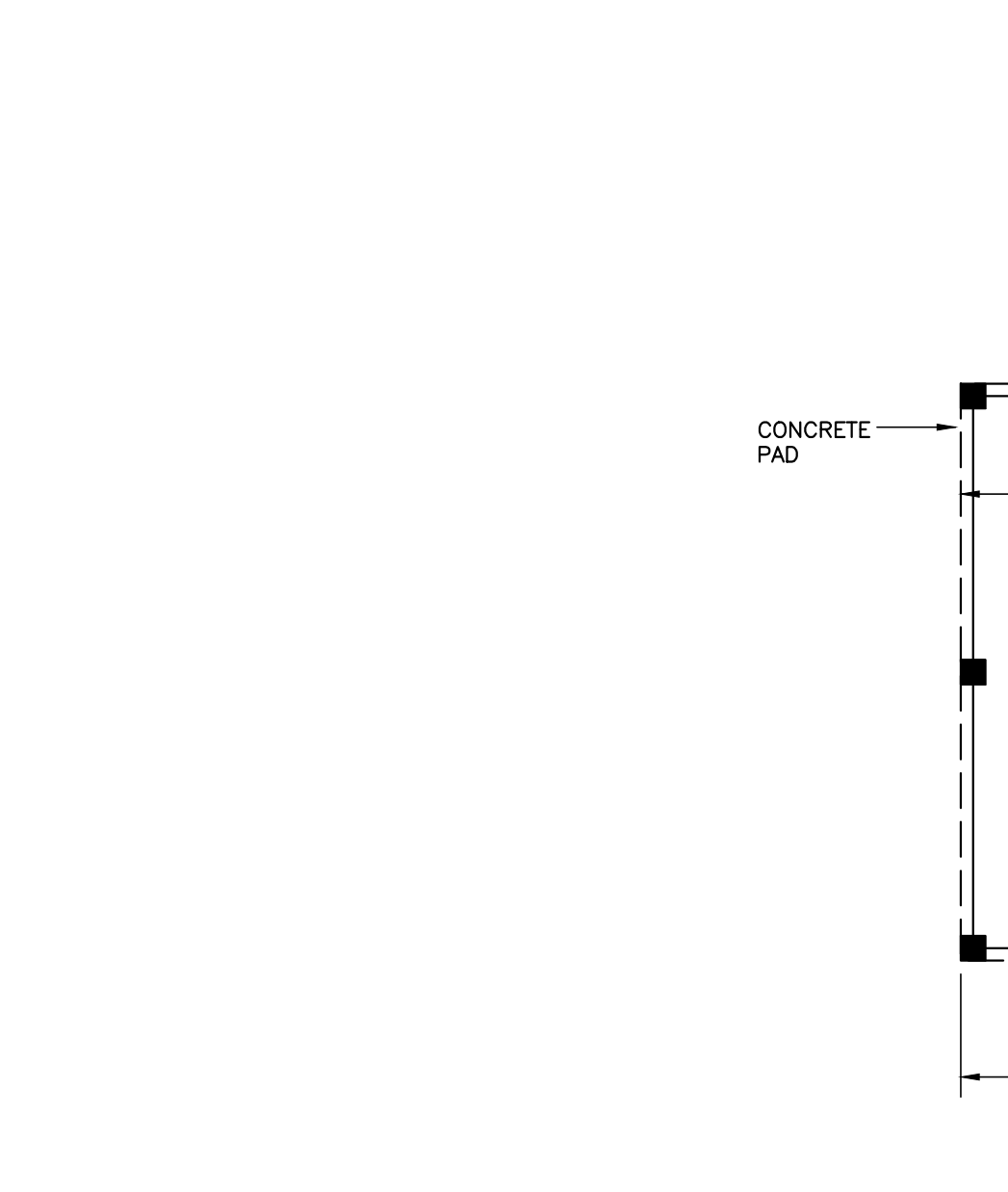
- RESIDENTIAL TYPE 2 DRIVEWAY NOTES:**
1. ALL AREAS WITHIN THE NYS RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION SHALL BE PERMANENTLY STABILIZED WITH TOPSOIL, SEED, AND MULCH, IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL SPECIFICATIONS, OR AS DIRECTED BY THE NYS DOT REPRESENTATIVE.
 2. MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 3. DRIVEWAY MUST BE PAVED FOR A MINIMUM OF 10 FT. BACK FROM THE EDGE OF ROAD.
 4. DRIVEWAY MUST BE A MINIMUM OF 5 FT. FROM THE PROPERTY LINE.
 5. THE MINIMUM ACCEPTABLE THICKNESS OF THE DRIVEWAY MATERIAL SHALL BE 3" OF ASPHALT CONCRETE ON A 6" GRAVEL BASE (ITEM 4).
 6. CENTERLINE OF THE DRIVEWAY MUST BE PERPENDICULAR TO EDGE OF THE STATE HIGHWAY.
 7. WHERE THERE ARE CONSTRAINT THAT PREVENT THE CONSTRUCTION OF THE DRIVEWAY OPENING USING EITHER OF THE LAYOUT METHODS, THE ENGINEER MAY SPECIFY A SMALL CORNER CURB RADIUS OF 2' (OR A 1/2 BULL NOSE CURB ALONG LOW SPEED HIGHWAYS). PROVIDED THE DRIVEWAY OPENING MEETS THE REQUIREMENT SO OF THE DRIVEWAY TABLES.
 8. ANY PCC SIDEWALK WHICH CROSSES A DRIVEWAY SHALL HAVE A MINIMUM THICKNESS OF 6" AND INCLUDE STEEL MESH REINFORCEMENT WITH 3" OF TOP COVER.
 9. TO PREVENT DRIVEWAY GRADES FROM EXCEEDING THE VALUES IN TABLE 2 - MAXIMUM DRIVEWAY SLOPE; IT MAY BE NECESSARY TO DEPRESS THE SIDEWALK ACROSS THE DRIVEWAY. SIDEWALK RAMP SHALL HAVE THE LEAST RUNNING SLOPE POSSIBLE, WITH A MAXIMUM DESIGN AND LAYOUT SLOPE OF 7.5%. THE RUNNING SLOPE FOR WORK ACCEPTANCE SHALL BE A MAXIMUM OF 8.3% WHERE EXISTING CONDITIONS DO NOT ALLOW THE CONSTRUCTION OF A SIDEWALK RAMP AT 8.3% OR LESS RUNNING SLOPE, THE RAMP LENGTH SHALL NOT BE REQUIRED TO EXCEED 15'-1" FOR DESIGN AND LAYOUT. THE RAMP LENGTH SHALL NOT BE REQUIRED TO EXCEED 15'-0" FOR WORK ACCEPTANCE.
 10. WHERE DRAINAGE IS CARRIED ALONG THE CURB, CONSTRUCT THE DRIVEWAY WITH A SHORT UPGRADE TO PREVENT RUNOFF FROM PONDING AT THE DRIVEWAY ENTRANCE (FLAT DRIVEWAY) OR RUNNING DOWN THE DRIVEWAY (DOWNHILL DRIVEWAY SLOPE). IF CONDITIONS MAKE THE ADDITION OF A SHORT UPGRADE IMPRACTICAL, USE 1" CURB REVEAL AND CONTINUE CURB ACROSS THE DRIVEWAY OPENING. TYPICALLY, CURB REVEAL WILL NOT BE CONSTRUCTED IN RURAL AREAS. IF CURB REVEAL IS SPECIFIED FOR A SPECIFIC DRIVEWAY, IT WILL BE NOTED IN THE DRIVEWAY TABLE OF THE CONTRACT PLANS IN THE 'COMMENTS' COLUMN.



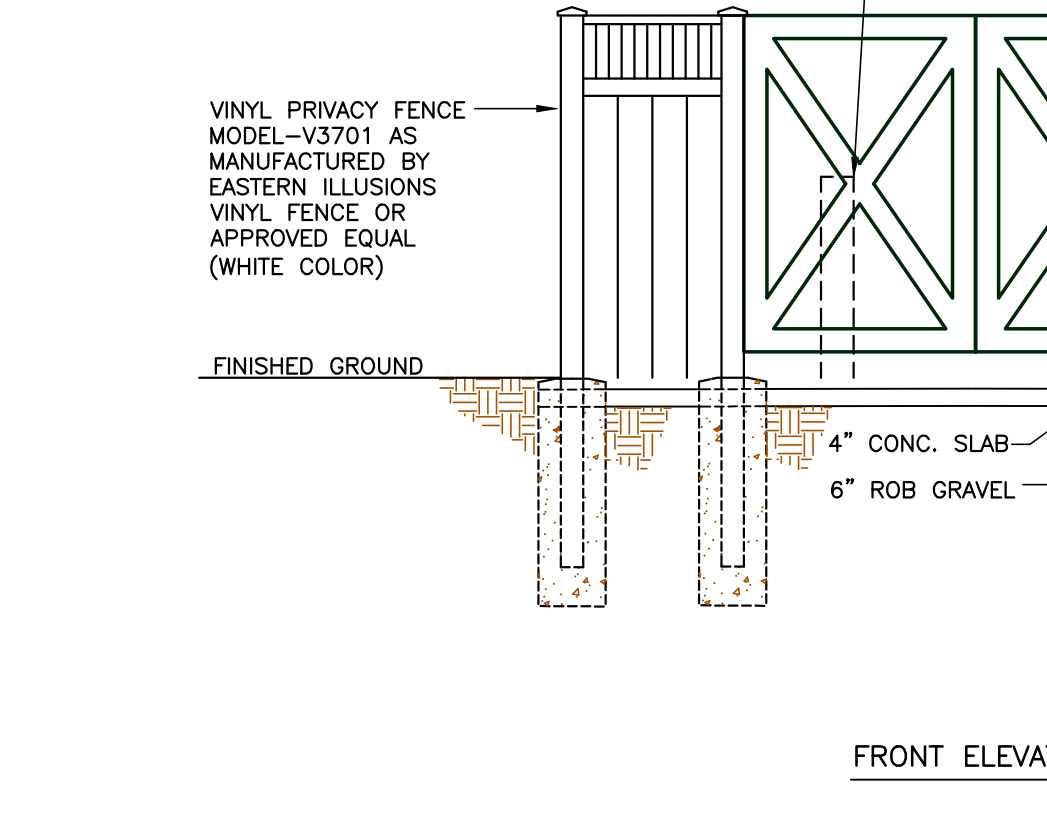
PAVEMENT SECTION DETAIL
NOT TO SCALE



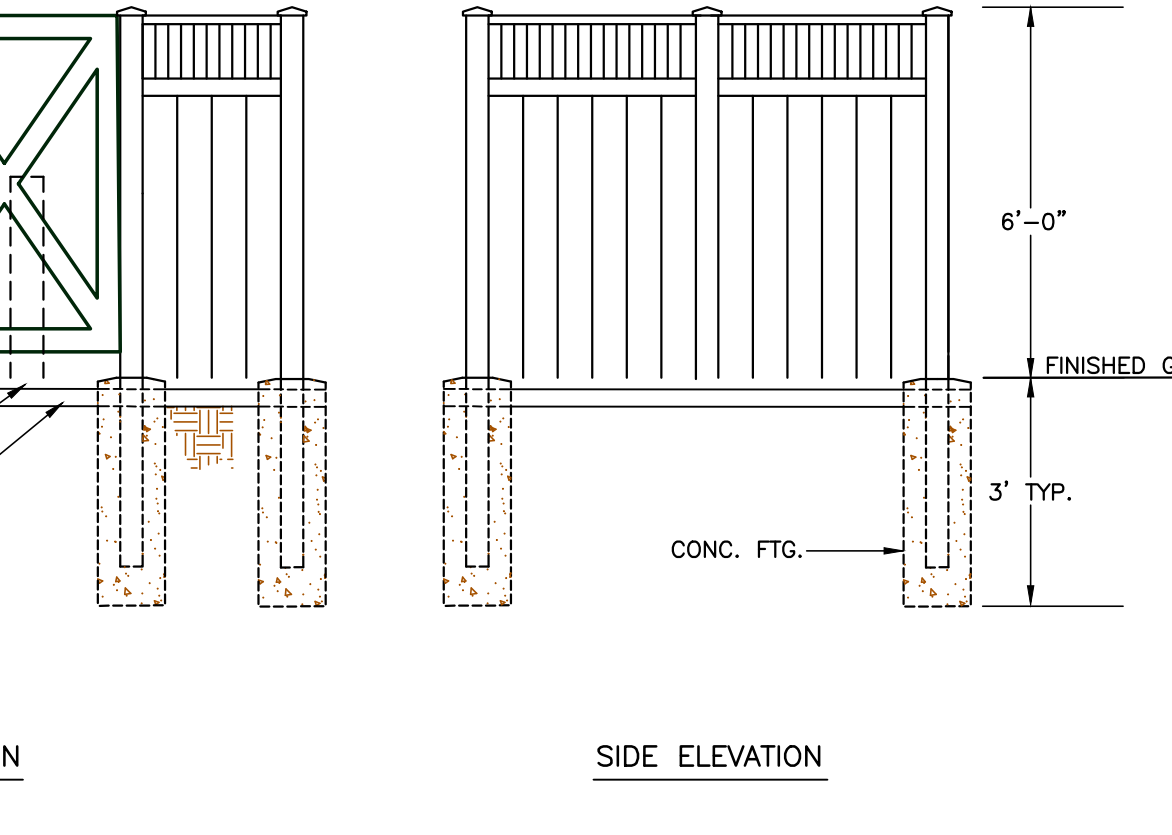
**INTERNAL SITE CONCRETE
SIDEWALK DETAIL**
NOT TO SCALE



PLAN VIEW



REFUSE ENCLOSURE DETAIL
NOT TO SCALE



FRONT ELEVATION
SIDE ELEVATION

- NOTES:
1. FENCE COLOR SHALL MATCH THE BUILDING COLOR.

**VILLAGE OF WAPPINGERS FALLS
PLANNING BOARD**

FINAL APPROVAL DATED: _____

PB CHAIR: _____ DATE: _____

WITNESS: _____

REVISIONS	
DATE:	DESCRIPTION:
09-14-22	GENERAL REVISIONS PER VILLAGE COMMENTS

**POVALL
ENGINEERING, PLLC**

WILLIAM H. POVALL III, P.E.
N.Y.S.P.E. LICENSE #075020

3 NANCY COURT, SUITE 4
WAPPINGERS FALLS, NY 12590

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FAX: (845) 897-0042

DETAILS FOR

2731 WEST MAIN STREET

VILLAGE OF WAPPINGERS FALLS **DUTCHESS COUNTY, NEW YORK**

JOB #: 2202
DATE: 04-28-22
SCALE: N.T.S.
D-1 SHEET 3 OF 3