

**VILLAGE OF WAPPINGERS FALLS**  
**Offices of Planning/Zoning**  
**2582 South Avenue Wappingers Falls, NY 12590**  
**(845) 297-5277 Fax: (845) 296-0379**

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**AGENDA OF THE PLANNING BOARD**

January 12, 2023

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The Planning Board of the Village of Wappingers Falls will hold a meeting at the American Legion Hall, 7 Spring Street, Wappingers Falls, on January 12, 2023, beginning at 7 p.m. There are no public hearings scheduled for this meeting.

The agenda is as follows:

**ROLL CALL**

**APPROVAL OF DECEMBER 1, 2022 MINUTES**

**NEW APPLICATIONS**

**DUTCHESS AVENUE**

**Dutchess Avenue (Grid #6158-17-198119) – Terra Group 201 LLC (Owner and Applicant) – Christopher Lapine, P.E., LEED AP, LaBella Associates (Engineer) - Site Plan.**

This property is located in the Village Residential (VR) zoning district. The applicant is proposing constructing a three-story, eight-unit, multi-family development.

**BOHO BEAUTY LLC**

**2591 South Avenue (Grid #6158-18-315117) – 2591 South Ave LLC (Owner and Applicant) – New Business and Special Use Permit.**

This property is located in the Village Residential (VR) zoning district. The applicant is proposing operating a beauty salon on the ground floor.

**ZEN HOOKAH LOUNGE LLC**

**1659 Route 9 (Grid #6158-14-493399) – Wappingers K Holdings LLC (Owner) – Shaniece Brown and John Gibson (Applicants) – New Business.**

This property is located in the Commercial Mixed Use (CMU) zoning district. The applicant is proposing operating a restaurant. The applicant is also proposing one wall sign and one slot on the existing multi-tenant sign.

**NORTHWAY FOREST ENTERPRISES LLC**

**33 Mc Kinley Street (Grid #6158-17-150250) –Wappingers Falls Estuary Enterprises, Inc. (Louis Snell) (Owner) – Northway Forest Enterprises LLC (Applicant) – Fence.**

This property is located in the Commercial Mixed Use (CMU) zoning district. The applicant is proposing installing a fence.



12/7/2022

Mr. Tom Morris, Chairman  
Village of Wappingers Falls Planning Board  
2582 South Avenue  
Wappingers Falls, NY 12590

**RE: Dutchess Ave and Garden Street  
Terra Group 201, LLC.**

Dear Chairman Morris:

Terra Group 201 LLC is seeking site plan approval from the Village of Wappingers Falls Planning Board, to develop a three-story, eight-unit, 11,826 square foot SF (3,942 SF footprint) multifamily development, on a 0.45-acre parcel (Tax Lot 198119), in the Village of Wappingers Falls, Dutchess County, New York. The proposed right multifamily residential units will consist of six, two-bedroom units and two, one-bedroom units. A total of 12 parking spaces are proposed, including five outside of the proposed building off-site, and seven underneath the proposed building in a parking garage. There is an existing access easement for the driveway on tax lot 197127 and an existing sewer easement on tax lots 197127 and 191142.

Attached are 10 copies of the following items:

- Application for Planning Board Review and Owner Consent Form dated March 12, 2020;
- Short Environmental Assessment Form Part 1 with Figures and Attachments dated December 7, 2022;
- Site Plan set dated December 7, 2022;
- A copy of the survey prepared by Rowan Land Surveying Dated October 24, 2022
- Deed for the subject property

A separate digital submission of the above items has been made to the village planning department. A check for the application Fee of \$3,267 and an Escrow Fee of \$750 have been submitted separately by the applicant. Please place this project on the agenda of the Thursday, January 12, 2023 Planning Board meeting. Please call me at 845-486-1525 or email me at [tkerrigan@labellapc.com](mailto:tkerrigan@labellapc.com) if you have any questions or need further information. Thank you for your assistance.

Respectfully submitted,

**LaBella Associates**



Thomas Kerrigan, P.E.  
Civil Engineer



## VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT  
OFFICE OF CODE ENFORCEMENT  
OFFICE OF THE FIRE INSPECTOR  
2582 SOUTH AVENUE  
WAPPINGERS FALLS, NY 12590  
PHONE: (845) 297-5277 FAX: (845) 296-0379  
E-mail: [bmurphy@wappingersfallsny.gov](mailto:bmurphy@wappingersfallsny.gov)  
[www.wappingersfallsny.gov](http://www.wappingersfallsny.gov)

### APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: 12/7/2022

Date of Meeting: 1/12/2023

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website [www.wappingersfallsny.gov](http://www.wappingersfallsny.gov).

A filing fee is required in connection with any application to the Planning Board for approval.

**The Planning Board is responsible for the review and approval of all applications concerning:**

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision /Site Review/ Lot Line Adjustment

**Items to be submitted for review:** (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

*(Separate Application)*



# VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT  
2582 SOUTH AVENUE  
WAPPINGERS FALLS, NY 12590  
PHONE: (845) 297-5277 FAX: (845) 296-0379  
E-mail: [bmurphy@wappingersfallsny.gov](mailto:bmurphy@wappingersfallsny.gov)  
[www.wappingersfallsny.gov](http://www.wappingersfallsny.gov)

## APPLICATION FOR PLANNING BOARD REVIEW

*All information must be completely filled out and returned no later than the stated submission date.*

Date Submitted: 12/7/2022 Date of Meeting: 1/12/2023

### **Property Identification:**

**Address:** Dutchess Ave. & Garden St., Village of Wappingers, Dutchess Co., NY 12590

**Zoning District:** VR - Village Residential **Existing site area:** 0.45 acres

### **Owner Information:**

**Name :** Terra Group 201 LLC

**Address :** 395 Route 212

**City:** Saugerties **State:** New York **Zip:** 12477

**Contact Numbers: (H)** 845-554-5120 **(C)** 646-315-1024

**(E-mail)** upstaterealtygroup@gmail.com

### **Applicant Information:**

*(Please provide if someone other than the property owner is the applicant)*

**Name :** Terra Group 201 LLC c/o Mr. Al Varrone and Mr. Richard Schultz

**Address:** 395 Route 212

**City:** Saugerties **State:** New York **Zip:** 12477

**Contact Numbers: (H)** 845-554-5120 **(C)** 646-315-1024

**E-mail Address:** upstaterealtygroup@gmail.com

### **Lead Design Professional: (If applicable)**

*(Indicate the primary design professional associated with this application)*

**Name:** Christopher Lapine, P.E., LEED AP

**Title:** Senior Civil Engineer

**Architect**  **Engineer**

**Company:** LaBella Associates

**Address:** 21 Fox Street, Poughkeepsie, NY 12601

**Telephone # :** 845-486-1478

**E-mail Address:** clapine@labellapc.com



**VILLAGE OF WAPPINGERS FALLS**  
**APPLICATION FOR PLANNING BOARD REVIEW**  
**(Continued)**

**Proposed Site:**

*(Property where improvements are proposed)*

**Existing Use(s):** Unoccupied

**Proposed square footage:** 3,942-sf floor plate and 11,826 gsf

**Project Description :***(Please print or type)*

*(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)*

Terra Group 201 LLC is seeking site plan approval from the Village of Wappingers Falls Planning Board, to develop a three-story, eight unit, 11,826 square foot SF (3,942 SF footprint) multifamily development, on a 0.45-acre parcel (Tax Lot 198119), in the Village of Wappingers. The proposed right multifamily residential units will consist of six, two-bedroom units and two, one-bedroom units. A total of 12 parking spaces are proposed, including five outside of the proposed building off-site, and seven underneath the proposed building in a parking garage. There is an existing access easement for the driveway on tax lot 197127 and an existing sewer easement on tax lots 197127 and 191142. The project site is located at the intersection of Dutchess Avenue and Garden Street and municipal water and sewer is available to the site. Access will be provided from the existing access easement and existing driveway off of the Dutchess Ave and Garden St intersection. The Applicant seeks to widen the gravel driveway to accommodate fire truck access onto the project site. The project site is located within the Village Residential (VR) zoning district, where multifamily dwellings are a permitted use in the VR zone pursuant to site plan review. Less than 1/2 acre of ground disturbance is proposed.

**Items to be submitted for review: (Only items pertaining to project)**

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

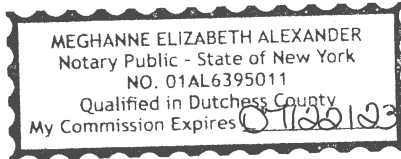
**SUBSCRIBED AND SWORN TO BEFORE ME**

THIS 06 DAY OF December, 2022,

STATE OF New York BY Alfred Varrone  
 COUNTY OF Dutchess Meghanne Alexander  
 NOTARY PUBLIC

**With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.**

Alfred Varrone  
 Signature of Applicant Signed



12-6-22  
 Date

**Office use only:**

[ ] FEE : \_\_\_\_\_ Receipt No. : \_\_\_\_\_ Cash / Check # \_\_\_\_\_ Date: \_\_\_\_\_

Revised by : \_\_\_\_\_ Revision date : \_\_\_\_\_  
 Zoning Administrator/Code Enforcement Officer

PART "B"  
APPLICANT / AGENT AFFIDAVIT

State of New York }  
County of Dutchess } ss:  
}

Terra Group 201 LLC c/o being duly sworn, deposes and says:

Mr. Al Varrone and Mr. Richard Schultz

1. That I/we are the Owner/Applicant/Sponsor named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 395 Route 212 in the County of Ulster and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

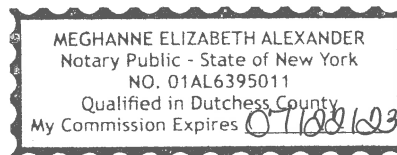
Chris Lapine  
Applicant/Agent

Chris Lapine  
Applicant/Agent

Terra Group 201 LLC c/o Mr. Al Varrone and Mr. Richard Schultz Chris Lapine, LaBella Associates - Agent for Applicant

Sworn to before me this 6 day of  
December, 2020.

Meghanne Elizabeth Alexander  
Notary Public



**PART "A"**  
**OWNER AFFIDAVIT**

State of   New York                      }  
  }  
County of   Dutchess                  } ss:

  Terra Group 201 LLC c/o   being duly sworn, deposes and says:  
  Mr. Al Varrone and Mr. Richard Schultz  

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize   LaBella Associates  , to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

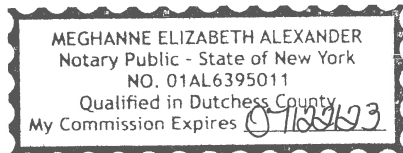
  Al Varrone    
Applicant/Owner

\_\_\_\_\_  
Applicant/Owner

Sworn to before me this   6   day of

  December  , 20  20  .

  Meghanne Alexander    
Notary Public





Dutchess County Clerk Recording Page

Record & Return To:

Date Recorded: 6/1/2022  
Time Recorded: 10:07 AM

TERRA GROUP 201 LLC  
395 ROUTE 212  
SAUGERTIES, NY 12477

Document #: 02 2022 2261

Received From: DUT CO COMMISSIONER OF FINANCE

Grantor: DUT CO  
Grantee: TERRA GROUP 201 LLC

Recorded In: Deed Tax District: Wappinger  
Instrument Type:

Examined and Charged As Follows :

Recording Charge: \$5.00  
Transfer Tax Amount: \$0.00  
Includes Mansion Tax: \$0.00  
Transfer Tax Number: 7414

Number of Pages: 3

Do Not Detach This Page  
\*\* This is Not A Bill

Red Hook Transfer Tax:

RP5217: Y  
TP-584: Y

County Clerk By: cni  
Receipt #: 17469  
Batch Record: 112

Bradford Kendall  
County Clerk



0220222261

Unpaid / Unofficial Document

DEED

T/Wapp  
5

THIS INDENTURE, made this 14th day of May, 2022

Between the **COUNTY OF DUTCHESS**, a municipal corporation organized and existing under the laws of the State of New York, with offices located at 22 Market Street, Poughkeepsie, New York 12601, party of the first part, and

R→R

**Terra Group 201 LLC**, residing at 395 Route 212, Saugerties, NY ~~12477~~ 12477 party of the second part.

WITNESSETH that the party of the first part, in consideration of the sum of \$43,000.00 in payment of all right, title and interest which the County of Dutchess may have acquired in and said to property, does hereby remise, release and quitclaim unto the party of the second part, and said party's heirs, successors and assigns forever.

All That Tract, Piece or Parcel of Land, situate in the Town of Wappinger, County of Dutchess, State of New York, described as follows:

TAX GRID NO. 135689-6158-17-198119-0000

Subject to any existing right of way and easements, and any and all existing restrictions, conditions and covenants on record.

Together with the appurtenances and all the estate and rights of the party of the first part in and to said premises.

Said property, having been assessed to Scianna, Thomas S for the levy year of 2018, and filed on a list of delinquent taxes on 11/4/2019, for unpaid County, Town and School taxes based on the 2018 roll and not having been redeemed within the time prescribed by law, was deeded to the County of Dutchess on 2/24/2022 in accordance with a judgment of Supreme Court of the State of New York, which deed was recorded in the Office of the Dutchess County Clerk in Document 02-2022-824, and the total amount of delinquent taxes being \$18,498.14.

This **Conveyance** is made pursuant to a resolution of the Dutchess County Legislature No. 2022051 and is made subject to the condition and covenant that County of Dutchess shall in no event be or become liable for any defects in title conveyed hereby, for any cause whatsoever, and that no claim, demand or suit of any nature shall ever be made by the party of the second part hereto, or by said party's heirs, successors and assigns, against said Dutchess County arising from such sale or this conveyance.

**To Have and to Hold** the premises herein granted unto the party of the second part and said party's heirs, successors and assigns forever.



IN WITNESS WHEREOF, the party of the first part has caused this instrument to be signed by the County Executive and Clerk of the County Legislature of the County of Dutchess and the seal of said County to be affixed the day and first above written.

COUNTY OF DUTCHESS

By *Marc Molinaro*  
Marc Molinaro, County Executive  
*Marcus J*

*Leigh Wager*  
Leigh Wager, Clerk, County Legislature

STATE OF NEW YORK : COUNTY OF DUTCHESS : SS

On the 24 day of May, 2022, before me, the undersigned, a Notary Public in and for said State, personally appeared MARCUS J. MOLINARO, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which individual acted, executed the instrument.

Carlin Gilligan  
Notary Public, State of New York  
No. 01G6377228  
Qualified in Columbia County  
Commission Expires 06/23/22

*Carlin Gilligan*  
NOTARY PUBLIC

STATE OF NEW YORK : COUNTY OF DUTCHESS : SS

On the 23 day of may, 2022, before me, the undersigned, a Notary Public in and for said State, personally appeared LEIGH WAGER, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which individual acted, executed the instrument.

LAURA HUSSING  
Notary Public, State of New York  
No. 01HU6391455  
Qualified in Dutchess County  
Commission Expires May 06, 2023

*Laura Hussing*  
NOTARY PUBLIC

**Terra Group 201 LLC**  
**Dutchess Ave. & Garden St.**

Village of Wappingers Falls  
Dutchess County, New York



*Issued: December 7, 2022*

*Prepared for:*  
Terra Group 201 LLC  
395 Route 212  
Saugerties, NY 12477

*Prepared by:*  
LaBella Associates  
21 Fox Street Suite 201  
Poughkeepsie, NY 12601  
845-486-1541

*LaBella Project No. 2230010*

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## TABLE OF CONTENTS

<b>1.0 PROJECT DESCRIPTION .....</b>	<b>1</b>
1.1 Introduction.....	1
1.2 Approvals, Consultations and Referrals.....	1
<b>2.0 ENVIRONMENTAL ASSESSMENT .....</b>	<b>1</b>
2.1 Land Use, Zoning and Public Policy .....	1
2.1.1 Land Use.....	1
2.1.2 Zoning.....	2
2.1.3 Public Policy.....	2
2.2 Utilities .....	2
2.2.1 Water Supply .....	2
2.2.2 Sanitary Sewage.....	2
2.3 Soils and Water Resources.....	3
2.3.1 Soils.....	3
2.3.2 Surface Water Resources and Floodplains.....	3
2.4 Vegetation and Wildlife.....	3
2.5 Historic and Archaeological Resources .....	4
2.6 Environmental Contamination.....	4
2.7 Traffic .....	5

### FULL ENVIRONMENTAL ASSESSMENT FORM, PART 1

#### FIGURES

- Figure 1: USGS Location Map
- Figure 2: Orthophoto Tax Map
- Figure 3: Land Use Map
- Figure 4: Soils Map
- Figure 5: Wetlands and Streams Map
- Figure 6: DEC Environmental Resources Map
- Figure 7: CRIS Map
- Figure 8: Scenic Resources Map

#### ATTACHMENTS

Attachment A - United States Fish and Wildlife Service (USFWS) Informal Species List

Site Plan Set will be submitted separately

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## 1.0 PROJECT DESCRIPTION

### 1.1 Introduction

Terra Group 201 LLC is seeking site plan approval from the Village of Wappingers Falls Planning Board, to develop a three-story, eight-unit, 11,826 square foot SF (3,942 SF footprint) multifamily development, on a 0.45-acre parcel (Tax Lot 198119), in the Village of Wappingers Falls, Dutchess County, New York. The proposed right multifamily residential units will consist of six, two-bedroom units and two, one-bedroom units. A total of 12 parking spaces are proposed, including five outside of the proposed building off-site, and seven underneath the proposed building in a parking garage. There is an existing access easement for the driveway on tax lot 197127 and an existing sewer easement on tax lots 197127 and 191142.

The project site is located at the intersection of Dutchess Avenue and Garden Street. Access will be provided from an existing access easement and existing driveway off the Dutchess Avenue and Garden Street intersection. The Applicant seeks to widen the gravel driveway to accommodate fire truck access onto the project site. The project will utilize municipal water and sewer.

The project site is located within the Village Residential (VR) zoning district, where multifamily dwellings are a permitted use in the VR zone pursuant to site plan review. Approximately 0.47 acres of ground disturbance is proposed.

### 1.2 Approvals, Consultations and Referrals

The following approvals are required for the implementation of the proposed project:

1. Village of Wappingers Falls Planning Board - Site Plan Approval
2. Village of Wappingers Falls Water Department and Village Sewer District - Water & Sewer Hookups
3. NYS Office of Parks, Recreation, and Historic Preservation (OPRHP) – SHPO Consult

## 2.0 ENVIRONMENTAL ASSESSMENT

### 2.1 Land Use, Zoning and Public Policy

#### 2.1.1 Land Use

The project site is located in the Village Residential (VR) zoning district and is currently undeveloped. The land uses located within 1,000 feet of the project site are characterized by

commercial (office buildings with associated parking), vacant (wooded and undeveloped), and residential areas (see Figure 3).

The proposed use, as an eight-unit, multifamily residential development, is a permitted use within the VR zone, pursuant to site plan review. The proposed use is permitted and will be consistent with the mixed land use character of the area.

### *2.1.2 Zoning*

As stated above, the project site is located within the VR zoning district.

Per Article III, ZS 151-10, Table 4A, multifamily dwellings are classified as permitted uses within the VR District, pursuant to site plan review.

The proposed project will comply with all of the lot, bulk, and design requirements and standards included in ZS 19-3.16(4), ZS 19-3.16(5), and ZS 19-3.16(6).

The proposed project will comply with all of the Village's parking criteria included in ZS 151-24(E), (I), and (L).

The proposed project will comply with all of the Village's screening requirements included in ZS 151-24(H), parking lot landscaping requirements included in ZS 151-24(I), and new planting requirements included in ZS 151-24(K).

### *2.1.3 Public Policy*

The 2001 Village of Wappingers Falls Comprehensive Plan Volume states that two of the Village's goals focus on encouraging diversified growth of the Village, including a variety of residential, commercial, and industrial areas, while still preserving its single-family residential character; and, ensuring that public facilities and services are adequate in location, capacity and design to properly serve planned development and growth of the Village. The proposed project meets both goals, as the proposed multi-family development encourages housing diversity and is in an ideal residential location, proximate to diverse amenities within walking and driving distance from the project site.

## **2.2 Utilities**

### *2.2.1 Water Supply*

Municipal water is available at the project site and has the capacity to support the proposed project. The total anticipated water demand per day for the proposed eight apartment units (six, two-bedroom units and two, one-bedroom units) would be approximately 1,540 gallons per day. The Applicant will coordinate with the Village of Wappingers Falls Water Department for water connections.

### *2.2.2 Sanitary Sewage*

Municipal sewer is available at the project site and has the capacity to support the proposed project; therefore, the proposed project will connect to existing municipal sanitary sewer infrastructure. The total anticipated liquid waste generation per day for the proposed eight

apartment units (six, two-bedroom units and two, one-bedroom units) would be approximately 1,540 gallons per day. The Applicant will coordinate with the Village of Wappingers Falls Sewer District for sanitary sewer connections.

## 2.3 Soils and Water Resources

### 2.3.1 Soils

The following table provides the soil characteristics for each soil type expected to be found on the project site, according to the USDA Natural Resources Conservation Service website (see Figure 4).

**Table 1: Characteristics of Anticipated Soil Types within Project Site**

% of SITE	SOIL SYMBOL	SOIL TYPE	FARMLAND CLASSIFICATION	SLOPES	DRAINAGE	DEPTH TO WATER TABLE	DEPTH TO BEDROCK
89.3	HuB	Hoosic-Urban land complex, undulating	Not prime farmland	1-6%	Somewhat excessively drained	>80 inches	>80 inches
9.8	Ps	Pits, gravel	Not prime farmland				
0.8	HsD	Hoosic gravelly loam, hilly	Not prime farmland	15-30%	Somewhat excessively drained	>80 inches	>80 inches

A majority of the project site is occupied by the HuB soil type. This soil type is considered to be somewhat excessively well drained. The majority of the project site is relatively flat, with only 1-6% slopes.

### 2.3.2 Surface Water Resources and Floodplains

According to the NYSDEC EAF Mapper, the NYSDEC Environmental Resource Mapper, and available GIS mapping, the project site does not contain nor is contiguous to a State or Federally regulated wetland. Additionally, there are no floodplains located on or near the project site. However, the proposed project is located on a Principal Aquifer. The site will be connected to municipal water and sewer services. Thus, the proposed project will not result in any adverse impacts to wetlands or streams.

## 2.4 Vegetation and Wildlife

According to the NYSDEC Environmental Resource Mapper (Figure 6), there are known occurrences of the pied-billed grebe and Indiana bat on or in the vicinity of the project site.

According to the United States Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC), the project lies within the range of records for Indiana bat



(endangered), northern long-eared bat<sup>1</sup> and the monarch butterfly, a candidate species. Candidate species are not regulated by the USFWS (See Attachment A). The IPaC also states that there are no critical habitats at the project location.

The proposed project will require 0.11 acres of clearing of the wooded site, for construction of the proposed multifamily development. To avoid direct or indirect take of bat species, it is recommended that any forest clearing take place between October 30 and March 31, as during this time, the bats would be in hibernation and not present on the project site.

The pied-billed grebe nests in open water or within stands of tall, emergent vegetation, such as cattails. It breeds on freshwater to brackish seasonal and permanent ponds. Since there are no wetlands or other waterbodies on or near the project site, it is safe to assume that this species will not be present and there will be no adverse impacts.

## 2.5 Historic and Archaeological Resources

According to the NYS Office of Parks, Recreation, and Historic Preservation (NYSOPRHP) Cultural Resource Information System (CRIS) mapping (Figure 7), there are no National or State Historic Register sites on the project site; however, there is a National Register Historic Site, Wappingers Falls Historic District (NR# 90NR00446), located substantially contiguous to the site. The Wappingers Falls Historic District is located just north of the project site, opposite Garden Street. The Wappingers Falls Historic District is considered locally significant due to its historic industry/processing/extraction uses & late Victorian architecture.

The project site is also located within a known archaeologically sensitive area. Therefore, a consultation request will be submitted to NYSOPRHP.

## 2.6 Environmental Contamination

The project site is within 2,000 feet of three sites (DEC IDs 314127, 314058, and 546031), located in the NYSDEC Environmental Site Remediation database. These three sites are located off-site from the project site.

DEC Site ID 314127 is identified as Wappinger Creek, which was in the State Superfund Program and classified as a Class 2 remediation site. Previous industrial uses have resulted in contaminants in the stream bed. The primary contaminants of concern in the creek sediments are mercury, lead, zinc and chromium. As information for this site becomes available, it will be reviewed by the NYSDOH to determine if site contamination presents public health exposure concerns.

DEC Site ID 314058 is identified as Three Star Anodizing, which was in the State Superfund Program and classified as a Class 2 remediation site. Three Star Anodizing was an industrial site that discharged contaminants to the Wappinger Creek. Currently, site remediation is complete and residual contaminants in the soil, groundwater, and sediment are being managed under a site management plan (SMP). Site access is unrestricted so trespassers and on-site employees could be exposed to surface wastes and contaminated surface soil.

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<sup>1</sup> Recently the USFWS published a final rule uplisting the northern long-eared bat from threatened to endangered. That rule will go into effect January 30, 2023. This uplisting would likely cause the northern long-eared bat to be regulated in a similar fashion as the Indiana bat.

However, exposure via drinking water is not expected as the site is served by public water. Potential for volatile organic compounds (VOCs) found in soil and groundwater to migrate via soil vapor intrusion will be investigated and mitigation will be provided as necessary.

DEC Site ID 546031 is identified as Hudson River PCB Sediments, which was in the State Superfund Program and classified as a Class 2 remediation site. The sediments were a result of discharge (1946-present) from two GE plants in Hudson Falls and Fort Edward. This site has been included in the Federal National Priorities List (NPL). Remedial investigation to address floodplain soils in the Upper Hudson River Floodplain under USEPA and State oversight is now underway.

## **2.7 Traffic**

According to the Institute of Transportation Engineers (ITE) Traffic Generation Manual, 11th Edition, low-rise multifamily housing, specifically three stories and eight apartment units, (Land Use Code 220) is expected to generate 3 vehicle trip ends (vtes) per weekday a.m. peak hour of adjacent street traffic (1 entry/2 exit) and 4 vtes per weekday p.m. peak hour of adjacent street traffic (2 entry/2 exit). The total of 3 a.m. peak hour vtes and total of 4 p.m. peak hour vtes, are each below the ITE guideline of 100 peak hour trips for warranting a detailed traffic analysis.

Therefore, it is safe to assume that the proposed project will not adversely affect the traffic operations on the surrounding roadway network.

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# FULL ENVIRONMENTAL ASSESSMENT FORM PART 1

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**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> </ul>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
\_\_\_\_\_

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres  
*Note: 0.52 acres includes the subject property and the disturbed areas outside of property bounds. Note: 0.47 acres is the limit of disturbance*

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source.  
 \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
 \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes: **The apartments would require 110 gpd/bedroom. Assuming six, 2-BR units (6 x 220 gpd) and two, 1-BR units (2 x 110 gpd) = 1,540 gpd/day**

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes: **The apartments would require 110 gpd/bedroom. Assuming six, 2-BR units (6 x 220 gpd) and two, 1-BR units (2 x 110 gpd) = 1,540 gpd/day**

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking? <sup>5 outside of the building, and 7 underneath in a parking garage.</sup>  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_  
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.  
 i. During Construction:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_  
 ii. During Operations:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>_____</li> <li>• Operation: _____</li> <li>_____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>_____</li> <li>• Operation: _____</li> <li>_____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

---

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

---

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_

---

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

---

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes: **Note: The three sites in the NYSDEC Environmental Site Remediation database are located off-site.**  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_

is complete and residual contaminants in the soil, groundwater, and sediment are being managed under a SMP. Site access is unrestricted so trespassers and on-site employees could be exposed to surface wastes and contaminated surface soil. However, exposure via drinking water is not expected as the site is served by public water. Potential for VOCs found in soil and groundwater to migrate via soil vapor intrusion will be investigated and mitigation will be provided as necessary.

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_%

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_



m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes: <span style="color: blue; font-size: small;">The project site does not contain any historic buildings or sites; however, it is substantially contiguous to a National Register Site just north of the project site across Garden Street.</span></p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p>ii. Name: _____</p> <p>iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature \_\_\_\_\_ *Krithika Prabhakaran* Title \_\_\_\_\_



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	314127, 314058, 546031
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Pied-billed Grebe, Indiana Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Duchess Company Superintendent's House, Wappingers Falls Historic District
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

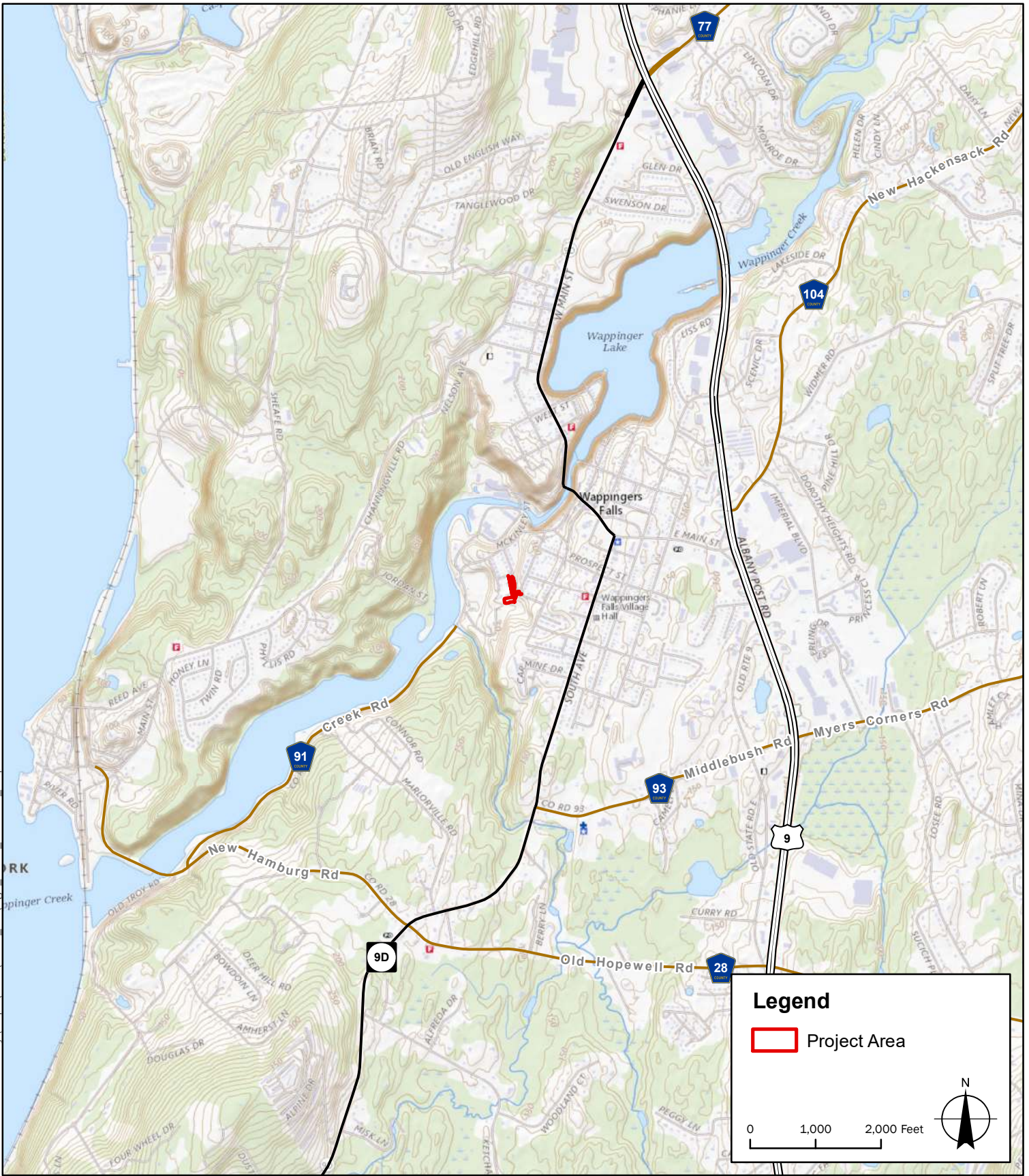
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# FIGURES

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Sources:  
 1. Project Area: LaBella 2022; Regrid 2021  
 2. Streets: NYS GIS Program Office 2022  
 3. Basemap: USGS Topo Map

**LaBella**  
 Powered by partnership.

Dutchess Avenue,  
 Village of Wappinger Falls,  
 Dutchess Co., New York

**Dutchess Avenue  
 Multifamily**

LaBella Project No: 2230010  
 Date: 12/6/2022

**USGS Location  
 Map**


**FIGURE 1**

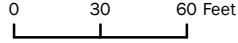




**Legend**

- Project Area
- Tax Parcel Boundary





- Sources:
1. Project Area: LaBella 2022
  2. Tax Parcels: Regrid 2021
  3. Streets: NYS GIS Program Office 2022
  4. Basemap: Bing Maps



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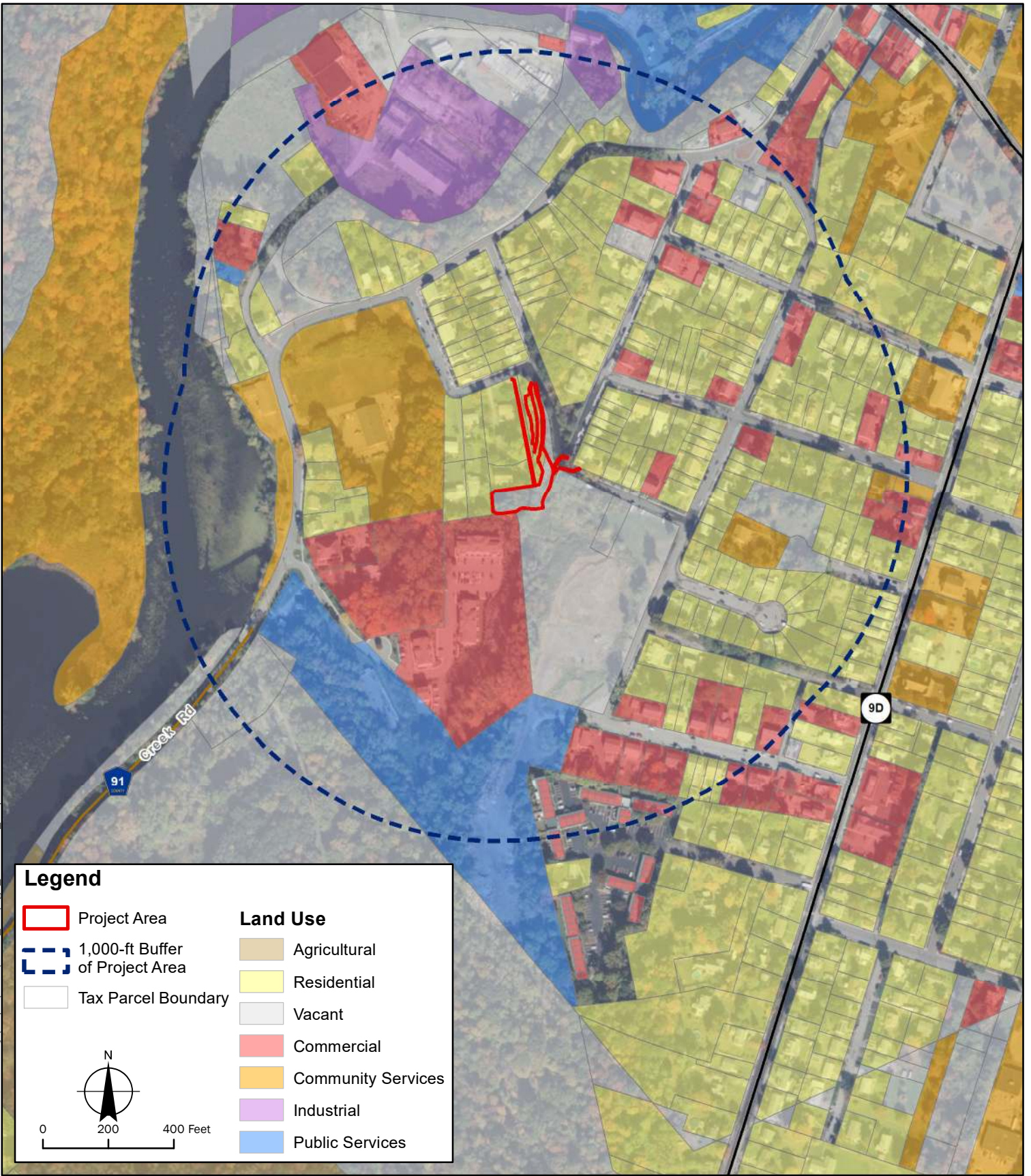
Dutchess Avenue,  
Village of Wappinger Falls,  
Dutchess Co., New York

Dutchess Avenue  
Multifamily

LaBella Project No: 2230010  
Date: 12/6/2022

**Orthophoto  
Tax Map  
FIGURE 2**





**Legend**

	Project Area	<b>Land Use</b>		Agricultural
	1,000-ft Buffer of Project Area		Residential	
	Tax Parcel Boundary		Vacant	
			Commercial	
			Community Services	
			Industrial	
			Public Services	

0 200 400 Feet

- Sources:
1. Project Area: LaBella, 2022
  2. Tax Parcels: Regrid, 2021
  3. Land Use: Regrid, 2021
  4. Streets: NYS GIS Program Office, 2022
  5. Basemap: Bing Maps



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Dutchess Co., New York

Dutchess Avenue  
Multifamily

LaBella Project No: 2230010  
Date: 12/6/2022

Land Use  
Map

**FIGURE 3**





**Legend**

Project Area

**Soil Map Unit**

HsD- Hoosic gravelly loam, hilly

HuB- Hoosic-Urban land complex, undulating

Ps- Pits, gravel

0 40 80 Feet

- Sources:
1. Project Area: LaBella 2022
  2. Soil Map Unit: USDA/NRCS 2021
  3. Streets: NYS GIS Program Office 2022
  4. Basemap: Bing Maps

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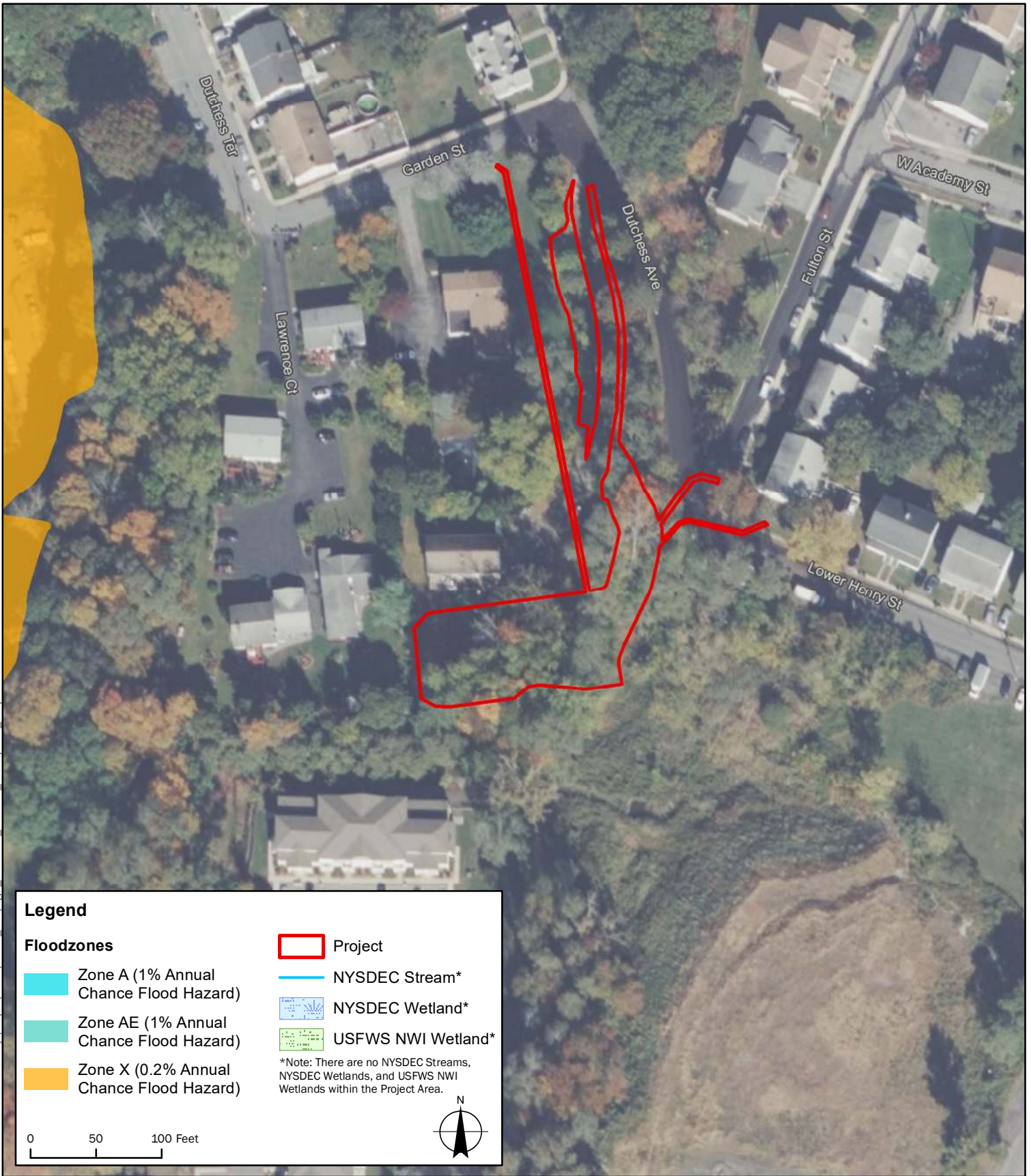
Dutchess Avenue  
Multifamily

LaBella Project No: 2230010  
Date: 12/6/2022

**Soils  
Map**

**FIGURE 4**





**Legend**

**Floodzones**

- Zone A (1% Annual Chance Flood Hazard)
- Zone AE (1% Annual Chance Flood Hazard)
- Zone X (0.2% Annual Chance Flood Hazard)

Project

NYSDEC Stream\*

NYSDEC Wetland\*

USFWS NWI Wetland\*

\*Note: There are no NYSDEC Streams, NYSDEC Wetlands, and USFWS NWI Wetlands within the Project Area.

0      50      100 Feet

- Sources:
1. Project Area: LaBella 2022; Regrid 2021
  2. NYSDEC Streams: NYSDEC 2021
  3. NYSDEC Wetlands: NYSDEC 2006
  4. NWI Wetlands: USFWS 2022
  5. Flood Zones: FEMA 2021
  6. Streets: NYS GIS Program Office 2022
  7. Basemap: Bing Maps

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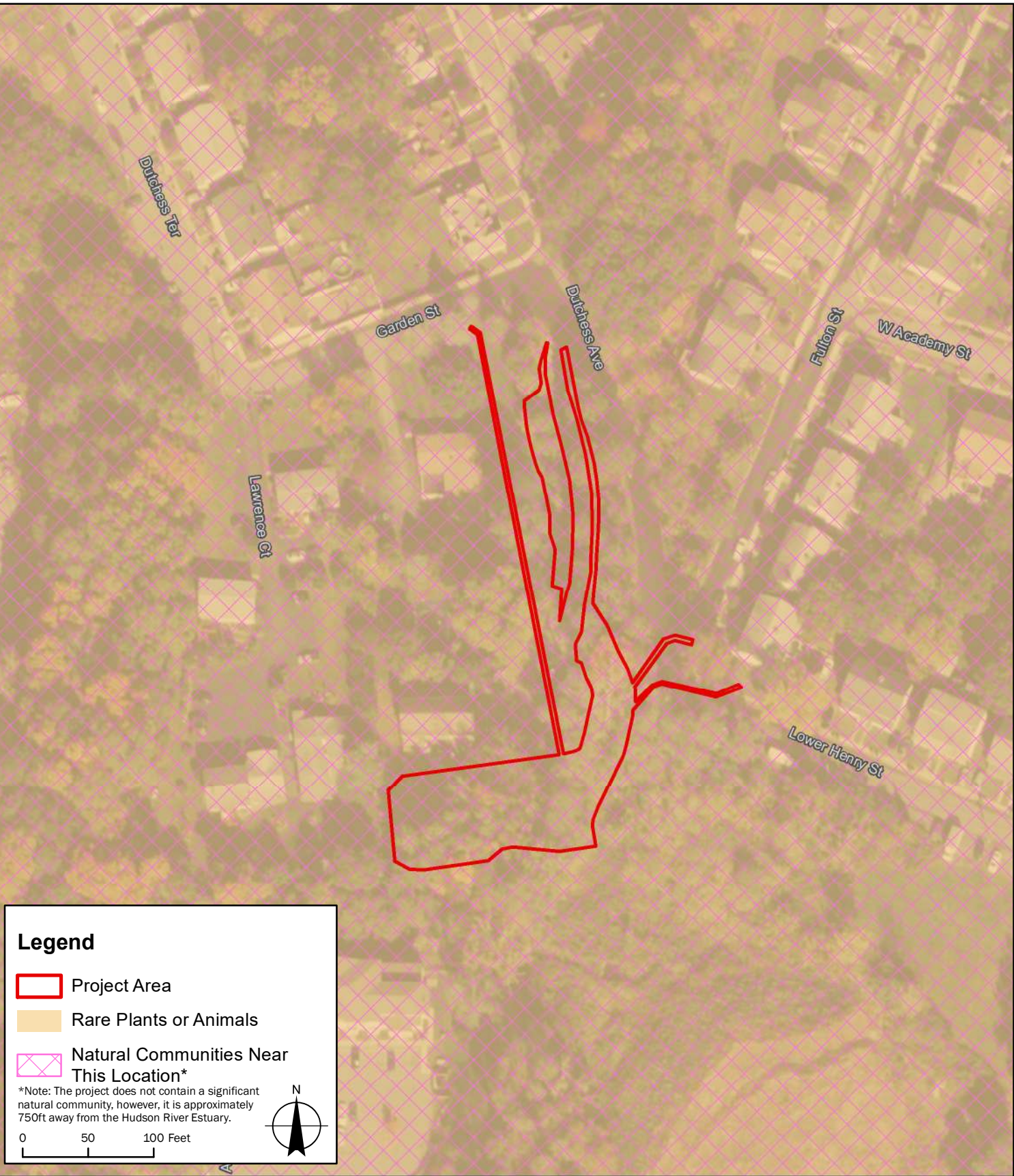
Dutchess Avenue  
Multifamily

LaBella Project No: 2230010  
Date: 12/6/2022




**Wetland, Stream,  
and Floodplain  
Map**

**FIGURE 5**



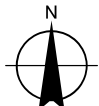


### Legend

-  Project Area
-  Rare Plants or Animals
-  Natural Communities Near This Location\*

\*Note: The project does not contain a significant natural community, however, it is approximately 750ft away from the Hudson River Estuary.

0 50 100 Feet



- Sources:
1. Project Area: LaBella 2022
  2. Rare Plants or Animals and Significant Natural Communities: NYSDEC Environmental Resource Mapper (ERM) 2022
  3. NYSDEC Wetlands: NYSDEC 2006
  4. Streets: NYS GIS Program Office 2022
  5. Basemap: Bing Maps



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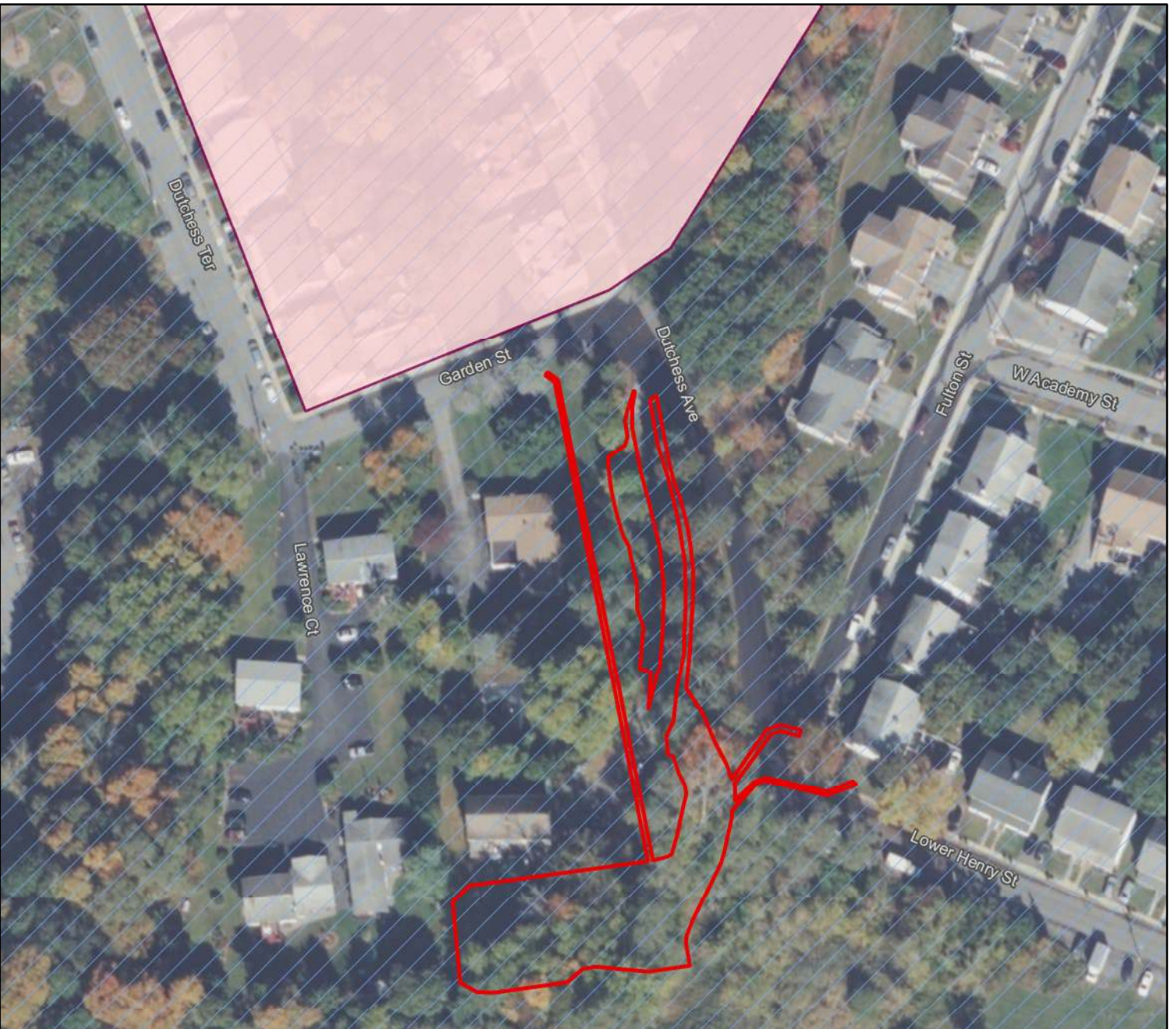
Dutchess Avenue  
Multifamily

LaBella Project No: 2230010  
Date: 12/6/2022











**NYSDEC**  
**Environmental**  
**Resource Map**

**FIGURE 6**



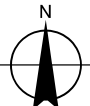


**Legend**

 Project Area	<b>USN Buildings*</b>
 Archaeological Sensitive Area	 Eligible
 National Register Site*	 Listed
<b>USN Building Districts*</b>	 Not Eligible
 Eligible	 Not Eligible - Demolished
 Other Statuses	 Undetermined

\*Note: There are no USN Building Districts, USN Buildings, or National Register Sites that fall within the project area.

0 50 100 Feet



Sources:  
 1. Project Area: LaBella, 2022  
 2. Archaeologically Sensitive Areas/National Register Sites: NYSOPRHP Cultural Resource Information System (CRIS), 2022  
 3. Streets: NYS GIS Program Office, 2022  
 4. Basemap: Bing Maps



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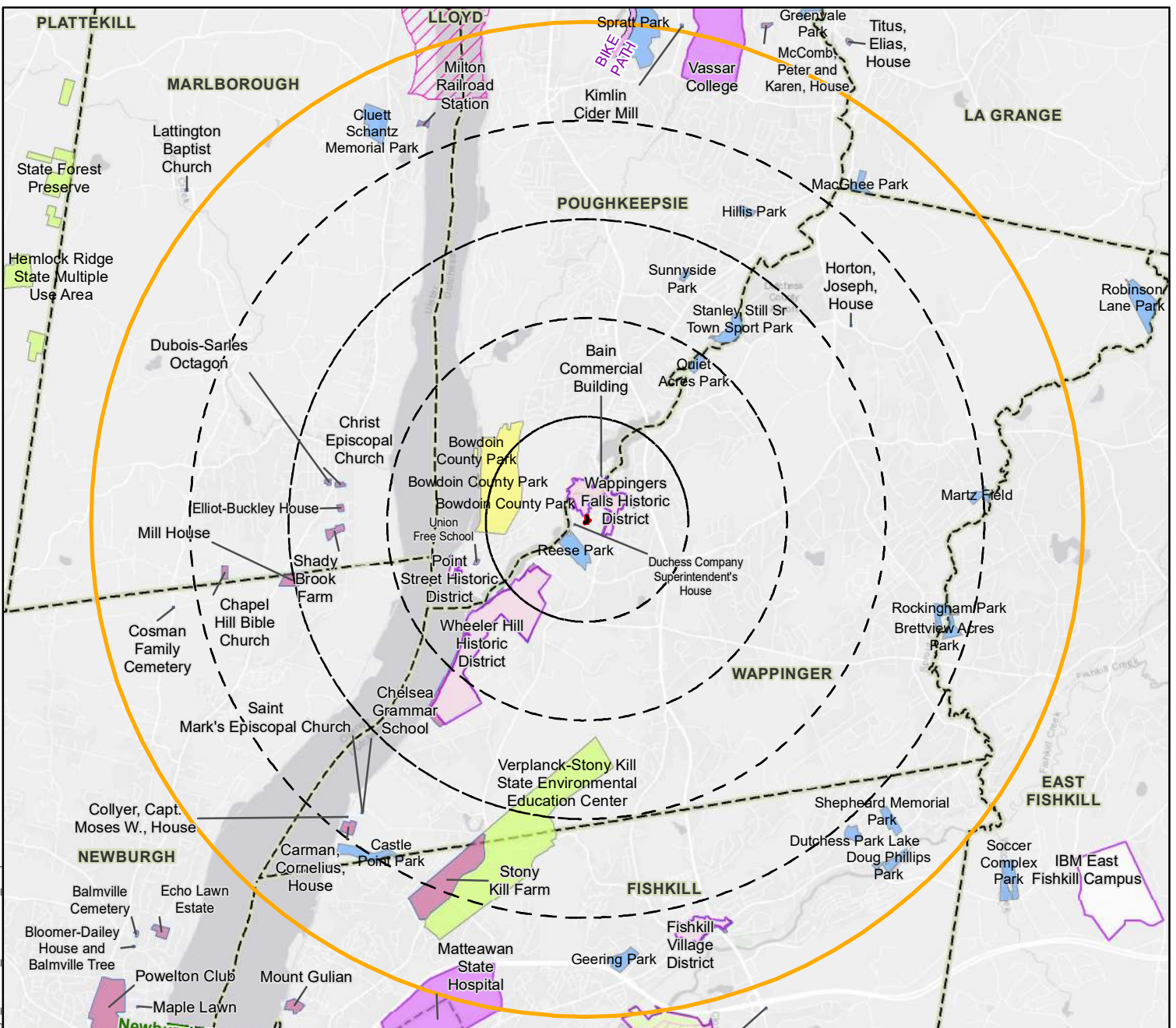
Dutchess Avenue  
 Multifamily

LaBella Project No: 2230010  
 Date: 12/6/2022

**NYSOPRHP  
 Cultural Resource  
 Information System  
 (CRIS) Map**

**FIGURE 7**





Project Area	Scenic Areas of Statewide Significance	State Parks And Historic Sites	<b>USN Buildings*</b>
5-Mile Buffer of Project Area	State Forest Land	State And National Register Listed Site	Eligible
1-Mile Buffers of Project Area	Federal Recreation	<b>USN Building Districts</b>	Listed
NYS Scenic Byway	State Recreation	Eligible	Not Eligible - Demolished
Scenic Trail	County Recreation	Other Statuses	Not Eligible
	Municipal Recreation		Undetermined

0 1 2 Miles

Sources:  
 1. Project Area: LaBella 2022  
 2. Streets: NYS GIS Program Office 2022  
 3. Scenic Resources: NYS GIS Program Office; NYSDEC; NYSDOT; NYSOPRHP; CRIS 2022  
 4. Basemap: Bing

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 Dutchess Co., New York

Dutchess Avenue  
 Multifamily

LaBella Project No: 2230010  
 Date: 12/6/2022

**Publicly Accessible  
 Federal, State, or Local  
 Scenic or Aesthetic  
 Resources Map**

**FIGURE 8**

Note: National and State building districts shown. However, isolated listed and eligible buildings are too many to show at this scale.

Attachment A  
United States Fish and Wildlife Service  
(USFWS) Informal Species List

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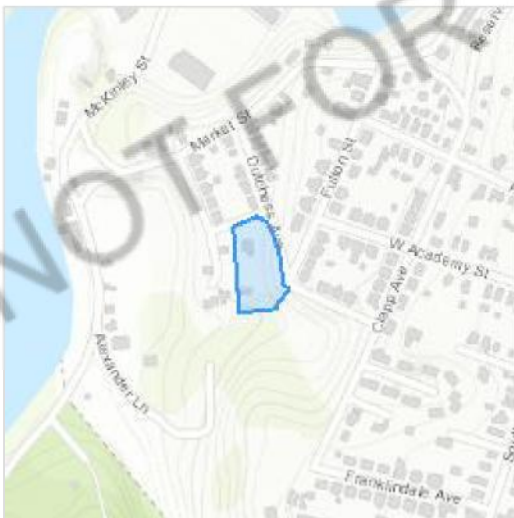
# IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

## Location

Dutchess County, New York



## Local office

New York Ecological Services Field Office

☎ (607) 753-9334

📠 (607) 753-9699

✉ [fw5es\\_nyfo@fws.gov](mailto:fw5es_nyfo@fws.gov)

3817 Luker Road  
Cortland, NY 13045-9385

NOT FOR CONSULTATION

# Endangered species

**This resource list is for informational purposes only and does not constitute an analysis of project level impacts.**

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

Listed species<sup>1</sup> and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries<sup>2</sup>).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

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1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information. IPaC only shows species that are regulated by USFWS (see FAQ).

2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

## Mammals

NAME	STATUS
<b>Indiana Bat</b> <i>Myotis sodalis</i> Wherever found There is <b>final</b> critical habitat for this species. Your location does not overlap the critical habitat. <a href="https://ecos.fws.gov/ecp/species/5949">https://ecos.fws.gov/ecp/species/5949</a>	Endangered
<b>Northern Long-eared Bat</b> <i>Myotis septentrionalis</i> Wherever found No critical habitat has been designated for this species. <a href="https://ecos.fws.gov/ecp/species/9045">https://ecos.fws.gov/ecp/species/9045</a>	Endangered

## Insects

NAME	STATUS
<b>Monarch Butterfly</b> <i>Danaus plexippus</i> Wherever found No critical habitat has been designated for this species. <a href="https://ecos.fws.gov/ecp/species/9743">https://ecos.fws.gov/ecp/species/9743</a>	Candidate

## Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

There are no critical habitats at this location.

## Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act<sup>1</sup> and the Bald and Golden Eagle Protection Act<sup>2</sup>.

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Birds of Conservation Concern <https://www.fws.gov/program/migratory-birds/species>
- Measures for avoiding and minimizing impacts to birds <https://www.fws.gov/library/collections/avoiding-and-minimizing-incident-take-migratory-birds>
- Nationwide conservation measures for birds <https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf>

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern](#) (BCC) list or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME	BREEDING SEASON
<b>Bald Eagle</b> <i>Haliaeetus leucocephalus</i> This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.	Breeds Dec 1 to Aug 31



<p><b>Belted Kingfisher</b> <i>Megasceryle alcyon</i>  This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	<p>Breeds Mar 15 to Jul 25</p>
<p><b>Black-billed Cuckoo</b> <i>Coccyzus erythrophthalmus</i>  This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.  <a href="https://ecos.fws.gov/ecp/species/9399">https://ecos.fws.gov/ecp/species/9399</a></p>	<p>Breeds May 15 to Oct 10</p>
<p><b>Blue-winged Warbler</b> <i>Vermivora pinus</i>  This is a Bird of Conservation Concern (BCC) only in particular Bird Conservation Regions (BCRs) in the continental USA</p>	<p>Breeds May 1 to Jun 30</p>
<p><b>Canada Warbler</b> <i>Cardellina canadensis</i>  This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	<p>Breeds May 20 to Aug 10</p>
<p><b>Cerulean Warbler</b> <i>Dendroica cerulea</i>  This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.  <a href="https://ecos.fws.gov/ecp/species/2974">https://ecos.fws.gov/ecp/species/2974</a></p>	<p>Breeds Apr 20 to Jul 20</p>
<p><b>Chimney Swift</b> <i>Chaetura pelagica</i>  This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	<p>Breeds Mar 15 to Aug 25</p>
<p><b>Evening Grosbeak</b> <i>Coccothraustes vespertinus</i>  This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	<p>Breeds May 15 to Aug 10</p>
<p><b>Prairie Warbler</b> <i>Dendroica discolor</i>  This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	<p>Breeds May 1 to Jul 31</p>
<p><b>Red-headed Woodpecker</b> <i>Melanerpes erythrocephalus</i>  This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	<p>Breeds May 10 to Sep 10</p>
<p><b>Wood Thrush</b> <i>Hyllocichla mustelina</i>  This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.</p>	<p>Breeds May 10 to Aug 31</p>

# Probability of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

## Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is  $0.25/0.25 = 1$ ; at week 20 it is  $0.05/0.25 = 0.2$ .
3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

To see a bar's probability of presence score, simply hover your mouse cursor over the bar.

## Breeding Season (■)

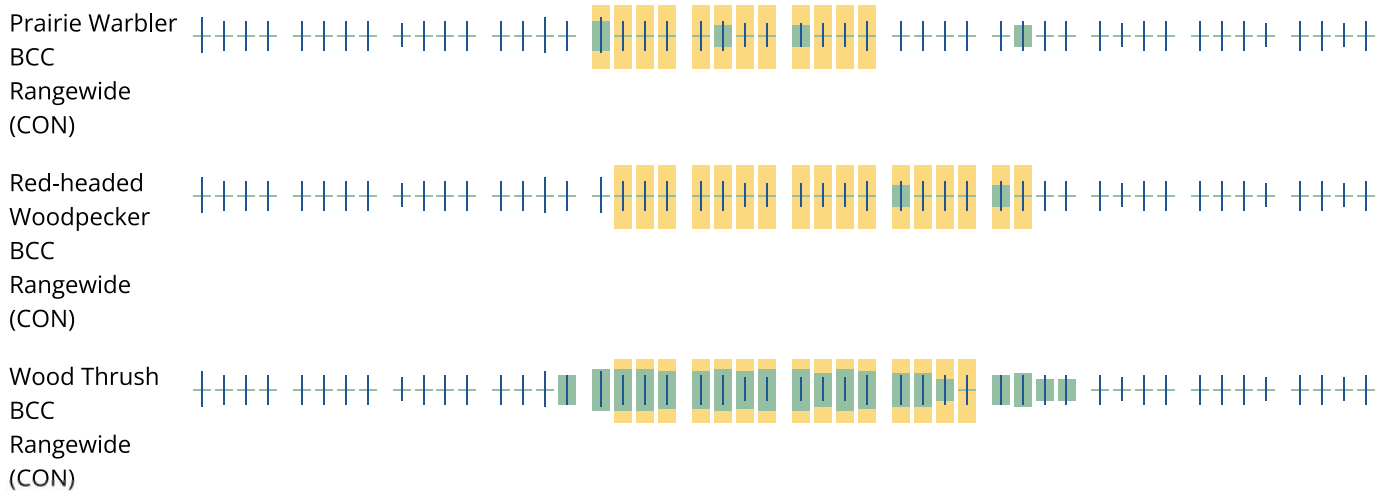
Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

## Survey Effort (|)

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.







### Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

### What does IPaC use to generate the list of migratory birds that potentially occur in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [Rapid Avian Information Locator \(RAIL\) Tool](#).

### What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go to the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

### **How do I know if a bird is breeding, wintering or migrating in my area?**

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may query your location using the [RAIL Tool](#) and look at the range maps provided for birds in your area at the bottom of the profiles provided for each bird in your results. If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

### **What are the levels of concern for migratory birds?**

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

### **Details about birds that are potentially affected by offshore projects**

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

### **What if I have eagles on my list?**

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.



## Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

## Coastal Barrier Resources System

Projects within the [John H. Chafee Coastal Barrier Resources System](#) (CBRS) may be subject to the restrictions on Federal expenditures and financial assistance and the consultation requirements of the Coastal Barrier Resources Act (CBRA) (16 U.S.C. 3501 et seq.). For more information, please contact the local [Ecological Services Field Office](#) or visit the [CBRA Consultations website](#). The CBRA website provides tools such as a flow chart to help determine whether consultation is required and a template to facilitate the consultation process.

There are no known coastal barriers at this location.

### Data limitations

The CBRS boundaries used in IPaC are representations of the controlling boundaries, which are depicted on the [official CBRS maps](#). The boundaries depicted in this layer are not to be considered authoritative for in/out determinations close to a CBRS boundary (i.e., within the "CBRS Buffer Zone" that appears as a hatched area on either side of the boundary). For projects that are very close to a CBRS boundary but do not clearly intersect a unit, you may contact the Service for an official determination by following the instructions here: <https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>

### Data exclusions

CBRS units extend seaward out to either the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward extent of the units is not shown in the CBRS data, therefore projects in the offshore areas of units (e.g., dredging, breakwaters, offshore wind energy or oil and gas projects) may be subject to CBRA even if they do not intersect the CBRS data. For additional information, please contact [CBRA@fws.gov](mailto:CBRA@fws.gov).

## Facilities

### National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

There are no refuge lands at this location.

### Fish hatcheries

There are no fish hatcheries at this location.

### Wetlands in the National Wetlands Inventory (NWI)

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

This location did not intersect any wetlands mapped by NWI.

**NOTE:** This initial screening does **not** replace an on-site delineation to determine whether wetlands occur. Additional information on the NWI data is provided below.

## **Data limitations**

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of high altitude imagery. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

## **Data exclusions**

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

## **Data precautions**

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate Federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.

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UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. PLAN PREPARED PURSUANT TO SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. SUBJECT TO THE FINDINGS OF AN UP TO DATE TITLE SEARCH, UNLESS THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL APPEARS RAISED ON THIS MAP, IT SHOULD NOT BE CONSIDERED A TRUE AND CORRECT COPY OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

**LEGEND**

- CONCRETE/STONE BOUND
  - IRON PIPE
  - IRON ROD
  - CATCH BASIN
  - SEWER MANHOLE
  - GAS VALVE
  - WATER VALVE
  - FIRE HYDRANT
  - SIGN (SINGLE POSTED)
  - UTILITY POLE WITH RISER
  - UTILITY POLE
  - UTILITY POLE WITH LIGHT
  - POST/ANGLE IRON
  - DECIDUOUS TREE
  - CONIFER TREE
- 
- PROPERTY LINE
  - EASEMENT
  - SEWER LINE
  - DRAIN LINE
  - OVERHEAD WIRES
  - TREE LINE
  - MINOR CONTOURS
  - MAJOR CONTOURS
- 
- POB POINT OF BEGINNING
  - PL PROPERTY LINE
  - EOA EDGE OF ASPHALT
  - CNC CONCRETE
  - EOG EDGE OF GRAVEL
  - CC CONCRETE CURB
  - CPP CORRUGATED PLASTIC PIPE
  - PVC POLYVINYL CHLORIDE

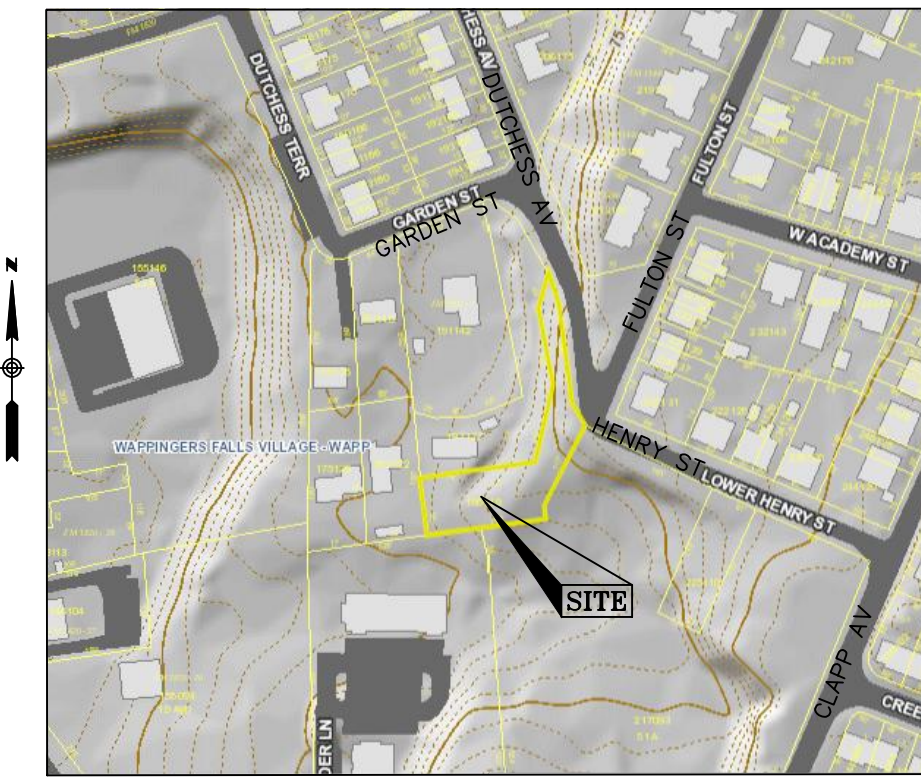
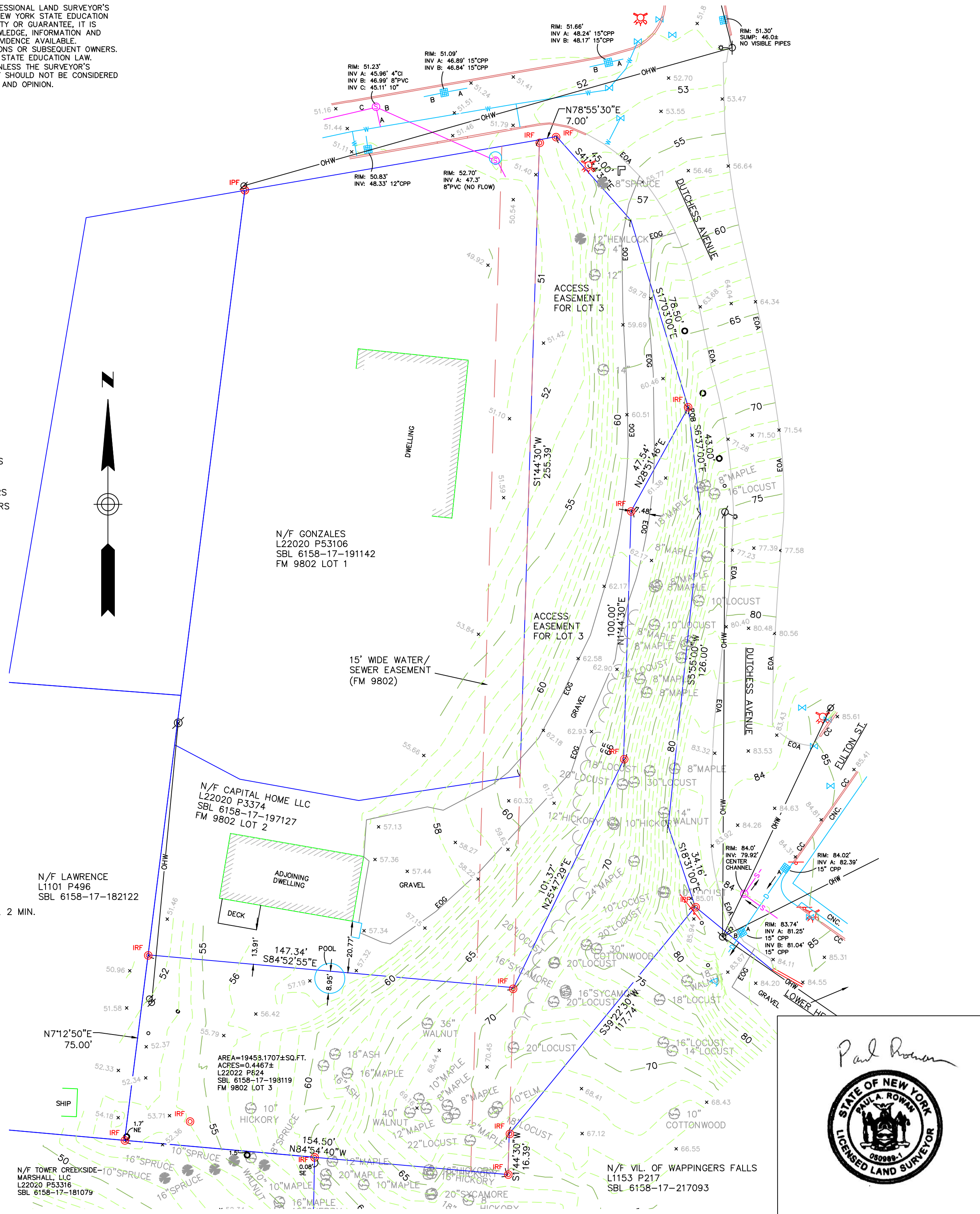
VILLAGE OF WAPPINGERS FALLS  
ZONING DISTRICT V.R. (VILLAGE RESIDENTIAL)

LOT OCCUPATION—  
LOT WIDTH: 25' MIN.  
LOT COVERAGE: 60% MAX.  
GREENSPACE: 15% MIN.

SETBACKS—PRINCIPAL BUILDING —  
PRIMARY FRONTAGE: 10' MIN.  
SECONDARY FRONTAGE: 10' MIN.  
SIDE SETBACK: 0' MIN.  
REAR SETBACK: 10' MIN.

SETBACKS—ACCESSORY BUILDING—  
FRONT SETBACK PRINCIPAL: 30'  
FRONT SETBACK SECONDARY: 3' MIN.  
SIDE SETBACK: 3' MIN.

BUILDING CONFIGURATION —  
PRINCIPAL BUILDING HEIGHT: 46' MAX., 3 STORIES MAX., 2 MIN.  
ACCESSORY HEIGHT: 1 STORIES MAX.  
SHED HEIGHT: 1 STORIES MAX.



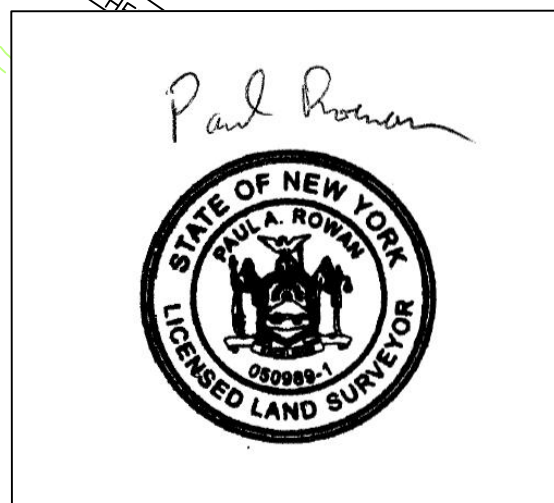
LOCUS MAP  
(N.T.S.)

**SURVEY NOTES**

1. THIS PLAN WAS PREPARED FROM AN ON THE GROUND FIELD SURVEY CONDUCTED BY RLS ON OCTOBER 22, 2022 AND ON THE FOLLOWING DATUM—  
MERIDIAN: FM 9802  
HORIZONTAL: ASSUMED  
VERTICAL: SCALED AS PER DUTCHESS GIS
2. REFERENCES  
STREET NAMES, R.O.W. WIDTHS, PROPERTY IDENTIFICATION NUMBERS, OWNER NAMES, EASEMENTS, AND ANY ADDITIONAL INFORMATION SHOWN HEREON ARE REFERENCED FROM THE FOLLOWING MAPS AND DOCUMENTS—  
A. MAP 9802 ENTITLED, "SUBD. PLAT PREPARED FOR FRANK T. & MARIA T. SCIANNA", PREPARED BY JAMES K. DEVINE AND FILED IN THE DUTCHESS CO. CLERKS OFFICE ON NOVEMBER 8, 1993.
3. THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT.
4. THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION.
5. WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT. [OR] WERE LOCATED AS MARKED AT THE TIME OF THE SURVEY.
6. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
7. CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. THIS PLAN NOT VALID UNLESS ORIGINAL STAMP AND SIGNATURE OF A LICENSED SURVEYOR ARE LOCATED HEREON.
8. OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES ARE SURVEY REFERENCES ONLY, AND NOT INTENDED TO MONUMENT THE PROPERTY LINES, NOR ARE THEY TO BE USED IN OR GUIDE CONSTRUCTION OF ANY TYPE.

TOPOGRAPHY SURVEY  
DUTCHESS AVENUE TAX ID 6158-17-198119  
VIL. OF WAPPINGERS FALLS, NEW YORK  
PREPARED FOR  
CLIENT

ROWAN LAND SURVEYING, PLLC  
330 OLD ALBANY POST ROAD  
GARRISON, NY 10524  
914 815 3986  
rowanlandsurveying@outlook.com



Drawn By	PR	Date	OCTOBER 24, 2022	Job No.	022-075
Surveyed By	PR	Scale	1" = 30'	Sheet No.	1 OF 1

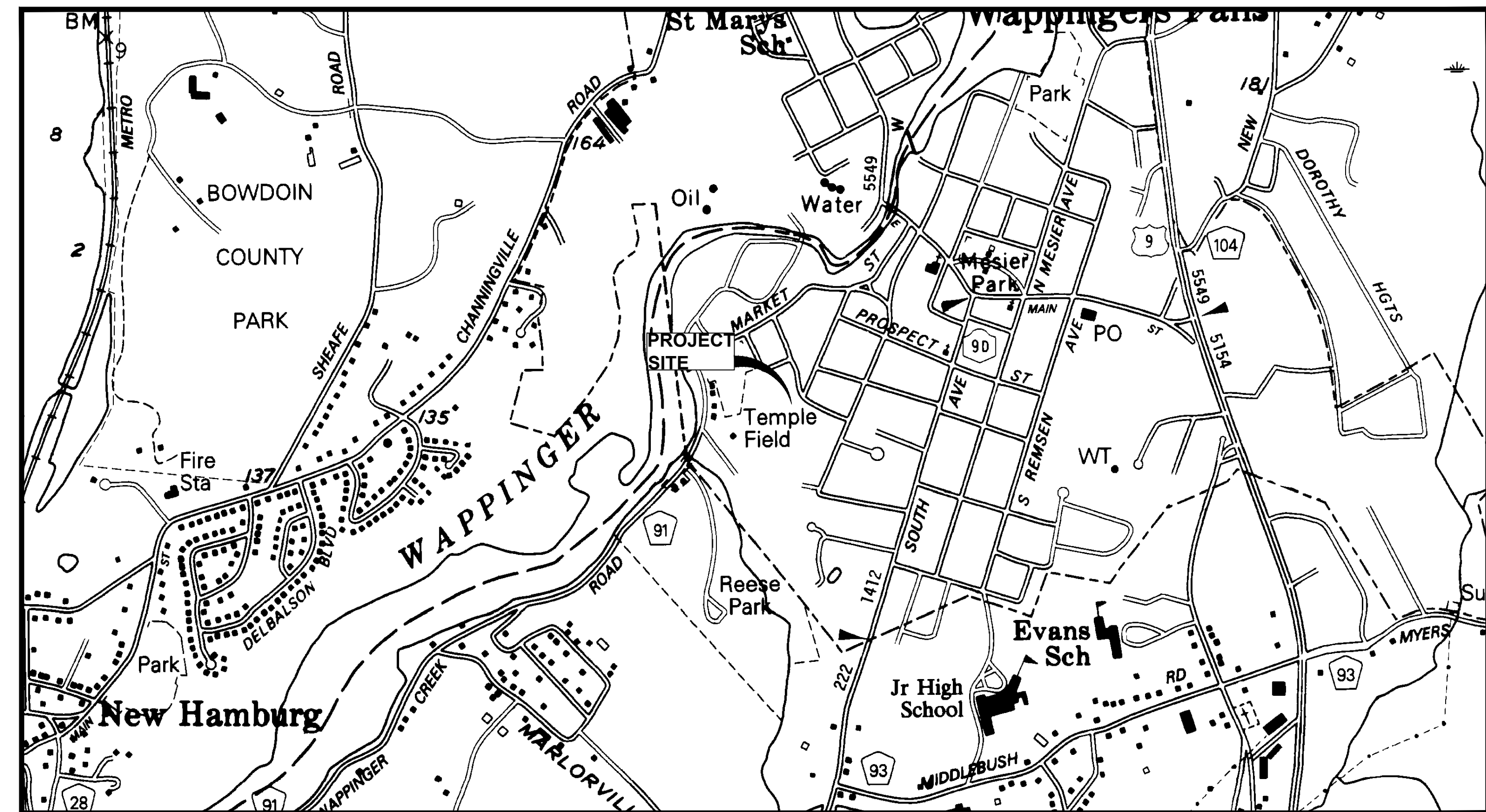


# 2230010 TERRA GROUP 201, LLC

DUTCHESS AVE  
VILLAGE OF WAPPINGERS FALLS, NY 12590

ISSUED FOR REVIEW  
DECEMBER 7TH, 2022

INDEX OF DRAWINGS				
PAGE NO.	REV	SHEET NO.	DATE	DESCRIPTION
1	0	G001	12/7/22	COVER SHEET
2	0	G002	12/7/22	NOTES & LEGENDS
3	0	C120	12/7/22	DEMOLITION PLAN
4	0	C130	12/7/22	SITE PLAN
5	0	C140	12/7/22	GRADING & DRAINAGE PLAN
6	0	C150	12/7/22	EROSION & SEDIMENT CONTROL PLAN
7	0	C160	12/7/22	UTILITY PLAN
8	0	C170	12/7/22	PLAN & PROFILE
9	0	C180	12/7/22	LANDSCAPE PLAN
10	0	C530	12/7/22	SITE DETAILS
11	0	C531	12/7/22	SITE DETAILS
12	0	C540	12/7/22	STORM SEWER DETAILS
13	0	C550	12/7/22	EROSION & SEDIMENT CONTROL DETAILS
14	0	C551	12/7/22	EROSION & SEDIMENT CONTROL NOTES
15	0	C560	12/7/22	WATER SYSTEM DETAILS
16	0	C561	12/7/22	WATER SYSTEM DETAILS
17	0	C570	12/7/22	SANITARY SEWER SYSTEM DETAILS
18	0	C580	12/7/22	LANDSCAPE DETAILS



LOCATION MAP  
N.T.S.

**OWNER / APPLICANT SIGNATURE**

THE UNDERSIGNED APPLICANT FOR THE PROPERTY AND THE UNDERSIGNED OWNER OF THE PROPERTY SHOWN HEREON, STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS NOTES AND ITS CONTENTS, AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

THE APPLICANT AND OWNER UNDERSTAND THEIR OBLIGATION TO THE TOWN TO KEEP THIS SITE AS PER SITE PLAN APPROVAL BY THE TOWN PLANNING BOARD UNTIL A NEW OR REVISED SITE PLAN IS APPROVED FOR THE SITE. THE APPLICANT AND OWNER UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CO IS ISSUED BY THE TOWN BUILDING DEPARTMENT.

APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

**PLANNING BOARD APPROVAL  
VILLAGE OF WAPPINGERS FALLS, NEW YORK**

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS

PLAN OF \_\_\_\_\_ AT  
APPROVED AT THE PLANNING BOARD MEETING

HELD ON \_\_\_\_\_ SIGNED BY \_\_\_\_\_  
CONDITIONS: \_\_\_\_\_

**DUTCHESS COUNTY DEPARTMENT OF  
ENVIRONMENTAL HEALTH APPROVAL**

FOR SHEETS G001, SV1, C120, C140, AND C560

**TERRA GROUP 201, LLC.**

395 ROUTE 212  
SAUGERTIES, NY 12477  
PROJECT NO: 2230010  
DECEMBER 7TH, 2022

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TERRA GROUP 201, LLC.  
PROJECT NO: 2230010

TERRA GROUP 201 LLC  
DUTCHESS AVE  
VILLAGE OF WAPPINGERS FALLS, NY 12590

**DEMOLITION NOTES:**

- REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENTS CONTROL PLANS & NOTES PRIOR TO COMMENCEMENT OF WORK.
- BUILDING/STRUCTURE TO BE DEMOLISHED ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE NOT TO BE DEMOLISHED AS PART OF THIS WORK. PRIOR TO DEMOLISHING ANY BUILDINGS/STRUCTURES, THE CONTRACTOR SHALL PERFORM A PRE-DEMOLITION SURVEY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS GOVERNING THE DISPOSAL OF SOLID WASTE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE AUTHORITY HAVING JURISDICTION.
- CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND HAULING, DISPOSAL AND STORAGE OF DEBRIS.
- PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
- NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
- LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
- PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.
- MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT EXISTING ROADWAYS, OR SIDEWALKS WITHOUT PERMITS. COORDINATE W/ AUTHORITY HAVING JURISDICTION.
- CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
- ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
- FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE DEMOLITION OPERATIONS.
- CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
- USE WATER MISTING ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING Icing, FLOODING, AND TRANSPORTING POLLUTANTS.
- REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
- PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN DEMOLISHED MATERIALS ON-SITE.

**SITE PLAN NOTES:**

**GENERAL CONSTRUCTION NOTES:**

- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
- ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
- ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY.
- ALL ARCHITECTURE IS SUBJECT TO PLANNING BOARD REVIEW.
- NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
- NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
- ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE. SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.
- IF PREVIOUSLY UNKNOWN CULTURAL, ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. CONSTRUCTION IN THAT AREA SHALL RESUME ONLY AFTER COMPLETION OF FEDERAL, TRIBAL, AND STATE COORDINATION TO DETERMINE WHETHER PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.

**LAYOUT NOTES:**

- BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.

**PAVING NOTES:**

- NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
- SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITIONS". CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
- PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STROKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SCREED. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
- PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAYS WORK.
- TACK COAT WHEN SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
  - TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITION", SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 - TACK COAT SHALL BE IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
  - REMOVE LOOSE AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
  - APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES & AND SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTING INTO OR ABUTTING PAVEMENT. DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
  - TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
- AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

**GRADING NOTES:**

- PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
- IF ROCK IS ENCOUNTERED DURING CONSTRUCTION & REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- ALL BLASTING OPERATIONS WILL ADHERE TO NEW YORK STATE AND LOCAL AUTHORITY ORDINANCES GOVERNING THE USE OF EXPLOSIVES. THE STATE REGULATIONS ARE CONTAINED IN 12 NYCRR 39 AND INDUSTRIAL CODE RULE 73.3.
- STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LAWN AND PLANTING AREAS ONLY. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN.
- BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.
- REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.
- IF PREVIOUSLY UNKNOWN CULTURAL, ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. CONSTRUCTION IN THAT AREA SHALL RESUME ONLY AFTER COMPLETION OF FEDERAL, TRIBAL, AND STATE COORDINATION TO DETERMINE WHETHER PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.
- IF THE INTENT OF THIS PLAN FOR ALL SITE GRADING TO DRAIN & NO PONDING OCCURS. MINIMUM SLOPE OF AT LEAST ONE PERCENT ALONG THE FLOW LINE AND 2% CROSS SLOPE ON ALL PAVED OR CONCRETE SURFACES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR ANY DEVIATIONS OR AREA ON THE PLAN WHERE THE SITE DOES NOT MEET THESE REQUIREMENT.

**UTILITY PLAN NOTES:**

**GENERAL CONSTRUCTION NOTES:**

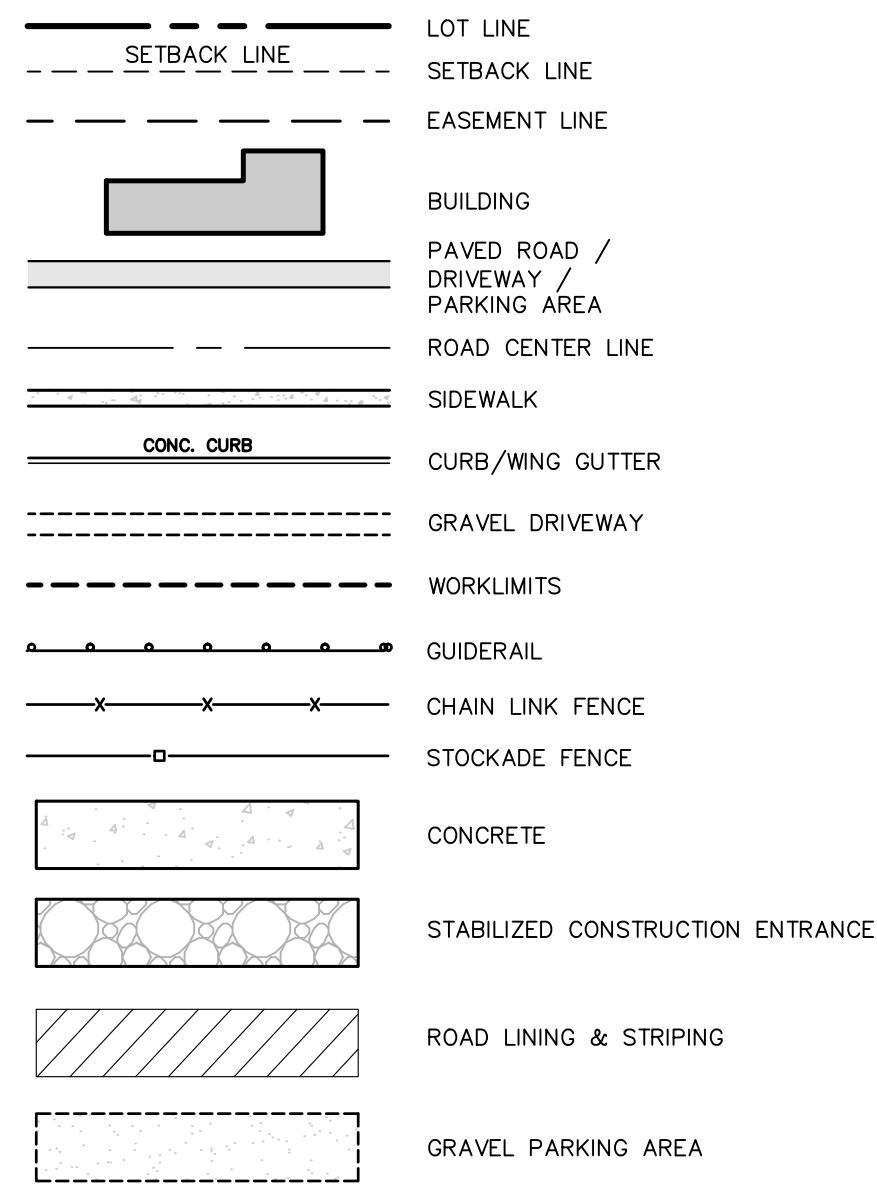
- ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY THEIR ACTUAL LOCATION IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ANY CONDITION ENCOUNTERED IN THE FIELD DIFFERING FROM THOSE SHOWN HEREON, SHALL BE REPORTED TO THE DESIGN ENGINEER BEFORE CONSTRUCTION IS TO PROCEED.
- SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, SEWERS SHALL BE LAID AT LEAST 10 (TEN) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE 18 (EIGHTEEN) INCHES BETWEEN TOP OF SEWER AND BOTTOM OF THE WATER MAIN AT UTILITY CROSSINGS. WHEN NOT POSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, SEWER PIPE SHALL BE PRESSURE RATED AND TESTED @ 150psi, 10 (TEN) FEET ON EACH SIDE OF THE WATER MAIN BEING CROSSED.
- ALL PROPOSED UTILITIES SHALL TERMINATE 5 FEET FROM ANY PROPOSED BUILDING FACE. CONTRACTOR TO COORDINATE WITH BUILDING PLANS FOR ANY CONNECTIONS.
- ALL STORM SEWER SHALL BE SMOOTH INTERIOR HDPE UNLESS OTHERWISE SPECIFIED.
- ALL GRAVITY SANITARY SEWER SHALL BE SDR 35 PVC UNLESS OTHERWISE SPECIFIED.
- ALL WATER PIPE SHALL BE CLASS DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO VERIFY STATUS OF ALL UTILITY SERVICES PRIOR TO INTERRUPTION.
- EXPLORATORY EXCAVATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT ALL UTILITY CONNECTION LOCATIONS AND AS NEEDED TO VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK.
- BEFORE CONSTRUCTING LINES TO CONNECT TO EXISTING UTILITIES, VERIFY EXISTING UTILITY INVERTS AND NOTIFY THE ENGINEER IF ANY VARIATION FROM THE PLAN IS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES IN SERVICE FOR THE DURATION OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS AND ASSOCIATED CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING UTILITY TRENCHES AND EXCAVATIONS AND FOR THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF THE WORK.
- IF ROCK REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE VILLAGE OF WAPPINGERS

**ROCK BLASTING NOTES:**

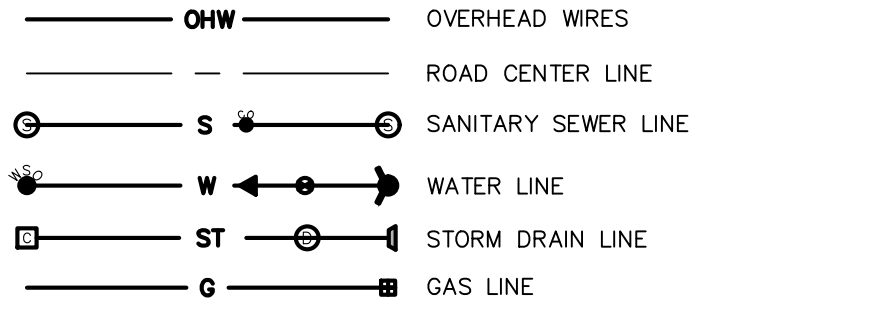
- BLASTING OF BEDROCK IS NOT ANTICIPATED AT THIS SITE IN ORDER TO COMPLETE THE PROPOSED DEVELOPMENT. HOWEVER, THESE NOTES ARE INCLUDED SHOULD UNFORESEEN CONDITIONS REQUIRE THE NEED FOR BLASTING TO EXCAVATE BEDROCK.
- ALL RECOMMENDED SAFETY REQUIREMENTS AND STANDARDS REFERENCED AND ANY LOCAL RESTRICTIONS SHALL BE APPLIED AS REQUIRED FOR SAFETY, SECURITY, AND SPECIFICALLY RELATED DETAILS FOR BLASTING PROCEDURES. AT ALL TIMES, FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE FOLLOWED CONCERNING THE TRANSPORTATION AND STORAGE OF EXPLOSIVES.
  - A MINIMUM OF FOUR (4) WEEKS PRIOR TO COMMENCEMENT OF THE INITIAL BLASTING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AS APPROPRIATE: POLICE AGENCIES, GAS AND ELECTRIC SERVICE COMPANIES, TELEPHONE AND CABLE OPERATING COMPANIES, TOWN WATER AND SEWER DEPARTMENTS, NYSDOT, AND LOCAL FIRE, RESCUE, AND AMBULANCE SERVICES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE RESULTING FROM THE USE OF EXPLOSIVES. EXPLOSIVES SHALL BE STORED IN A SECURE MANNER IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES.
  - THE CONTRACTOR SHALL NOTIFY EACH PROPERTY AND UTILITY OWNER HAVING A BUILDING, STRUCTURE, OR OTHER INSTALLATION ABOVE OR BELOW GROUND IN PROXIMITY TO THE SITE OF THE WORK OF HIS INTENTION TO USE EXPLOSIVES. NOTICE SHALL BE GIVEN SUFFICIENTLY IN ADVANCE TO ENABLE THE OWNERS TO TAKE STEPS TO PROTECT THEIR PROPERTY. NOTICE SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DAMAGE RESULTING FROM HIS BLASTING OPERATIONS.
  - THE CONTRACTOR SHALL SCHEDULE AND CONDUCT PRE-BLAST SURVEYS WITH PROPERTY OWNERS LOCATED IN THE AREA POTENTIALLY AFFECTED BY AIRBLAST OVERPRESSURE AND GROUND VIBRATION OR AS REQUIRED.
  - THE CONTRACTOR SHALL IMPLEMENT ENGINEERING MEASURES IN ORDER TO MINIMIZE THE POTENTIAL IMPACTS OF DUST, NOISE AND GROUND VIBRATION. BLAST VIBRATION CONTROL WILL BE ACHIEVED BY LIMITING THE CHARGE PER DELAY SO THAT THE PEAK PARTICLE VELOCITY REMAINS BELOW THE SPECIFIED LEVELS.
  - A APPROPRIATELY QUALIFIED, LICENSED BLASTING SPECIALIST, WITH EXPERIENCE SHALL BE ONSITE AND SUPERVISE BLASTING OPERATIONS. AT ALL TIMES, THE BLASTING AREA SHALL BE RESTRICTED TO BLASTING OPERATIONS AND AUTHORIZED PERSONNEL ONLY.
  - PROTECTIVE MEASURES INCLUDING INSTALLATION OF SIGNAGE, NOTIFICATION OF NEARBY RESIDENTS, TRAFFIC CONTROL, AS NECESSARY ALONG NEARBY ROADS, AUDIBLE PRE-BLAST WARNINGS, AND USE OF BLAST MATS SHALL BE IMPLEMENTED.
  - DELIVERY AND TRANSPORT OF EXPLOSIVES FROM THE POWDER MAGAZINES TO THE BLAST AREA WILL BE BY VEHICLES SPECIFICALLY DESIGNED FOR THIS USE BY THE CRITERIA OUTLINED IN THE SAFETY REQUIREMENTS. ONLY AUTHORIZED PERSONS WILL TRANSPORT AND HANDLE THE EXPLOSIVES AS DESIGNATED BY THE ISSUING AUTHORITY OF THOSE LICENSES FOR THIS PURPOSE.
  - MONITORING OF PEAK PARTICLE VELOCITY (INCHES/SECOND) AND PEAK AIRBLAST OVERPRESSURE (PSI) SHALL BE PERFORMED DURING ALL BLASTS.

**LEGEND:**

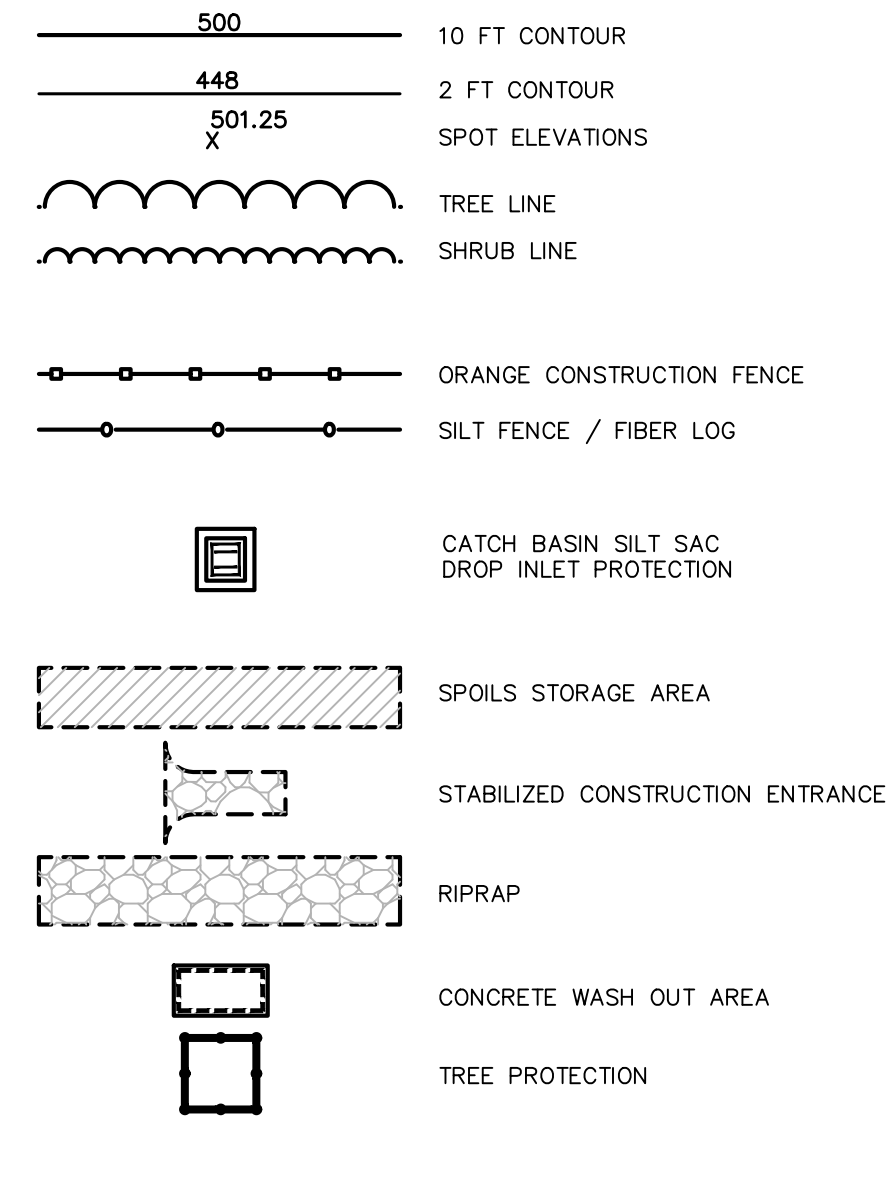
**LAYOUT:**



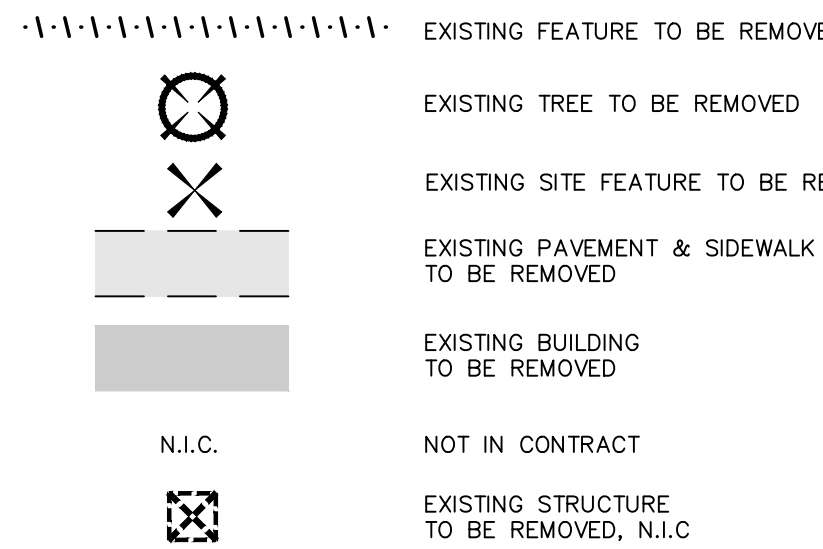
**UTILITIES:**



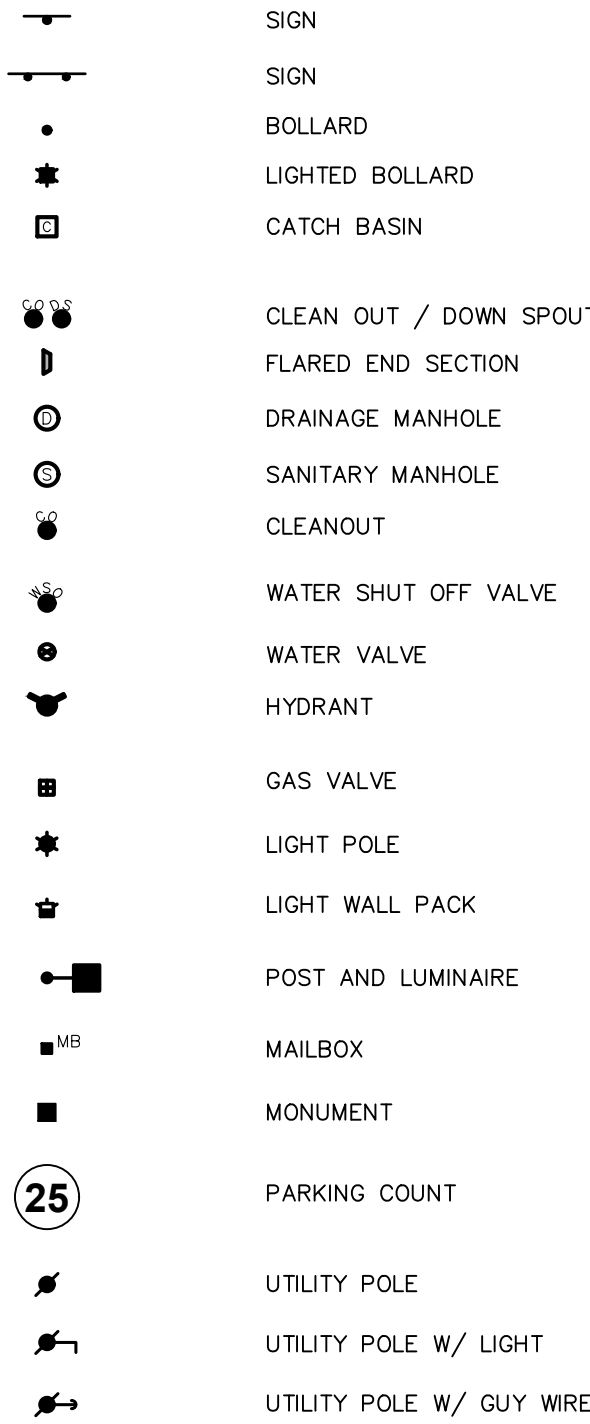
**GRADING & EROSION CONTROL:**



**DEMO:**

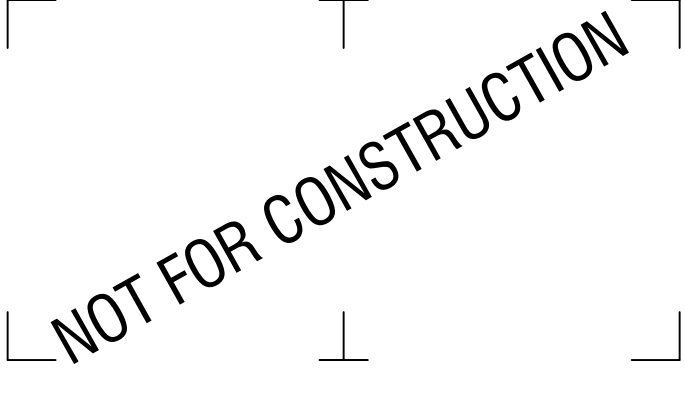


**SYMBOLS:**



21 Fox Street  
Poughkeepsie, NY 12601  
(845) 454-3980

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It is a violation of New York Education Law Article 145 Sec.7209, for any person, unless acting under the direction of a licensed architect, professional engineer, land surveyor, landscape architect or geologist to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, land surveyor, landscape architect or geologist shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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**Terra Group 201, LLC.**

395 Route 212 Saugerties, NY 12477

**Terra Group 201, LLC.**

Dutchess Ave and Garden Street Village of Wappingers, NY

NO.	DATE:	DESCRIPTION:
Revisions		
PROJECT NUMBER:		2230010
DRAWN BY:		TK
REVIEWED BY:		CPL
ISSUED FOR: PLANNING BOARD APPROVAL		
DATE:		12/7/22
DRAWING NUMBER:		

**NOTES & LEGENDS**

DRAWING NUMBER:

**G002**



NOT FOR CONSTRUCTION

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Wappingers, NY

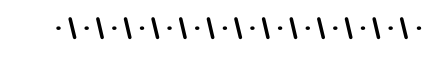








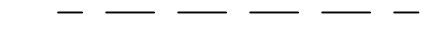
NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:		2230010
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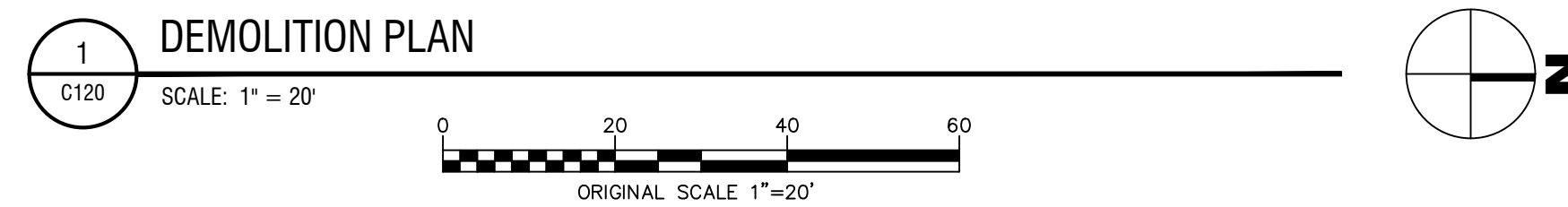
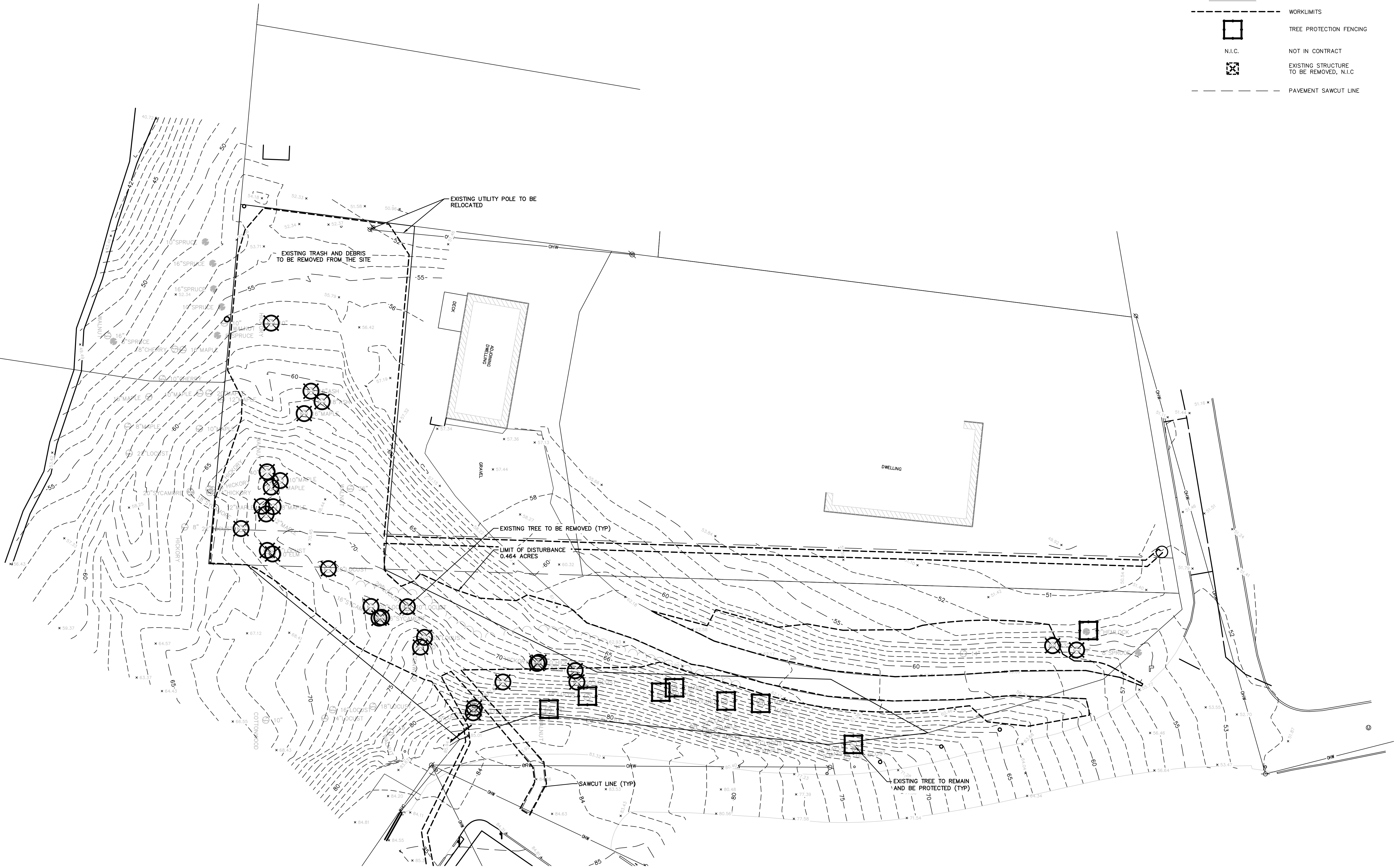
**DEMOLITION PLAN**

DRAWING NUMBER:

**C120**

**LEGEND:**

-  EXISTING FEATURE TO BE REMOVED
-  EXISTING TREE TO BE REMOVED
-  EXISTING SITE FEATURE TO BE REMOVED
-  EXISTING PAVEMENT & SIDEWALK TO BE REMOVED
-  EXISTING BUILDING TO BE REMOVED
-  WORKLIMITS
-  TREE PROTECTION FENCING
-  N.I.C. NOT IN CONTRACT
-  EXISTING STRUCTURE TO BE REMOVED, N.I.C.
-  PAVEMENT SAWCUT LINE



**NOT FOR CONSTRUCTION**

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**Terra Group 201, LLC.**

395 Route 212 Saugerties, NY 12477

**Terra Group 201, LLC.**

Dutchess Ave and Garden Street Village of Wappingers, NY

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2230010

DRAWN BY: TK

REVIEWED BY: CPL

ISSUED FOR: PLANNING BOARD APPROVAL

DATE: 12/7/22

DRAWING NAME:

**SITE PLAN**

DRAWING NUMBER:

**C130**

**SITE LEGEND:**

- PROPERTY LINE
- SETBACK LINE
- BUILDING
- PAVEMENT
- ROAD CENTER LINE
- SIDEWALK
- CURB
- GRAVEL DRIVEWAY
- PRIVACY FENCE
- CONCRETE SURFACE
- ROAD LINING & STRIPING
- GRAVEL SURFACE
- SIGN
- BOLLARD
- PARKING COUNT

**BULK TABLE**

**ZONING REQUIREMENTS:**

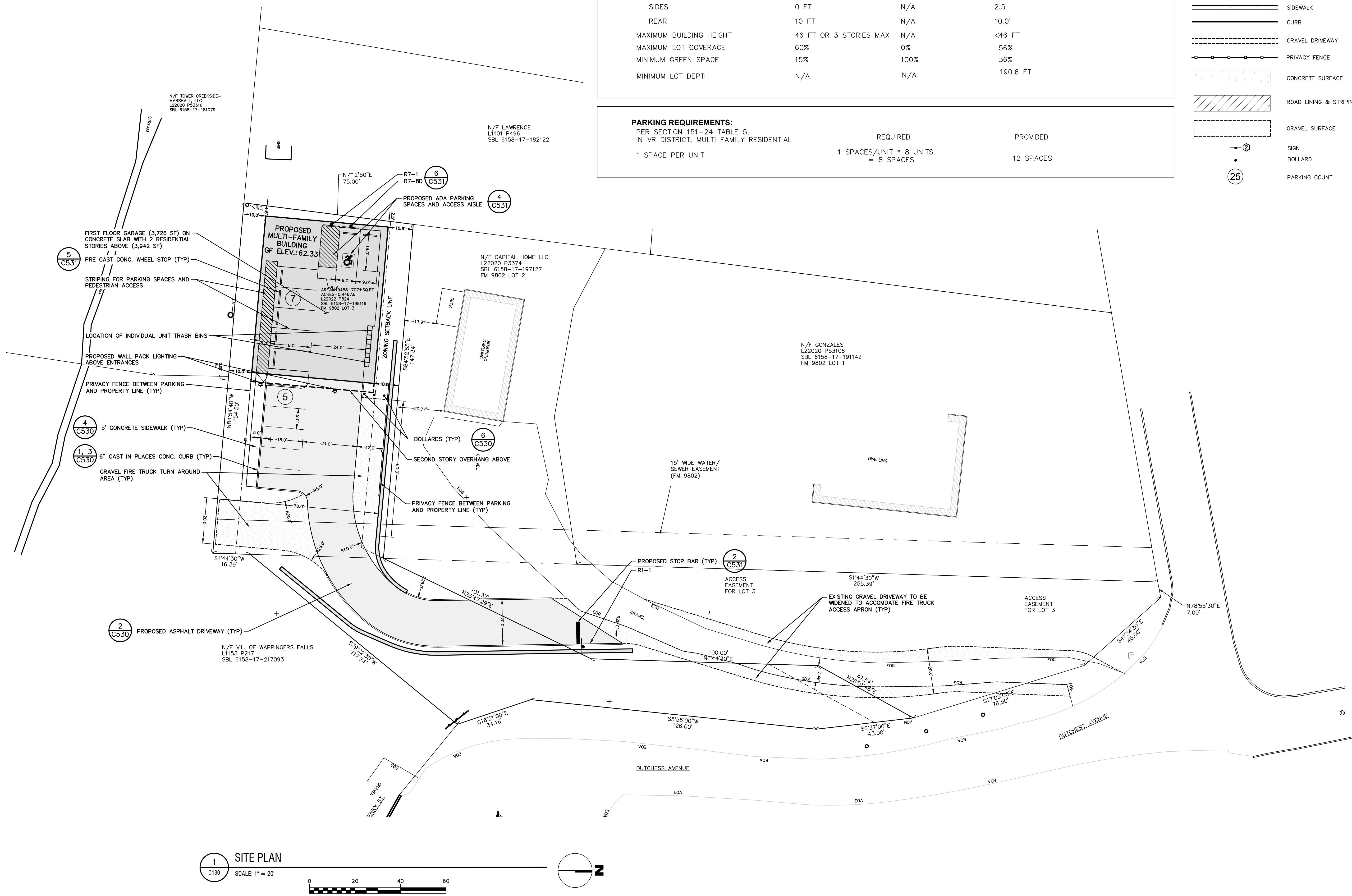
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	0.447 ACRES	0.447 ACRES
MINIMUM LOT WIDTH	25 FT	75 FT	75 FT
MINIMUM SETBACK REQUIREMENTS			
FRONT	10 FT	N/A	10.9 FT
SIDES	0 FT	N/A	2.5
REAR	10 FT	N/A	10.0'
MAXIMUM BUILDING HEIGHT	46 FT OR 3 STORIES MAX	N/A	<46 FT
MAXIMUM LOT COVERAGE	60%	0%	56%
MINIMUM GREEN SPACE	15%	100%	36%
MINIMUM LOT DEPTH	N/A	N/A	190.6 FT

**PARKING REQUIREMENTS:**

PER SECTION 151-24 TABLE 5,

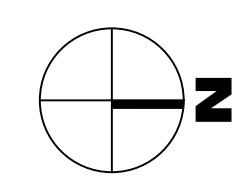
IN VR DISTRICT, MULTI FAMILY RESIDENTIAL

	REQUIRED	PROVIDED
1 SPACE PER UNIT	1 SPACES/UNIT * 8 UNITS = 8 SPACES	12 SPACES



**1 SITE PLAN**

SCALE: 1" = 20'



Z:\2022\Projects\Update Realty Group LLC\2230010 - Dutchess Ave Multi Family\06\_Drawings\Civil\01\_C130\_2230010\_SITE.dwg 12/7/2022 10:15:10 AM

NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, land surveyor, landscape architect or geologist to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, land surveyor, landscape architect or geologist shall affix to the item their seal and notation "altered" followed by their signature and date of such alteration, and a specific description of the alteration.

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**Terra Group 201, LLC.**  
395 Route 212 Saugerties, NY 12477

**Terra Group 201, LLC.**  
Dutchess Ave and Garden Street Village of  
Wappingers, NY

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:		2230010
DRAWN BY:		TK
REVIEWED BY:		CPL
ISSUED FOR:		PLANNING BOARD APPROVAL
DATE:		12/7/22
DRAWING NAME:		

**GRADING & DRAINAGE PLAN**

DRAWING NUMBER:

**C140**

**GRADING & DRAINAGE LEGEND:**

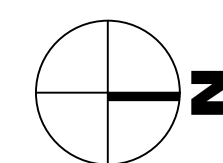
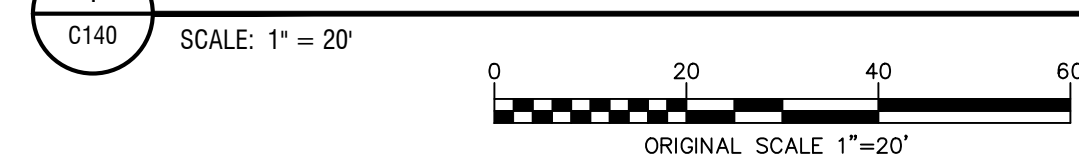
	PROPERTY LINE
	BUILDING
	PAVEMENT
	10 FT CONTOUR
	2 FT CONTOUR
	SPOT GRADE

**ABBREVIATIONS:**

TF	TOP OF FRAME
HP	HIGH POINT
LP	LOW POINT
TC	TOP OF CURB
BC	BOTTOM OF CURB
INV	INVERT



**1 GRADING & DRAINAGE PLAN**





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NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2230010

DRAWN BY: TK  
REVIEWED BY: CPL

ISSUED FOR: PLANNING BOARD APPROVAL

DATE: 12/7/22













DRAWING NAME:

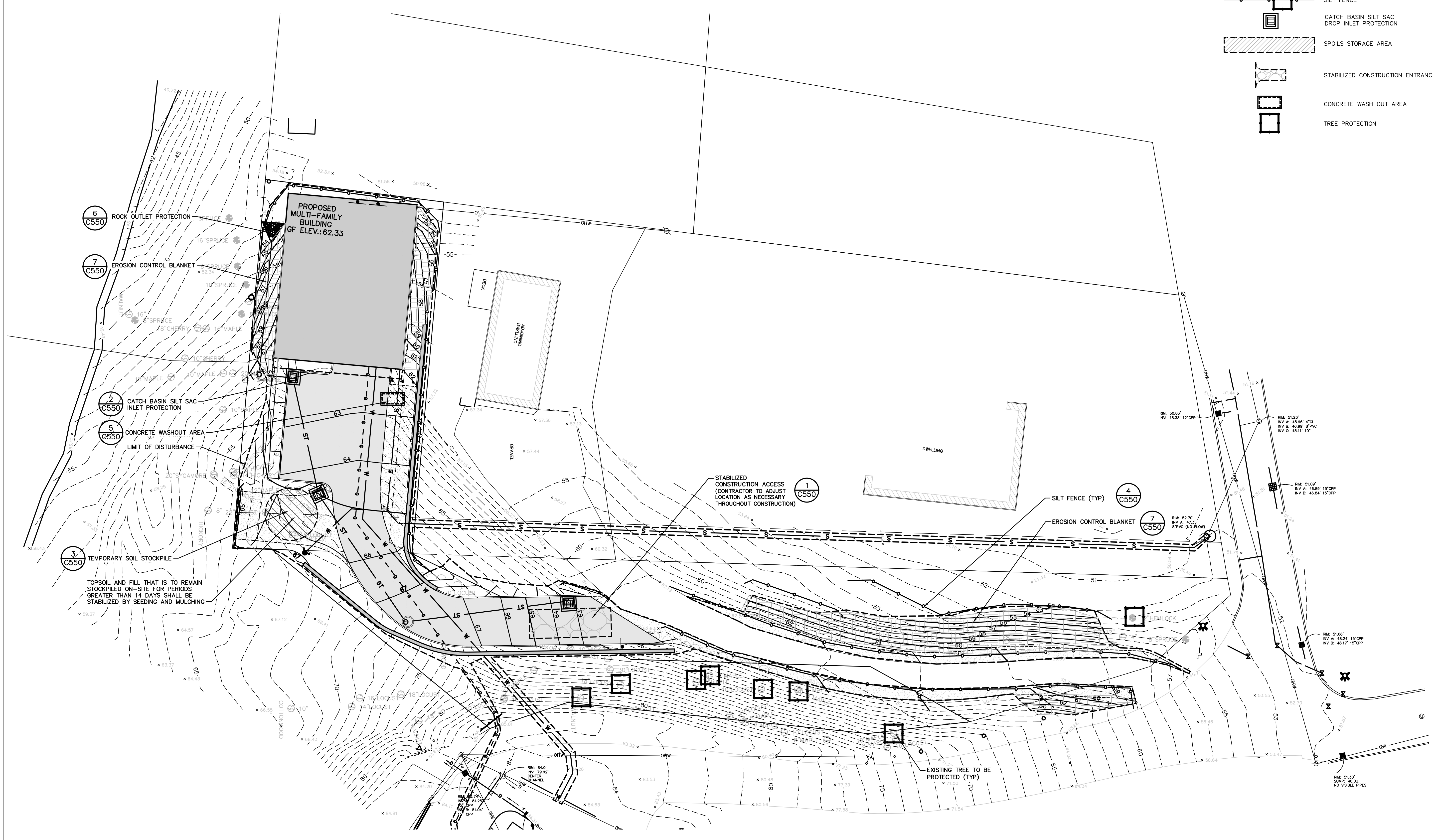
**EROSION & SEDIMENT CONTROL PLAN**

DRAWING NUMBER:

**C150**

**EROSION CONTROL LEGEND:**

-  PROPERTY LINE
-  BUILDING
-  180 5 FT CONTOUR
-  178 1 FT CONTOUR
-  TREE LINE
-  SHRUB LINE
-  SILT FENCE
-  CATCH BASIN SILT SAC DROP INLET PROTECTION
-  SPOILS STORAGE AREA
-  STABILIZED CONSTRUCTION ENTRANCE
-  CONCRETE WASH OUT AREA
-  TREE PROTECTION



1 EROSION & SEDIMENT CONTROL PLAN  
C150 SCALE: 1" = 20'

ORIGINAL SCALE: 1" = 20'

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DRAWING NAME:

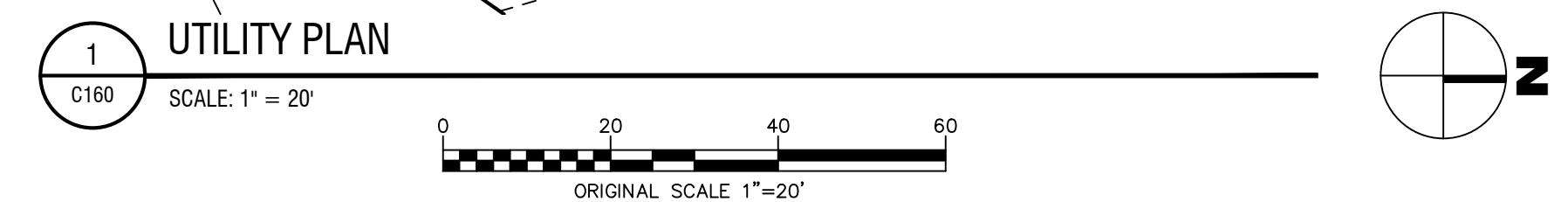
**UTILITY PLAN**

DRAWING NUMBER:

**C160**

**UTILITY LEGEND:**

-  PROPERTY LINE
-  BUILDING
-  OVERHEAD WIRES
-  SANITARY SEWER LINE
-  WATER LINE
-  STORM DRAIN LINE
-  CATCH BASIN
-  DRAINAGE MANHOLE
-  CLEANOUT
-  HYDRANT
-  WATER VALVE
-  LIGHT POLE
-  LIGHT WALL PACK
-  SANITARY MANHOLE
-  UTILITY POLE





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DRAWING NAME:		
DRAWING NUMBER:		

**PLAN & PROFILE**

**PROFILE LEGEND:**

----- EXISTING GRADE  
————— PROPOSED GRADE

**ABBREVIATIONS:**

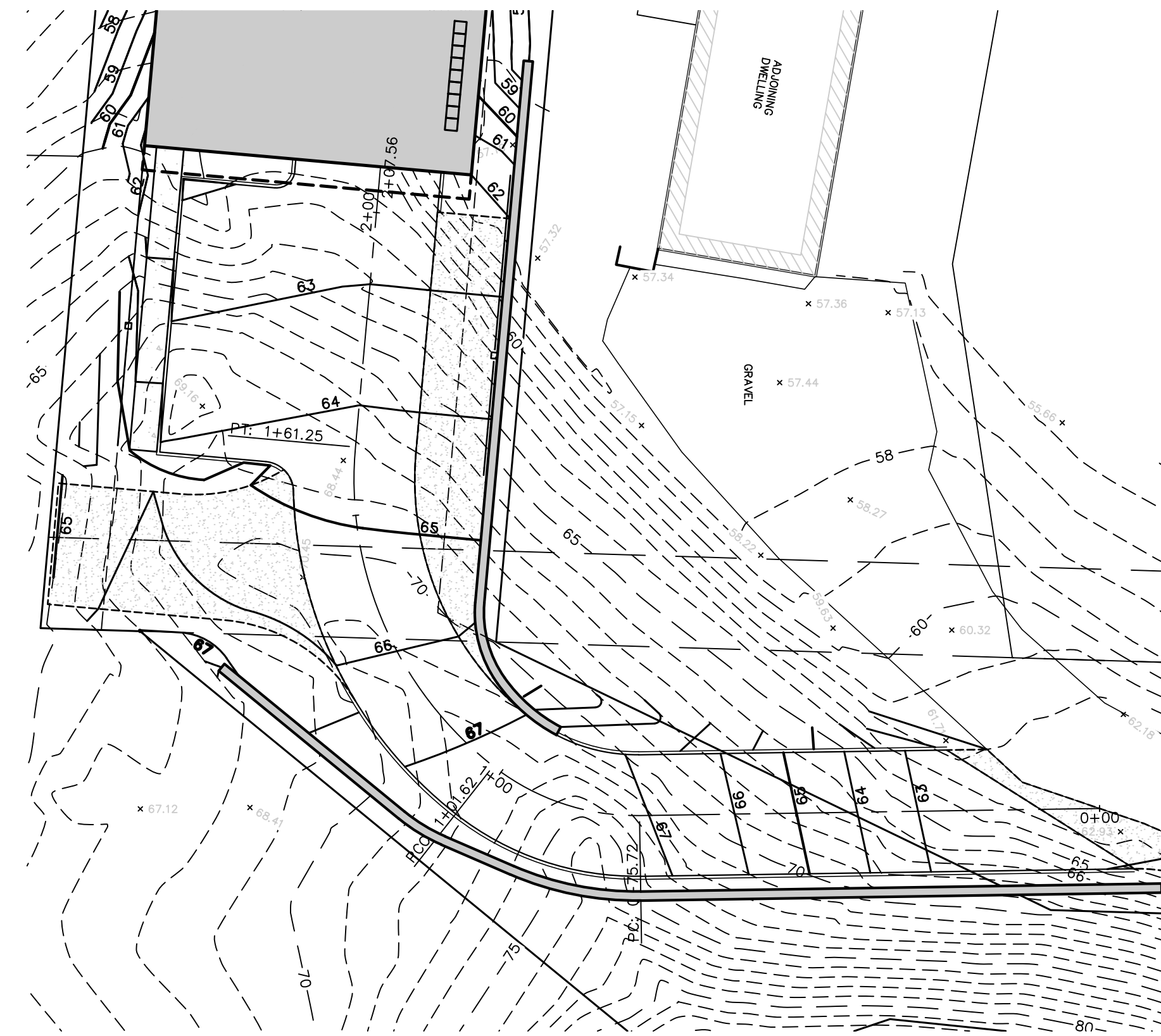
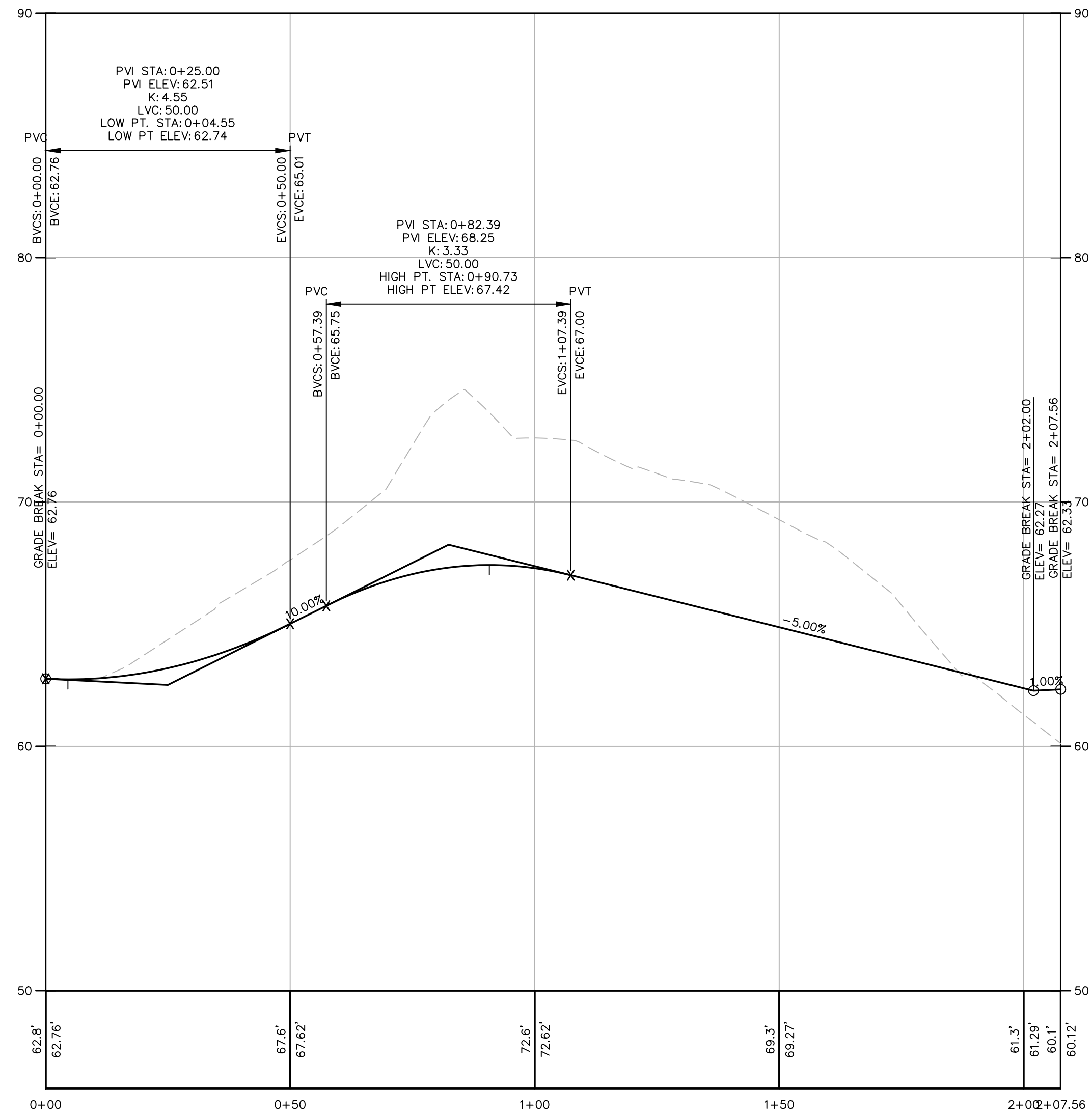
PVC POINT OF VERTICAL CURVE  
PVI POINT OF VERTICAL INTERSECTION  
PVT POINT OF VERTICAL TANGENCY  
HORIZ HORIZONTAL  
VERT VERTICAL  
ID INSIDE DIAMETER  
S= SLOPE  
INV INVERT

**STRUCTURES:**

CB CATCH BASIN  
DMH DRAINAGE MANHOLE  
SMH SEWER MANHOLE  
FES FAIRED END SECTION  
CO CLEAN OUT  
WSO WATER SHUT OFF  
HYD HYDRANT

**PIPES:**

DI DUCTILE IRON PIPE  
VC VITRIFIED CLAY  
PVC POLYVINYLCHLORIDE PIPE  
HDPE HIGH DENSITY POLYETHYLENE PIPE  
CMP CORRUGATED METAL PIPE  
RCP REINFORCED CONCRETE PIPE  
SICPP SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE



NOTE:  
1. STATIONING SHOWN ON PROFILE IS CENTERLINE OF ROADWAY STATIONING.

NOTE:  
UTILITIES ARE NOT SHOWN ON THE PROFILE VIEW OF THIS ROADWAY AT THIS TIME. THEY WILL BE ADDED AND SUBMITTED TO THE BUILDING DEPARTMENT IN CONJUNCTION WITH THE BUILDING PERMIT APPLICATION.



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Revisions		

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ISSUED FOR: PLANNING BOARD APPROVAL

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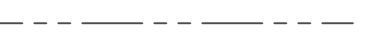
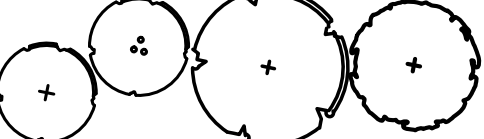






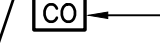




DRAWING NAME:

**LANDSCAPING PLAN**

DRAWING NUMBER:

**C180**

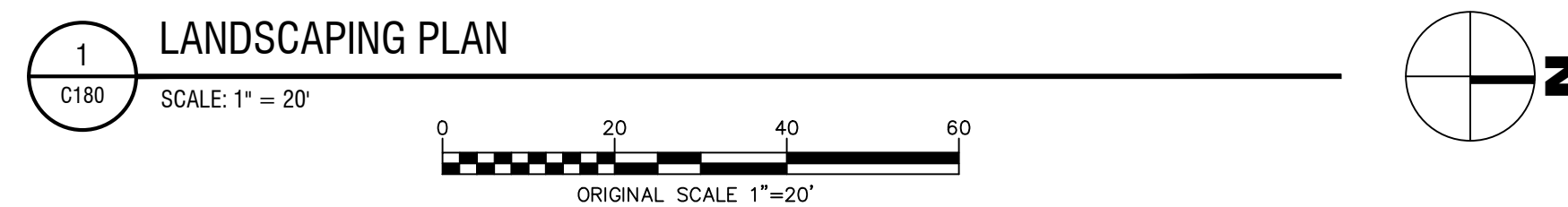
**LANDSCAPING & LIGHTING LEGEND:**

-  PROPOSED BUILDING
-  PROPOSED TREE LINE
-  PROPOSED SHRUB LINE
-  LANDSCAPE BED EDGING
-  PROPOSED DECIDUOUS TREES
-  PROPOSED CONIFEROUS TREES
-  PROPOSED SHRUBS
-  PROPOSED GROUNDCOVER
-  PROPOSED SHRUBS
-  PROPOSED LAWN
-  PROPOSED PERENNIAL BED
-  PLANT QUANTITY  
PLANT NAME
-  PROPOSED LIGHT POLE
-  PROPOSED LIGHT WALL PACK
-  PROPOSED POST AND LUMINAIRE
-  TEMPORARY TREE PROTECTION



**PLANT LIST**

QTY	ABRV	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	REMARKS
<b>TREES</b>							
3	AF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	3.5" Caliper	B&B	As Shown	Multistern
6	PG	Picea glauca	White Spruce	4-6'	B&B	As Shown	
<b>SHRUBS</b>							
14	Sk	Syringa patula 'Miss Kim'	Miss Kim Lilac	#5	Cont	As Shown	



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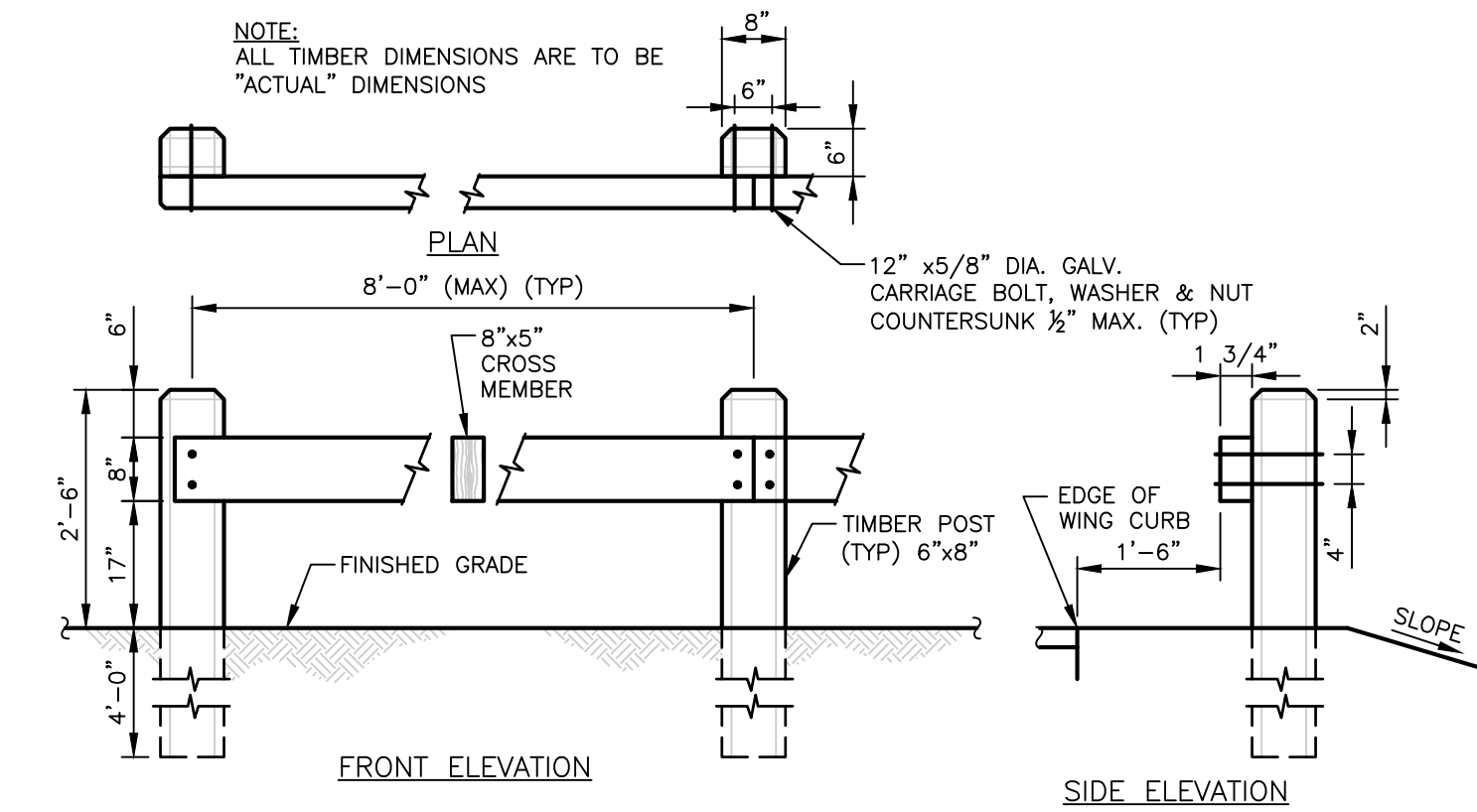
Dutchess Ave and Garden Street Village of Wappingers, NY

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:		2230010
DRAWN BY:		TK
REVIEWED BY:		CPL
ISSUED FOR: PLANNING BOARD APPROVAL		
DATE:		12/7/22
DRAWING NAME:		

**SITE DETAILS**

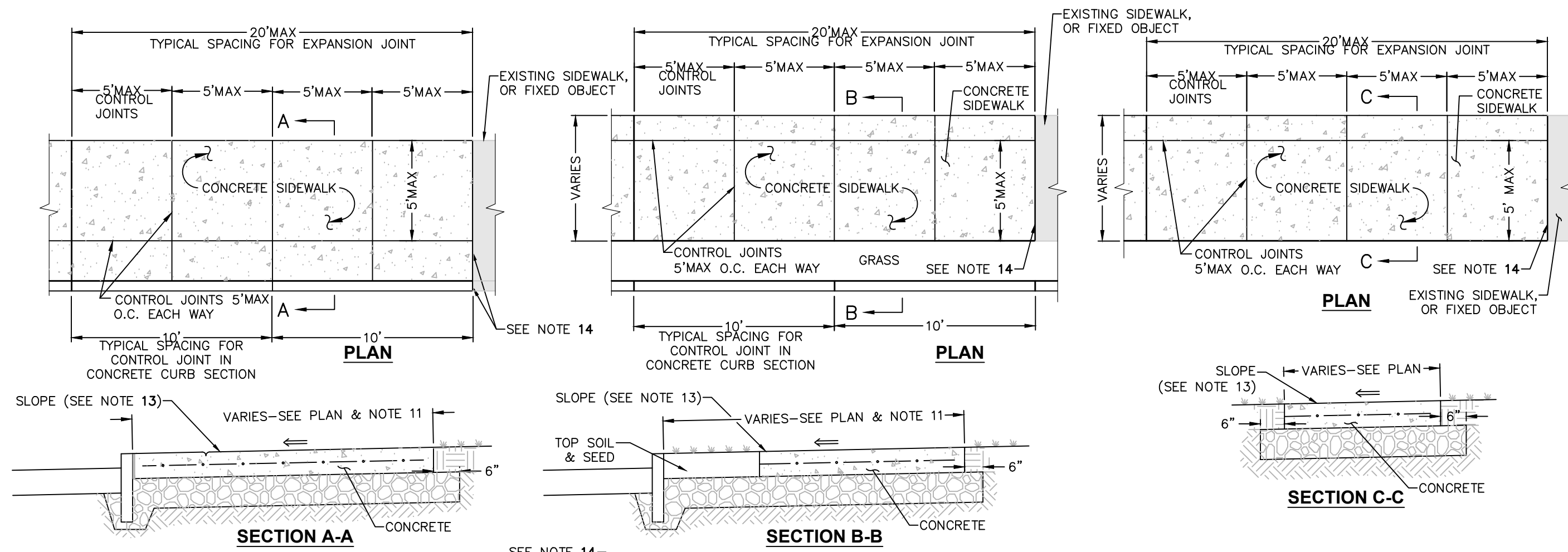
DRAWING NUMBER:

**C530**

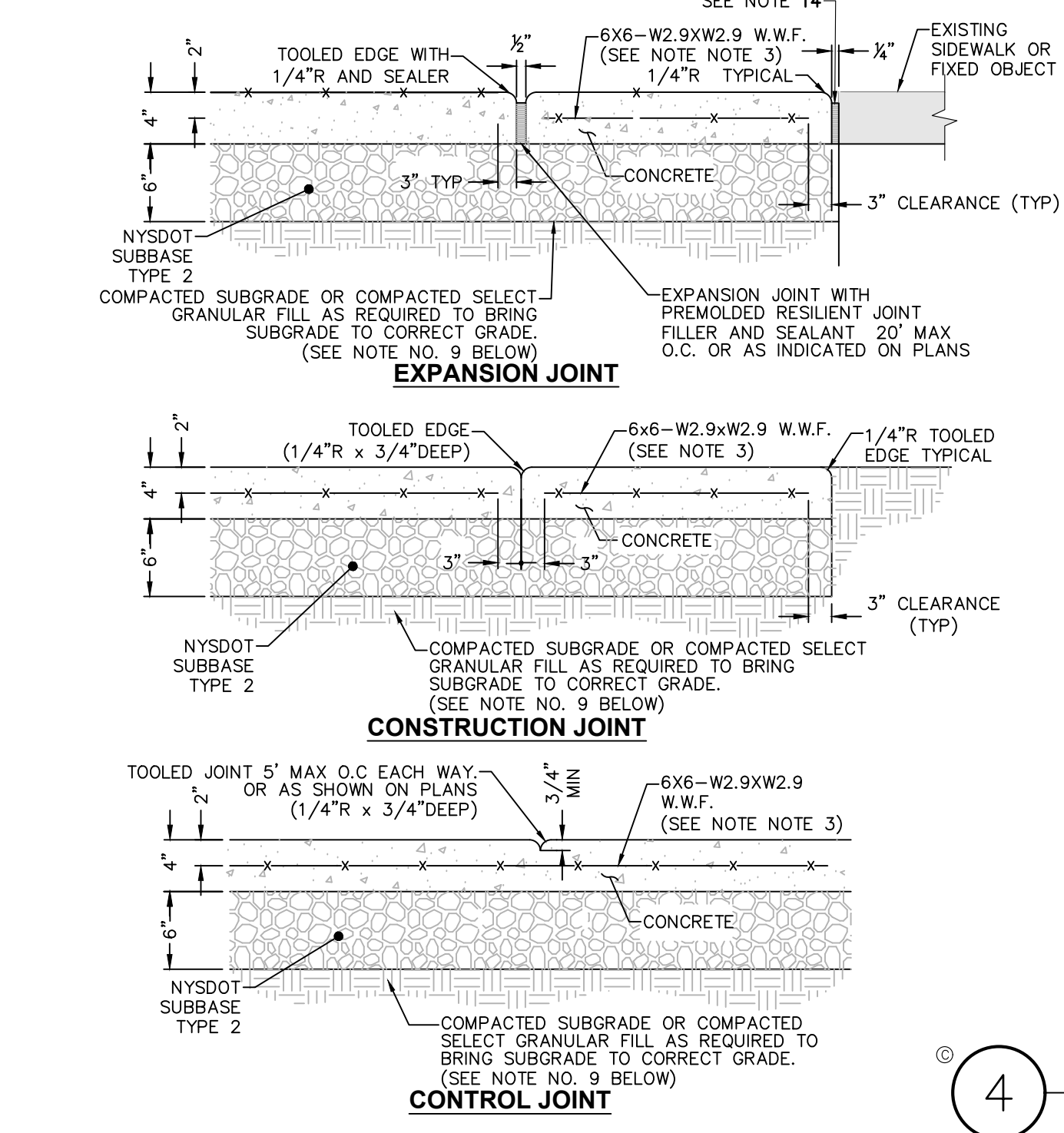


**7 TIMBER GUIDERAIL**  
SCALE: NOT TO SCALE

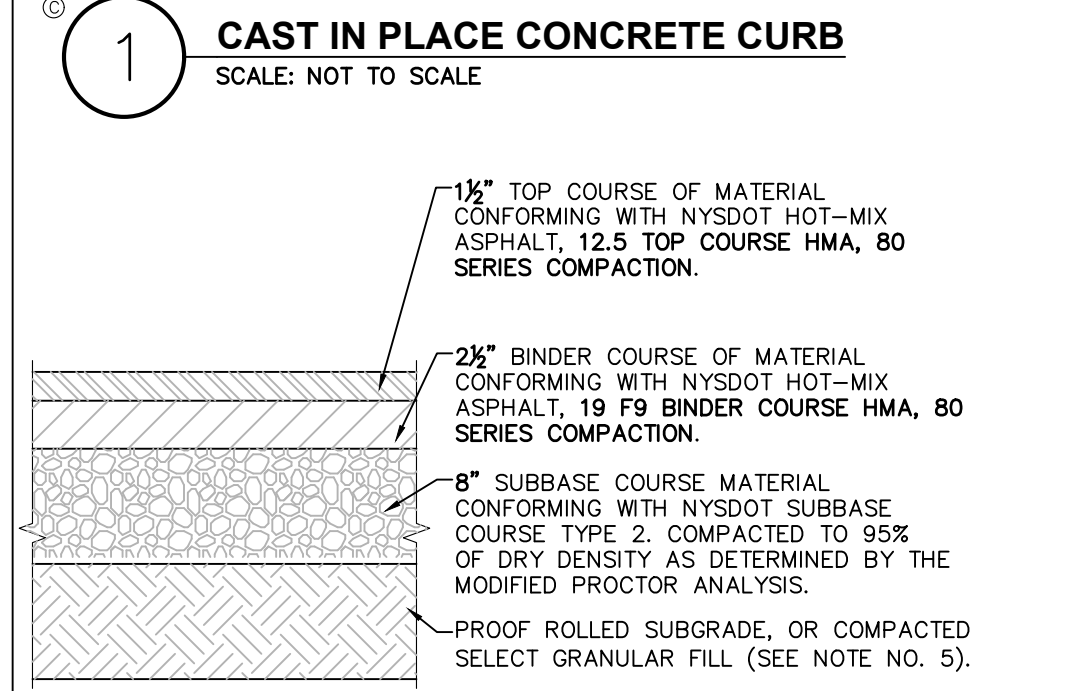
- NOTES:**
1. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "CURRENT VERSION", AND ALL ADDENDA THERE TO.
  2. ALL CONCRETE SHALL BE 4,500 CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  3. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
  4. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH & TOOLED EDGES. TOOL SHALL PROVIDE MAX 1-1/2" WIDE SMOOTH TROWEL FINISH AT JOINT.
  5. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20' ON CENTER, OR AS INDICATED ON PLANS.
  6. JOINTS SHALL NOT BE SAW CUT.
  7. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND" 1100 RESIN-BASED, WATER EMULSION CONCRETE CURING COMPOUND, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  8. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSDOT STANDARD.
  9. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  10. ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  11. ALL WORK SHALL CONFORM WITH AASHTO GEOMETRIC DESIGN OF HIGHWAYS AND STREET 2011, ICC A117.1 2009, OR LATEST EDITION.
  12. SIDEWALK WIDTH SHOWN ON THE PLANS IS TO BE MEASURED FROM THE BACK OF THE CURB.
  13. SIDEWALKS SHALL HAVE A CROSS SLOPE OF 1.5% MAX. UNLESS OTHERWISE NOTED ON PLAN.
  14. INSTALL EXPANSION JOINT WITH PREMOULDED RESILIENT JOINT FILLER & SEALANT AT ALL EXISTING SIDEWALKS, CURBS, FIXED OBJECTS, ETC., INCLUDING THOSE PLACED ON PREVIOUS DAYS.



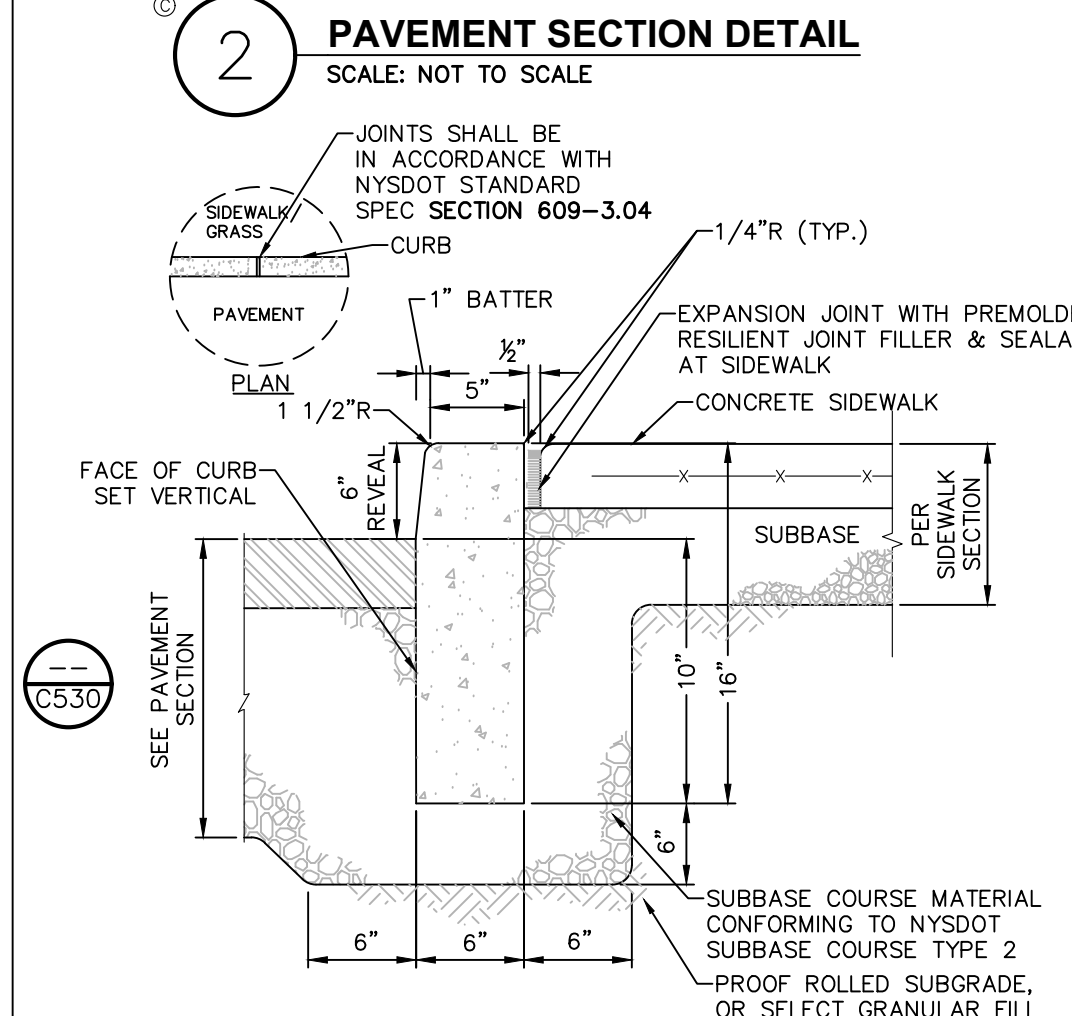
**4 CONCRETE SIDEWALK DETAIL**  
SCALE: NOT TO SCALE



**2 PAVEMENT SECTION DETAIL**  
SCALE: NOT TO SCALE

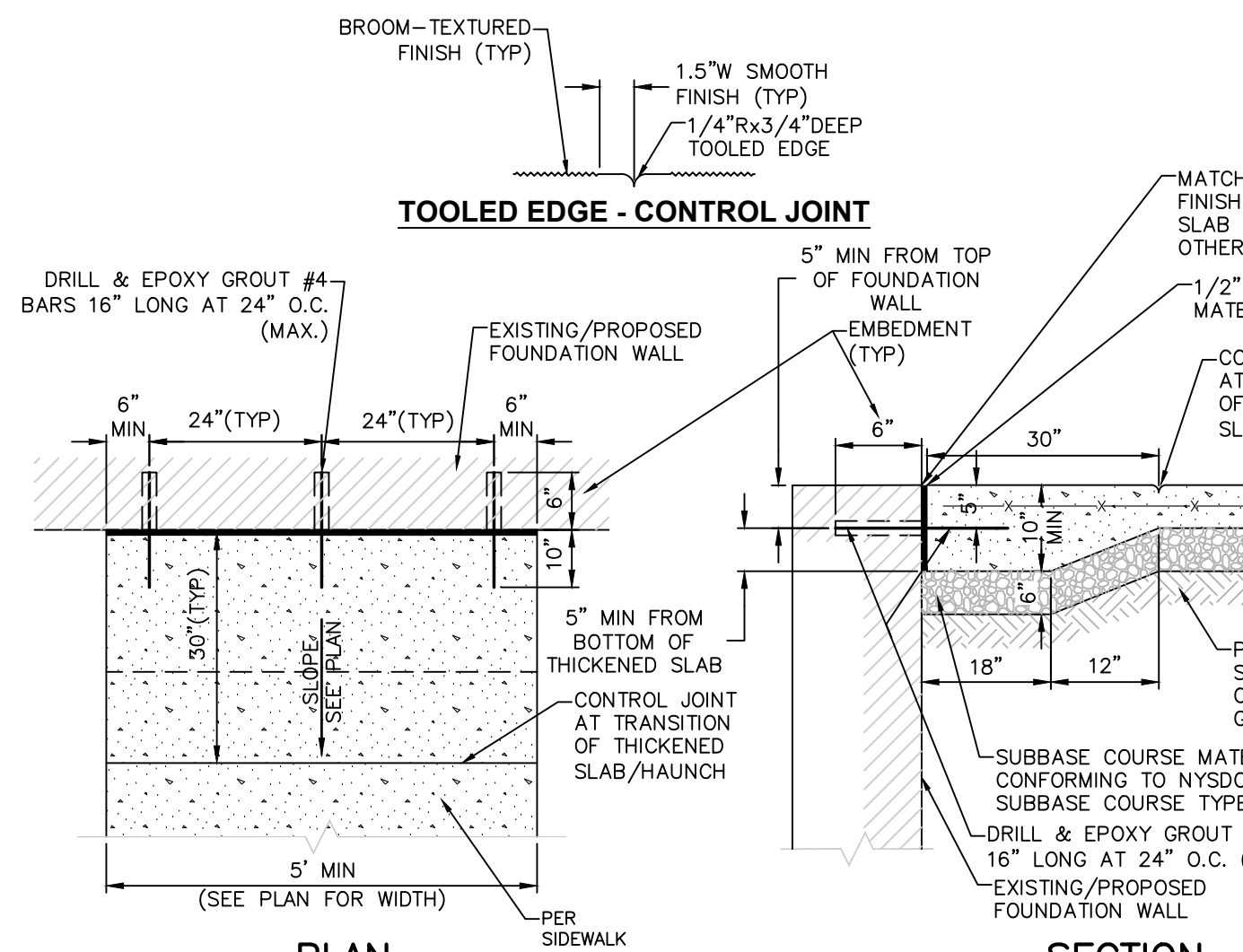


- NOTES:**
1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED SEPTEMBER 1, 2022, AND ALL ADDENDA THERE TO.
  2. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS.
  3. HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH SECTION 400-HOT MIX ASPHALT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS. ALTHOUGH SECTION 400 IN ITS ENTIRETY IS REFERENCED, THE HOT MIX ASPHALT (HMA) PAVEMENT(S) SPECIFIED FOR THIS CONTRACT SHALL BE AS SPECIFIED UNDER SECTION 402-HOT MIX ASPHALT (HMA) PAVEMENTS.
  4. TACK COAT WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  5. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
  6. PAVEMENT SECTION SHOWN IS PRELIMINARY. PRIOR TO BIDDING AND COMMENCEMENT OF CONSTRUCTION, THE FINAL DESIGN OF THE PAVEMENT SECTION MUST BE PREPARED BY A NYS LICENSED PROFESSIONAL ENGINEER AND MUST BE BASED ON A CURRENT GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.



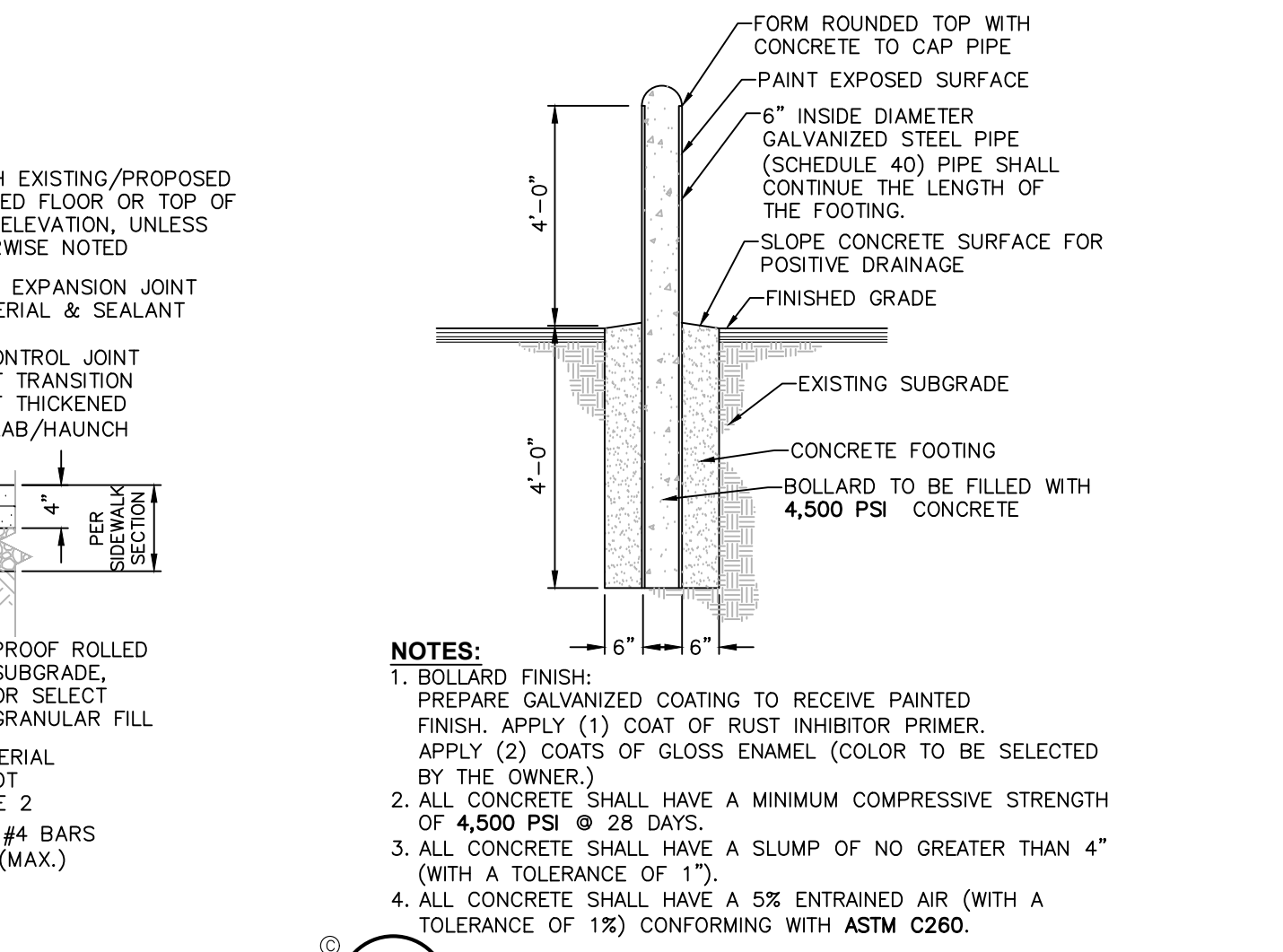
- NOTES:**
1. CONCRETE CURB SHALL BE INSTALLED IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
  2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED, WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. ALTERNATE CURB SHALL BE INSTALLED IN ACCORDANCE WITH NYSDOT SPEC SECTION 609.

**3 CAST IN PLACE CONCRETE CURB AT SIDEWALK**  
SCALE: NOT TO SCALE



- NOTES:**
1. THICKENED (HAUNCH) & ADDITIONALLY REINFORCED CONCRETE SIDEWALK ENDS ARE REQUIRED AT ALL EXISTING/PROPOSED BUILDING ENTRANCES.
  2. SEE CONCRETE SIDEWALK DETAIL FOR ADDITIONAL DETAILS & NOTES.

**5 CONCRETE SIDEWALK AT BUILDING ENTRANCES**  
SCALE: NOT TO SCALE



- NOTES:**
1. BOLLARD FINISH: PREPARE GALVANIZED COATING TO RECEIVE PAINTED FINISH. APPLY (1) COAT OF RUST INHIBITOR PRIMER. APPLY (2) COATS OF GLOSS ENAMEL (COLOR TO BE SELECTED BY THE OWNER.)
  2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI @ 28 DAYS.
  3. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" (WITH A TOLERANCE OF 1").
  4. ALL CONCRETE SHALL HAVE A 5% ENTRAINED AIR (WITH A TOLERANCE OF 1%) CONFORMING WITH ASTM C260.

**6 STEEL & CONCRETE BOLLARD DETAIL**  
SCALE: NOT TO SCALE

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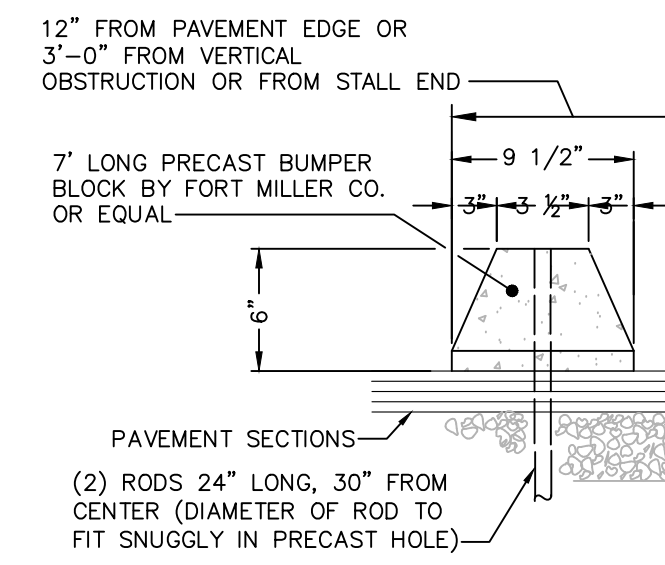
**SITE DETAILS**

DRAWING NUMBER:

**C531**

MUTCD SIGN SCHEDULE						
SIGN NO.	SIGN FACE	MUTCD NUMBER	MIN SIZE	COLORS		MOUNTING
				BCK GRND	LEGEND	
①		R1-1	30"x30"	RED	WHITE	3 (C5.32)
②		R7-8D	12"x18"	WHITE/ BLUE	GREEN/ WHITE	1 (C5.32)
③		R7-1	12"x18"	WHITE	RED	1 (C5.32)

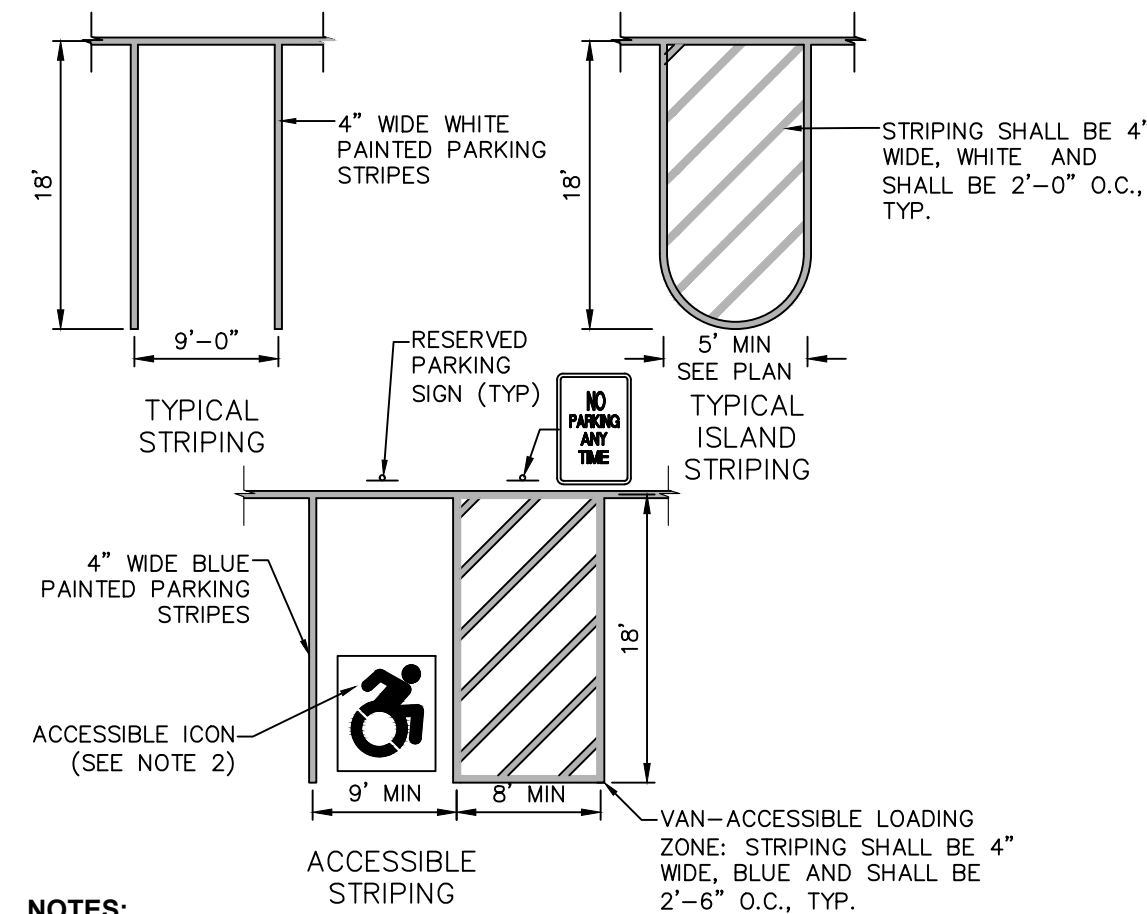
⑥ **MUTCD SIGN SCHEDULE**  
SCALE: NOT TO SCALE



⑤ **PRECAST CONCRETE WHEEL STOP**  
SCALE: NOT TO SCALE

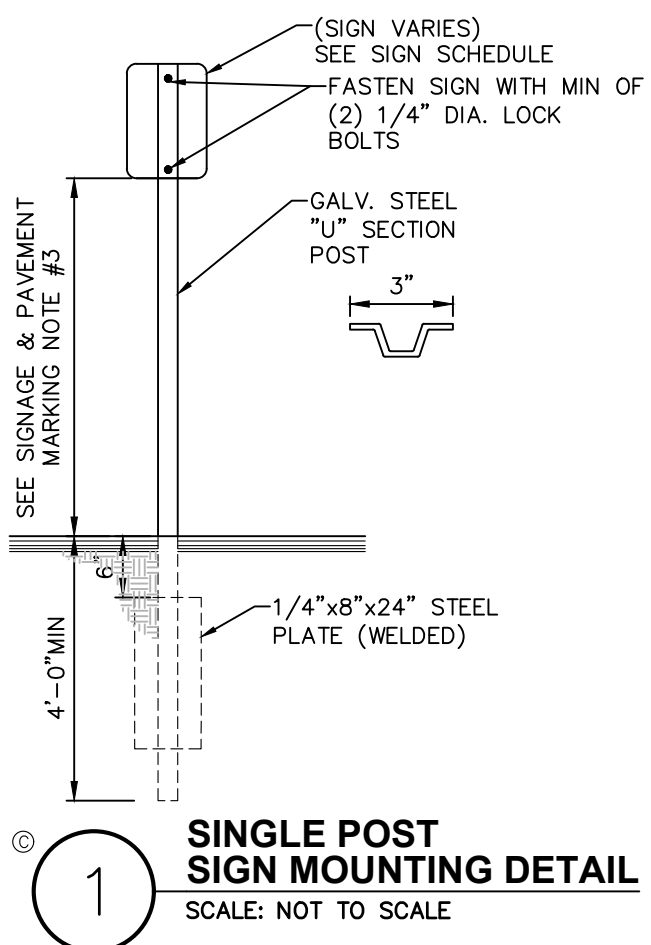
- STRIPING NOTES:**
1. ALL STRIPING SHALL CONFORM TO THE LATEST EDITION OF THE NYS DOT STANDARD SPECIFICATIONS, SECTION 640 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
  2. STRIPE PAVEMENT AS INDICATED ON THE PLANS AND/OR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
  3. STRIPING WORK WILL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.
  4. COLOR: DRIVE LANE DIVIDERS - WHITE OR AOB; NO PARKING ZONE WARNINGS - WHITE OR AOB; PARKING DIVIDERS - WHITE OR AOB; WALKING LINES - WHITE OR AOB; ACCESSIBLE PARKING LINES & SYMBOL - BLUE

- SIGNAGE NOTES:**
1. ALL SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE NYS DOT STANDARD SPECIFICATIONS, SECTION 645 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
  2. SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7'. MINIMUM MOUNTING HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NYS SUPPLEMENT."
  3. SIGN POST SHALL BE IN ACCORDANCE W/ NYS DOT STANDARD SPECS SECTION 730.

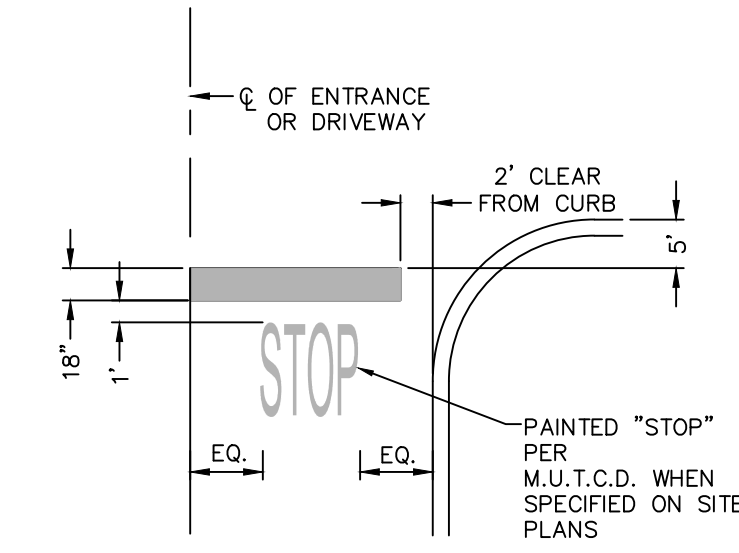


- NOTES:**
1. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARD AND CURRENT ZONING AND SITE REGULATIONS.
  2. PAINTED ACCESSIBLE LOGO TO BE IN ACCORDANCE W/ NEW YORK STATE LAW.
  3. SLOPE OF PAVEMENT SURFACE IN ACCESSIBLE PARKING AREA SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
  4. SEE PLAN FOR ACTUAL LOCATION OF SIGNAGE

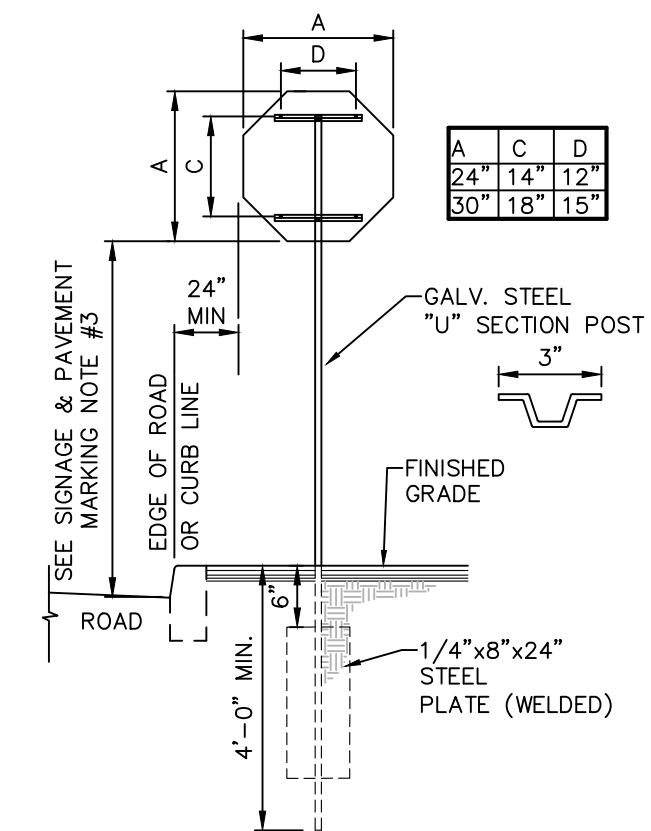
④ **PAVEMENT MARKING DETAIL PARKING STRIPING**  
SCALE: NOT TO SCALE



① **SINGLE POST SIGN MOUNTING DETAIL**  
SCALE: NOT TO SCALE



② **PAVEMENT MARKING DETAIL STOP BAR**  
SCALE: NOT TO SCALE



③ **SINGLE POST STOP SIGN MOUNTING DETAIL**  
SCALE: NOT TO SCALE



NOT FOR CONSTRUCTION

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**Terra Group 201, LLC.**  
395 Route 212 Saugerties, NY 12477

**Terra Group 201, LLC.**  
Dutchess Ave and Garden Street Village of Wappingers, NY

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:		2230010
DRAWN BY:		TK
REVIEWED BY:		CPL
ISSUED FOR:		PLANNING BOARD APPROVAL
DATE:		12/7/22
DRAWING NAME:		

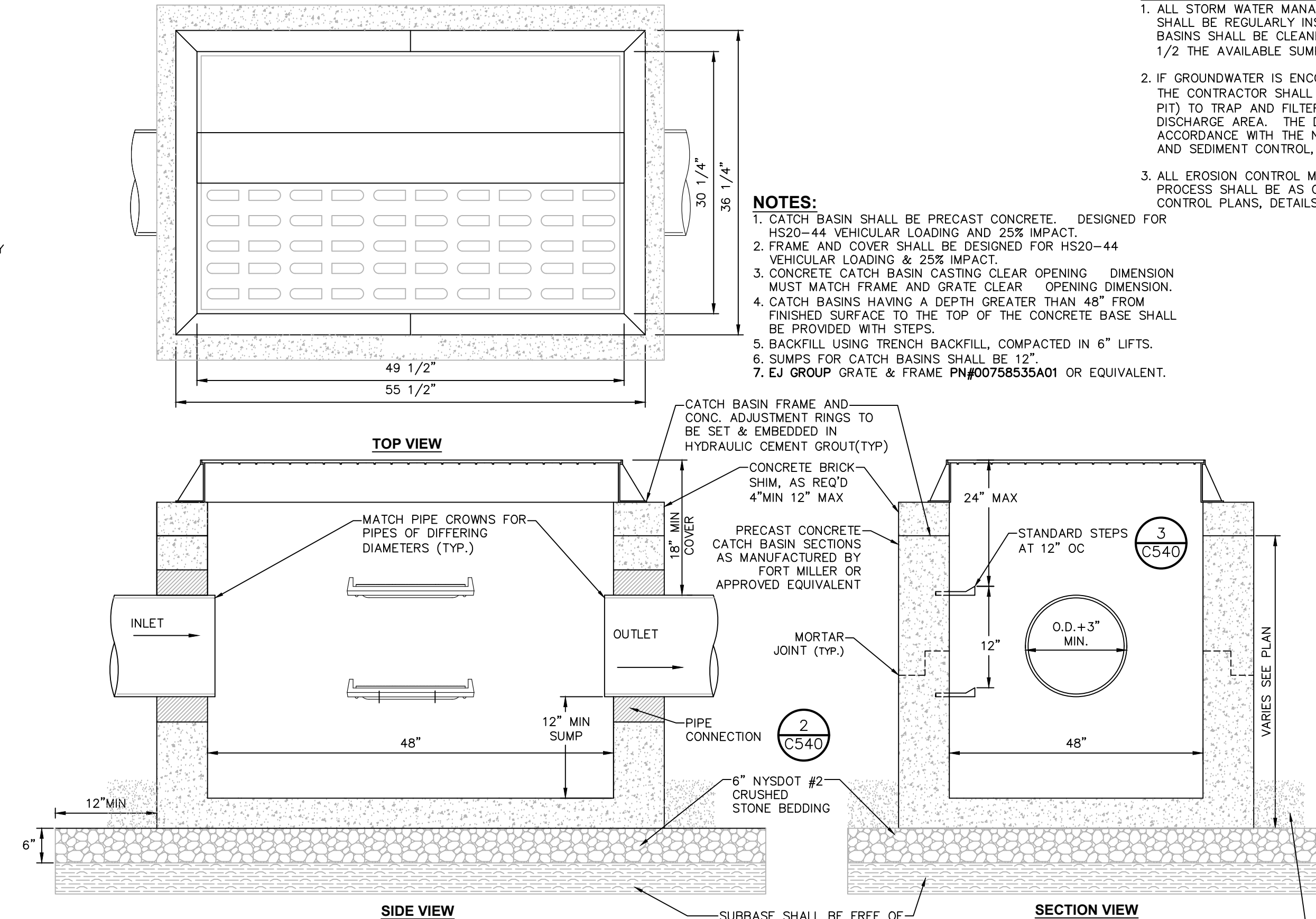
**STORM SEWER DETAILS**

**STORM SEWER NOTES:**

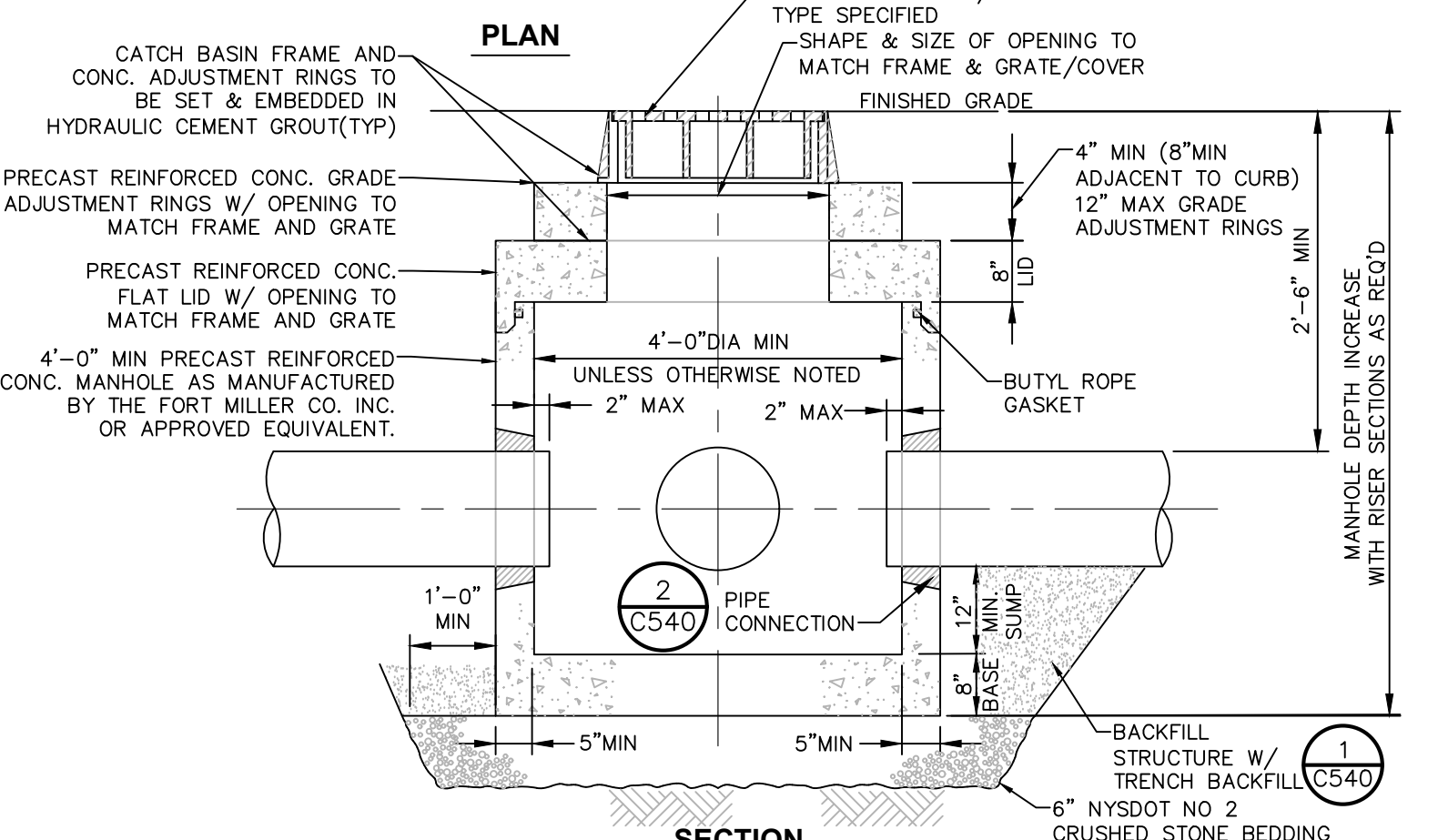
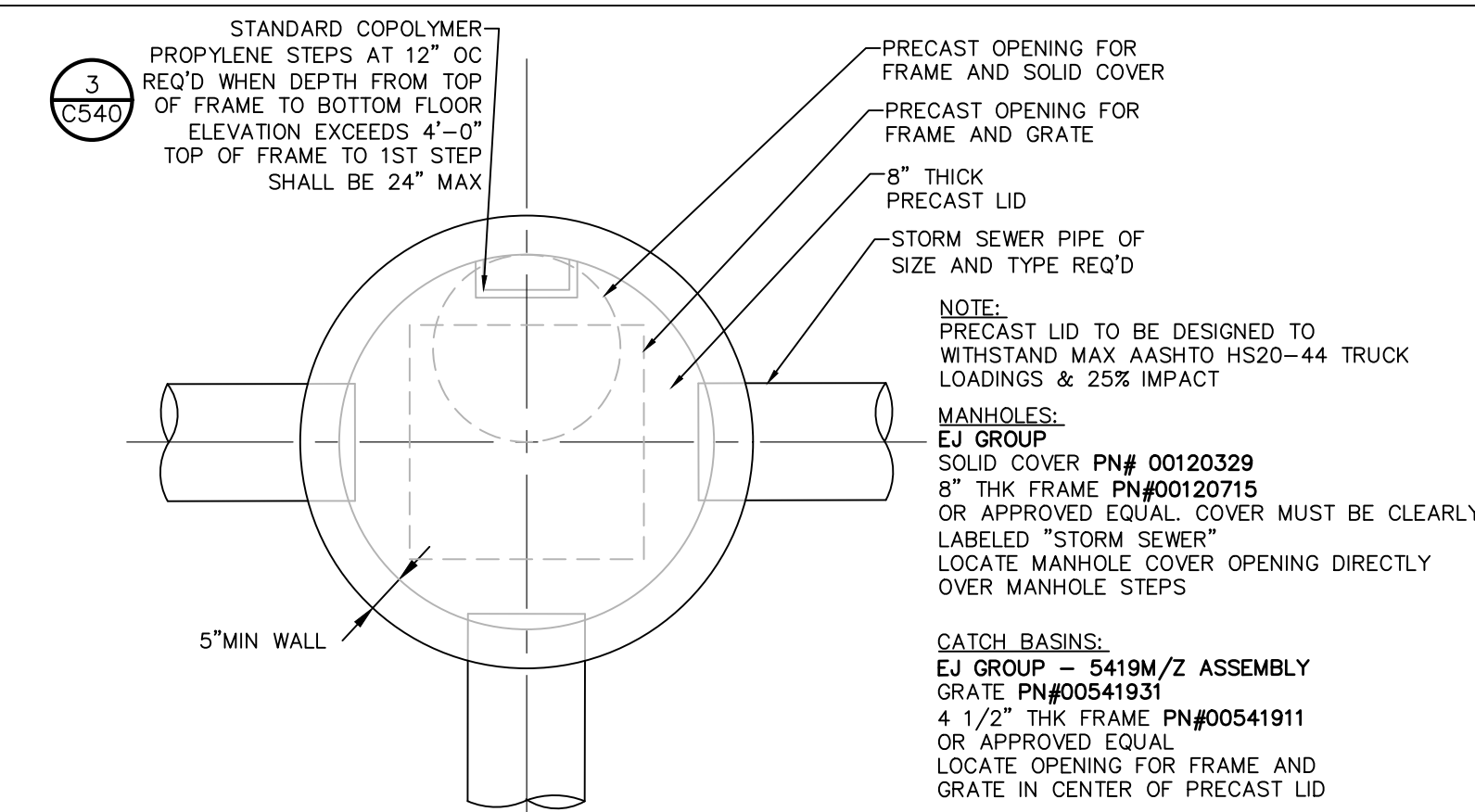
1. ALL STORM WATER MANAGEMENT STRUCTURES (I.E. CATCH BASIN, ETC.) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF 1/2 THE AVAILABLE SUMP DEPTH.
2. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT (A.K.A. SUMP PIT) TO TRAP AND FILTER WATER FOR PUMPING TO A SUITABLE DISCHARGE AREA. THE DEWATERING PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, LATEST EDITION.
3. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE AS OUTLINED ON THE EROSION AND SEDIMENT CONTROL PLANS, DETAILS AND NOTES.

**NOTES:**

1. CATCH BASIN SHALL BE PRECAST CONCRETE. DESIGNED FOR HS20-44 VEHICULAR LOADING AND 25% IMPACT.
2. FRAME AND COVER SHALL BE DESIGNED FOR HS20-44 VEHICULAR LOADING & 25% IMPACT.
3. CONCRETE CATCH BASIN CASTING CLEAR OPENING DIMENSION MUST MATCH FRAME AND GRATE CLEAR OPENING DIMENSION.
4. CATCH BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE TOP OF THE CONCRETE BASE SHALL BE PROVIDED WITH STEPS.
5. BACKFILL USING TRENCH BACKFILL, COMPACTED IN 6" LIFTS.
6. SUMPS FOR CATCH BASINS SHALL BE 12".
7. EJ GROUP GRATE & FRAME PN#0075853A01 OR EQUIVALENT.



**6 PRECAST CONCRETE RECTANGULAR CATCH BASIN DETAIL**  
SCALE: NOT TO SCALE



- NOTES:**
1. CATCH BASIN SHALL BE PRECAST CONCRETE. DESIGNED FOR HS20-44 VEHICULAR LOADING AND 25% IMPACT.
  2. FRAME AND COVER SHALL BE DESIGNED FOR HS20-44 VEHICULAR LOADING & 25% IMPACT.
  3. CONCRETE CATCH BASIN LID CLEAR OPENING DIMENSION MUST MATCH FRAME AND GRATE CLEAR OPENING DIMENSION.
  4. CATCH BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE FLOOR OF THE CONCRETE BASE SHALL BE PROVIDED WITH STEPS.
  5. BACKFILL USING TRENCH BACKFILL, COMPACTED IN 6" LIFTS.
  6. SUMPS FOR CATCH BASINS SHALL BE 12".
  7. ECCENTRIC CONE TOP CAN BE USED FOR MANHOLES DEPTH GREATER THAN 7 FEET.
  8. SEE CHART FOR REQUIRED MANHOLES / CATCH BASINS DIAMETERS.
  9. ALL PRECAST CONSTRUCTION IN ACCORDANCE W/ASTM C478

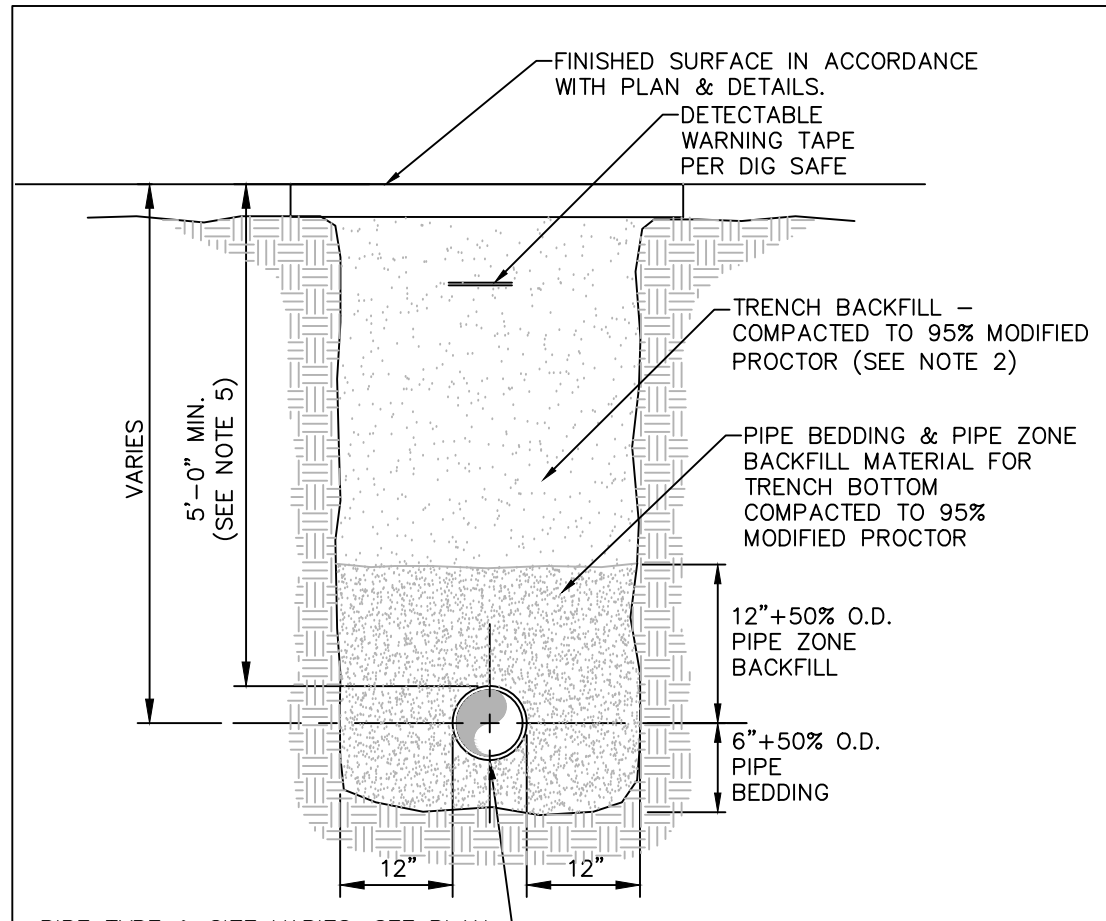
**4 PRECAST CONCRETE CATCH BASIN/MANHOLE DETAIL**  
SCALE: NOT TO SCALE

**TYPICAL HDPE END SECTION**

PIPE DIA.	END SECTION DIMENSIONS			
	A	B	C	D
12"	42"	14"	34"	6"
18"	42"	14"	34"	6"
24"	50"	21"	48"	6"
30"	50"	21"	48"	6"
36"	62"	34"	58"	6"
36"	62"	41"	58"	6"

- NOTES:**
1. SCOPE: THIS SPECIFICATION DESCRIBES 12- THROUGH 36-INCH ADS FLARED END SECTIONS FOR USE IN CULVERT AND DRAINAGE OUTLET APPLICATIONS. FES LARGER THAN 36" SHALL USE CIRCULAR CORRUGATED METAL FLARED END SECTIONS.
  2. REQUIREMENTS: THE INVERT OF THE PIPE AND THE END SECTION SHALL BE AT THE SAME ELEVATION. THE ADS FLARED END SECTION SHALL BE HIGH DENSITY POLYETHYLENE MEETING ASTM D3350 MINIMUM CELL CLASSIFICATION 213320C; CONTACT MANUFACTURER FOR ADDITIONAL CELL CLASSIFICATION INFORMATION, WHEN PROVIDED, THE METAL THREADED FASTENING ROD SHALL BE STAINLESS STEEL.
  3. INSTALLATION: INSTALLATION SHALL BE IN ACCORDANCE WITH ADS INSTALLATION INSTRUCTIONS AND WITH THOSE ISSUED BY STATE OR LOCAL AUTHORITIES. CONTACT YOUR LOCAL ADS REPRESENTATIVE OR VISIT WWW.ADS-PIPE.COM FOR THE LATEST INSTALLATION INSTRUCTIONS.
  4. PROVIDE TRASH RACK ONLY WHERE SPECIFIED ON SITE PLANS.

**5 TYPICAL END SECTION - HDPE**  
SCALE: NOT TO SCALE



- NOTES:**
1. PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

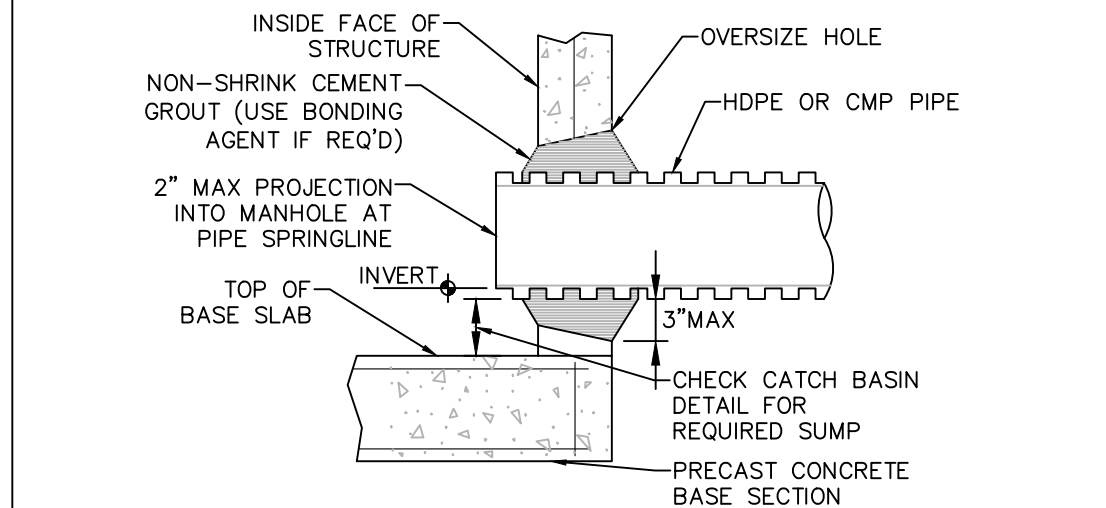
SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%

2. TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
4"	100%
NO. 40	0-70%
NO. 200	0-10%

3. INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
4. TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.
5. 5'-0" MIN COVER SHALL BE APPLIED TO WATER MAIN OR SANITARY SEWER FORCE MAINS ONLY.

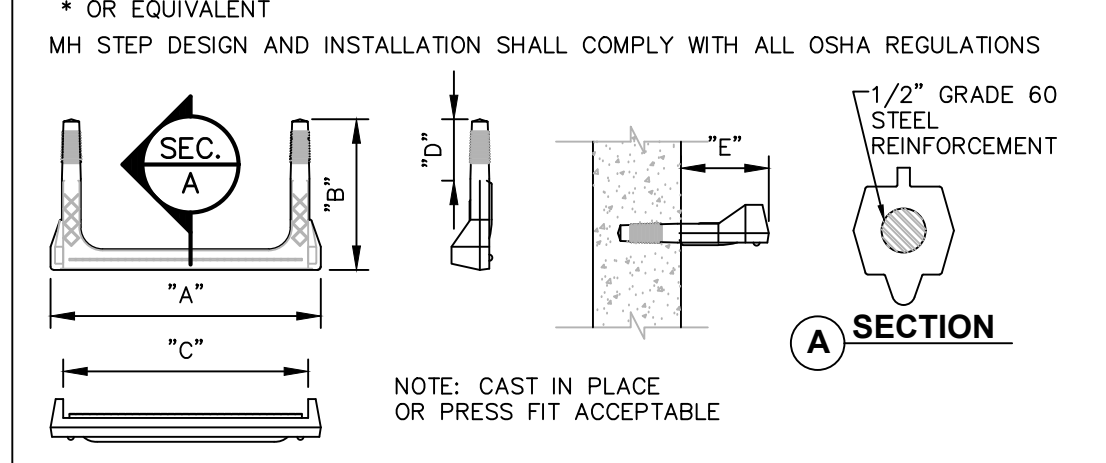
**1 PIPE TRENCH DETAIL (TYPICAL)**  
SCALE: NOT TO SCALE



**2 PIPE CONNECTION TO DRAINAGE STRUCTURE - CMP OR HDPE CEMENT GROUT SEAL JOINT**  
SCALE: NOT TO SCALE

**ACCEPTABLE MANHOLE STEPS**

MANUFACTURER	PATTERN NUMBER	"A" STEP WIDTH	"B" LEG LENGTH	"C" RUNG CLEAR	"D" EMBED-MENT	"E" RUNG CLEAR
M.A. INDUSTRIES INC*	PS2-PF	14 3/4	9 1/4	13 3/4	3 3/8	5 7/8
M.A. INDUSTRIES INC*	PS2-PFS	14 3/4	8 1/4	13 3/4	3 3/8	4 7/8



**3 COPOLYMER POLYPROPYLENE MH STEP**  
SCALE: NOT TO SCALE

NOT FOR CONSTRUCTION

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**Terra Group 201, LLC.**

395 Route 212 Saugerties, NY 12477

**Terra Group 201, LLC.**

Dutchess Ave and Garden Street Village of Wappingers, NY

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER: 2230010

DRAWN BY: TK

REVIEWED BY: CPL

ISSUED FOR: PLANNING BOARD APPROVAL

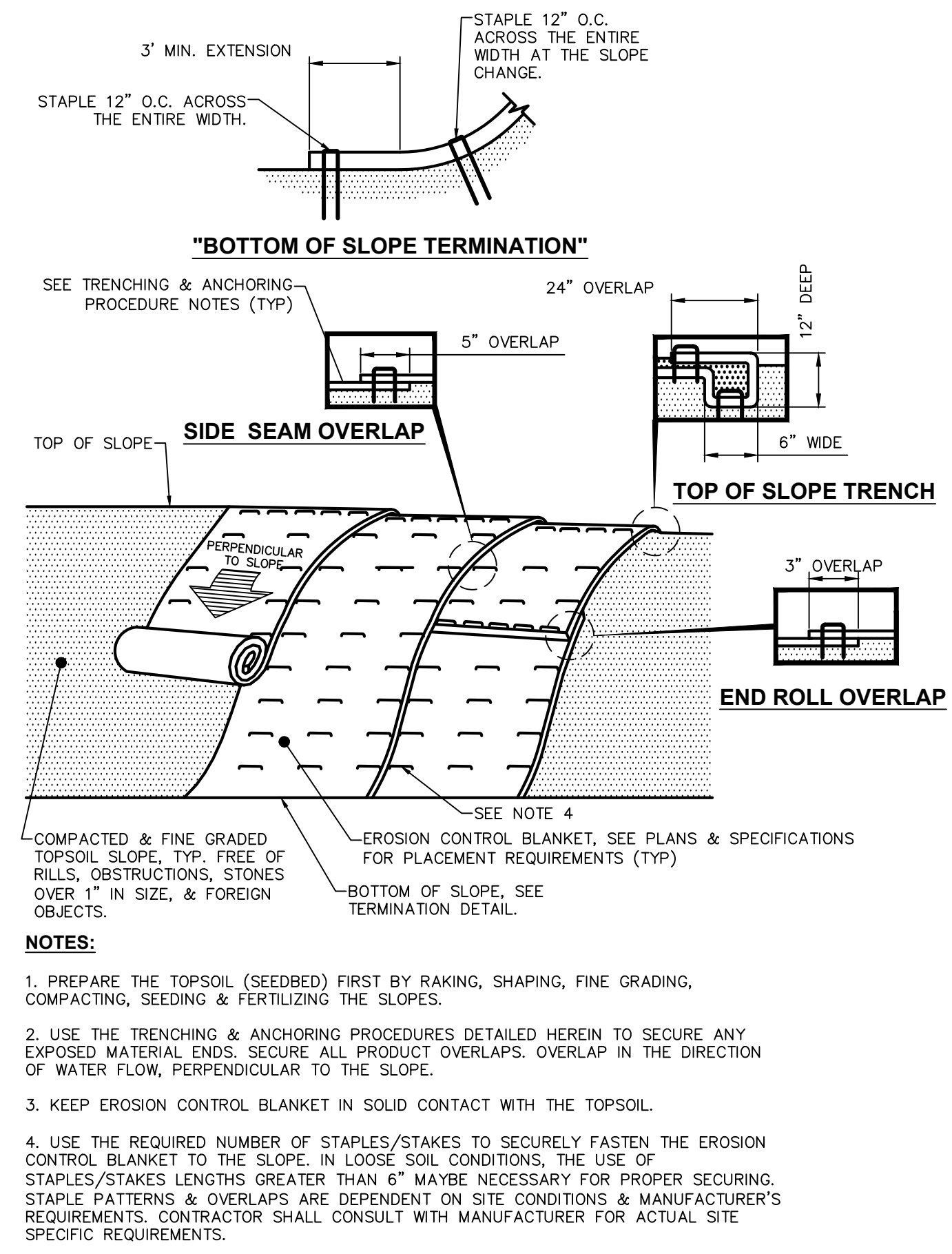
DATE: 12/7/22

DRAWING NAME:

**EROSION & SEDIMENT CONTROL DETAILS**

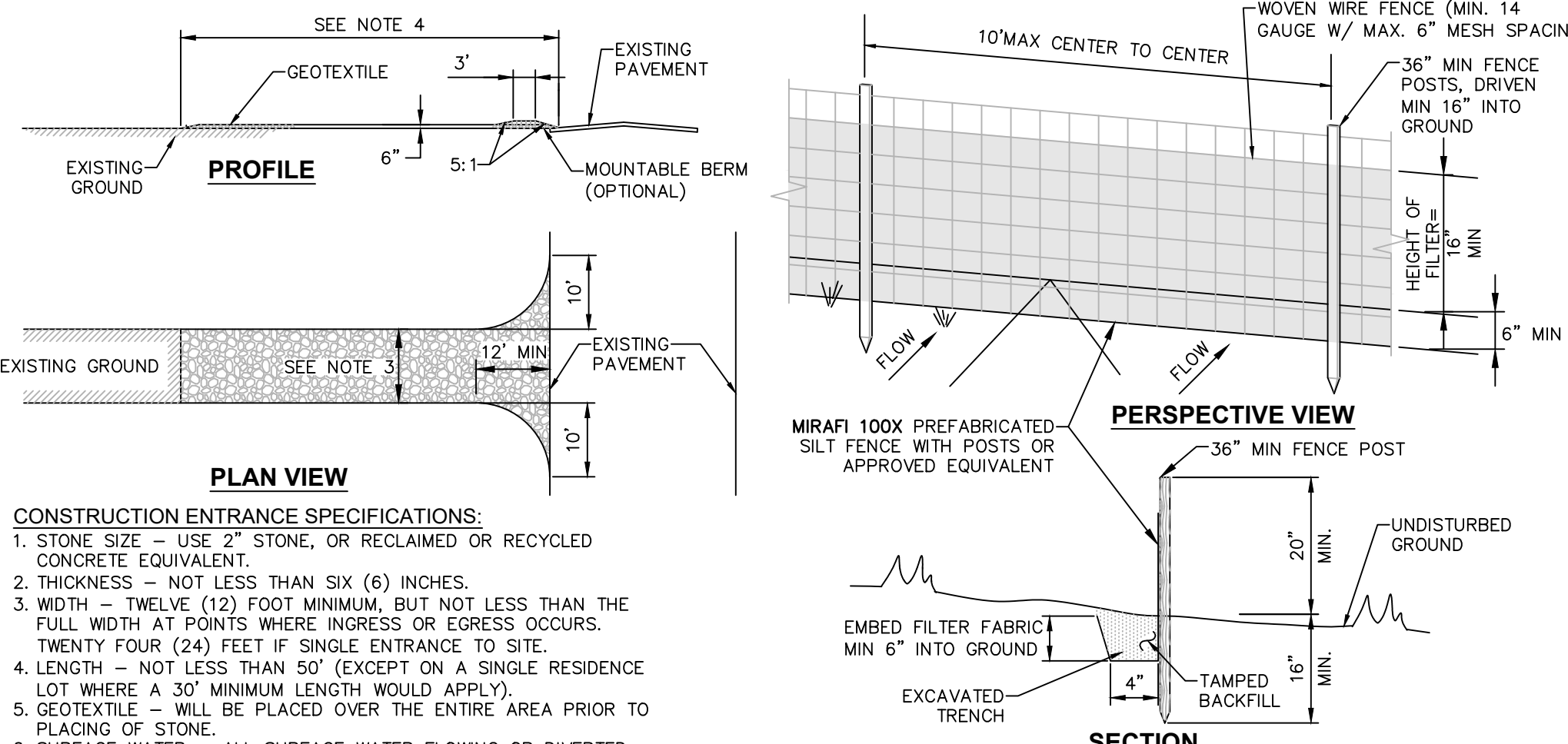
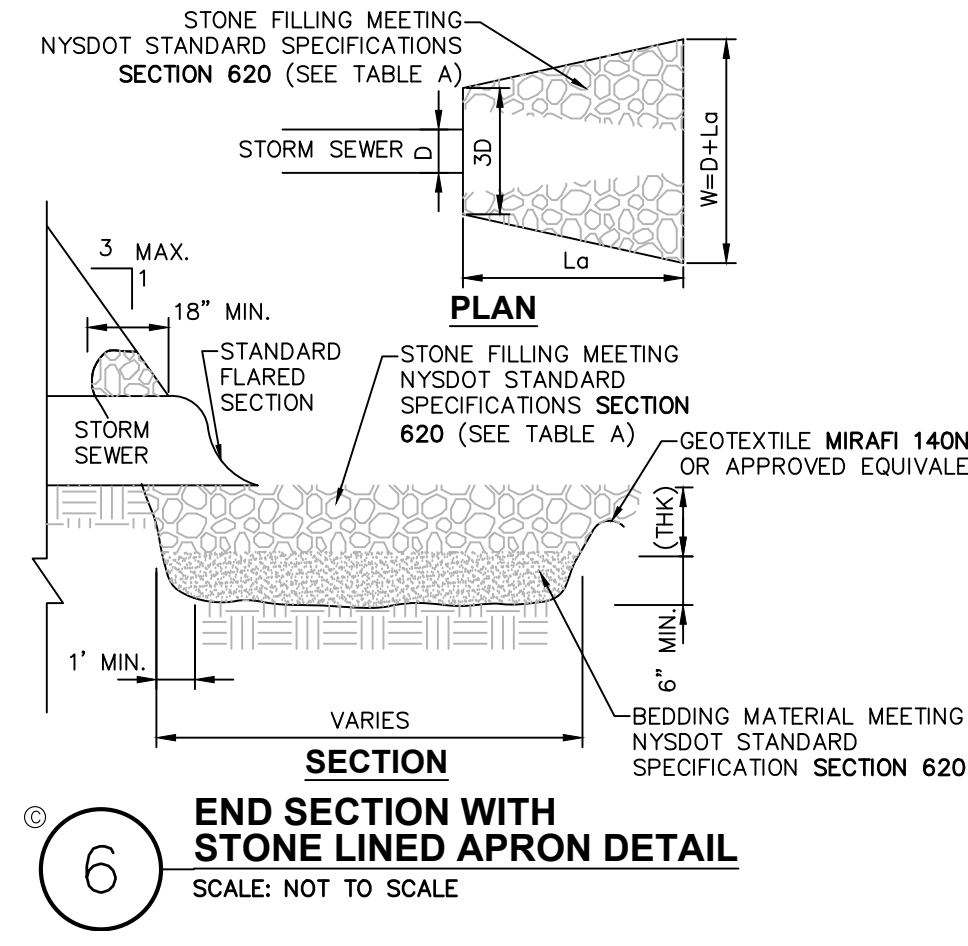
DRAWING NUMBER:

**C550**



**STONE APRON SIZING REQUIREMENT - TABLE "A"**

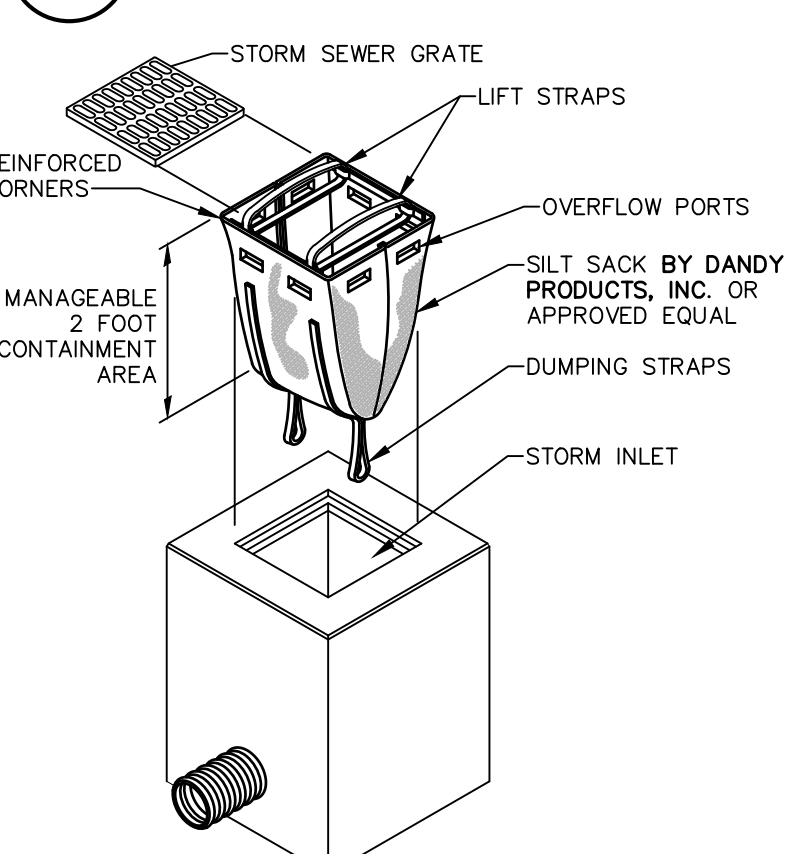
CULVERT DIA. (D)	CULVERT SLOPE, %	NYSDOT STANDARD STONE FILLING APRON MATERIAL	d50	dMAX	MINIMUM APRON THICKNESS (IN)	MINIMUM OUTLET APRON LENGTH (FT) (L <sub>o</sub> )
12"	< 8	LIGHT	6"	9"	18	6
	8-10	MEDIUM	9"-12"	14"-18"	24	10
18"	< 4	LIGHT	6"	9"	18	10
	4-6	MEDIUM	9"-12"	14"-18"	24	12
	6-8	HEAVY	15"-18"	22"-27"	36	12
	8-10	HEAVY	15"-18"	22"-27"	36	18
24"	< 3	LIGHT	6"	9"	18	12
	3-4	MEDIUM	9"-12"	14"-18"	24	16
	4-6	HEAVY	15"-18"	22"-27"	36	24
	6-8	HEAVY	15"-18"	22"-27"	36	24
30"	< 1	LIGHT	6"	9"	18	15
	1-2	MEDIUM	9"-12"	14"-18"	24	20
	2-4	HEAVY	15"-18"	22"-27"	36	25
	4-6	HEAVY	15"-18"	22"-27"	36	30
36"	< 2	MEDIUM	9"-12"	14"-18"	24	24
	2-3	HEAVY	15"-18"	22"-27"	36	30
	3-5	HEAVY	15"-18"	22"-27"	36	36
42"	< 1	MEDIUM	9"-12"	14"-18"	24	28
	1-2	HEAVY	15"-18"	22"-27"	36	35
	2-3	HEAVY	15"-18"	22"-27"	36	42
48"	< 1	MEDIUM	9"-12"	14"-18"	24	32
	1-2	HEAVY	15"-18"	22"-27"	36	40
	2-3	HEAVY	15"-18"	22"-27"	36	48



- CONSTRUCTION ENTRANCE SPECIFICATIONS:**
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  3. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
  4. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
  5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SKILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

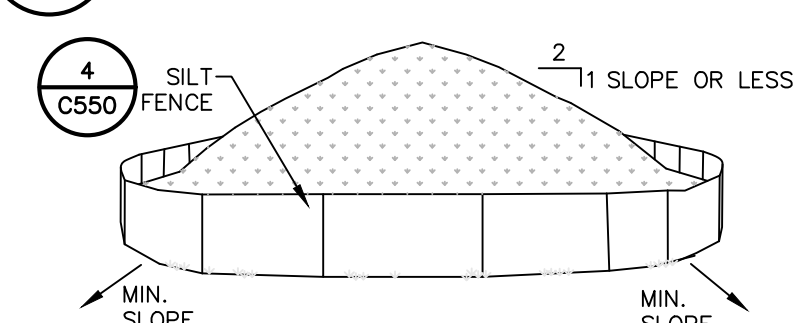
**1 STABILIZED CONSTRUCTION ACCESS DETAIL**

SCALE: NOT TO SCALE



**2 SILT SACK DETAIL**

SCALE: NOT TO SCALE



- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
  4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

**3 TEMPORARY SOIL STOCKPILE DETAIL**

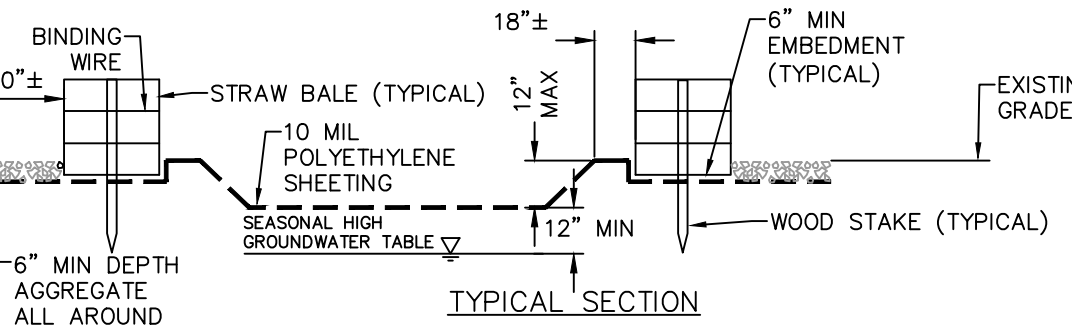
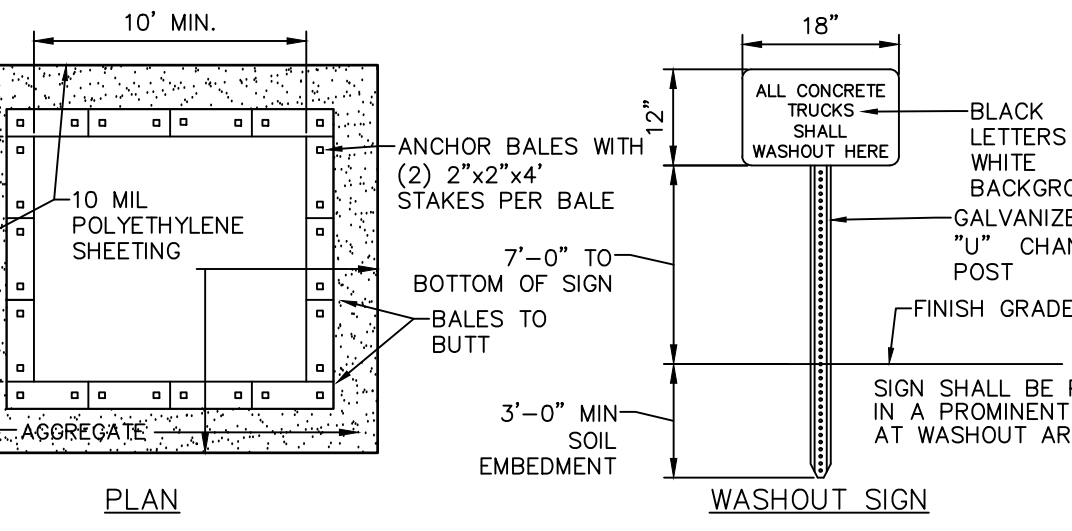
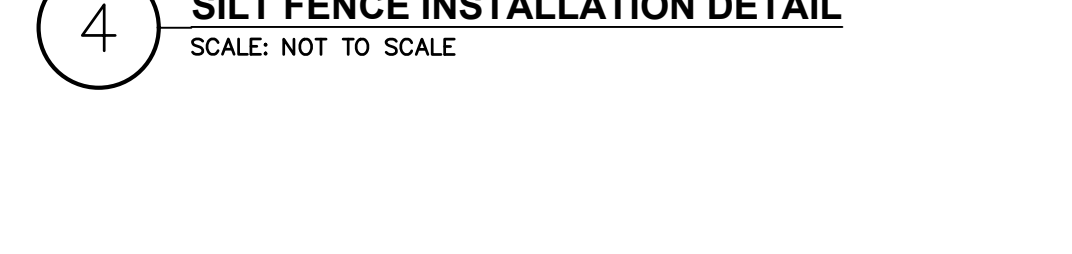
SCALE: NOT TO SCALE



- NOTES:**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OR HARDWOOD.
  2. FILTER FABRIC TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX MESH OPENING.
  3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
  4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
  5. MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE.
  6. SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
  7. SILT FENCE SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
  8. MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUN-OFF TO A SILT FENCE ARE:

**4 SILT FENCE INSTALLATION DETAIL**

SCALE: NOT TO SCALE

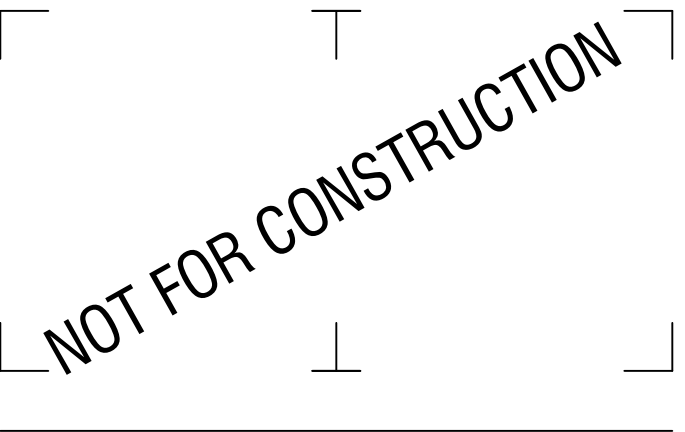


- NOTES:**
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
  2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
  3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL. THIS INCLUDES REPLACEMENT OF THE 10 MIL POLYETHYLENE SHEETING.
  4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
  5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
  6. AT LEAST WEEKLY, REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

**5 CONCRETE WASHOUT AREA DETAIL**

SCALE: NOT TO SCALE





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## Terra Group 201, LLC.

395 Route 212 Saugerties, NY 12477

## Terra Group 201, LLC.

Dutchess Ave and Garden Street Village of Wappingers, NY

NO.	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER: 2230010

DRAWN BY: TK

REVIEWED BY: CPL

ISSUED FOR: PLANNING BOARD APPROVAL

DATE: 12/7/22

DRAWING NAME:

## EROSION & SEDIMENT CONTROL NOTES

DRAWING NUMBER:

# C551

### TOPSOIL SPECIFICATIONS:

- EXISTING EXCESS TOPSOIL SHALL BE REMOVED AND STORED IN TOPSOIL STOCKPILES SUFFICIENTLY REMOVED FROM OTHER EXCAVATION OR DISTURBANCE TO AVOID MIXING. SILT FENCE SHALL BE INSTALLED AROUND TOPSOIL STOCKPILE AREAS.

### SITE PREPARATION:

- COMPLETE ROUGH GRADING AND FINAL GRADE, ALLOWING FOR DEPTH OF TOPSOIL TO BE ADDED.
- SCARIFY ALL COMPACT, SLOWLY PERMEABLE, MEDIUM AND FINE TEXTURED SUBSOIL AREAS. SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5%.
- REMOVE REFUSE, WOODY PLANT PARTS, STONES OVER 3 INCHES IN DIAMETER, AND OTHER LITTER.

### TOPSOIL MATERIALS:

- NEW TOPSOIL SHALL BE BETTER THAN OR EQUAL TO THE QUALITY OF THE EXISTING ADJACENT TOPSOIL. IT SHALL MEET THE FOLLOWING CRITERIA:
  - ORIGINAL LOAM TOPSOIL, WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL.
  - CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
  - CONTAINING A PH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
  - CONTAINING THE FOLLOWING WASHED GRADATIONS:
 

SIEVE DESIGNATION	% PASSING
1"	100
1/4"	97-100
NO 200	20-60

### APPLICATION AND GRADING:

- TOPSOIL SHALL BE DISTRIBUTED TO A UNIFORM DEPTH OF 4" OVER THE AREA. IT SHALL NOT BE PLACED WHEN IT IS PARTLY FROZEN, MUDDY, OR ON FROZEN SHOULDS OR OVER ICE, SNOW, OR STANDING WATER.
- TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5% SHALL BE PROMPTLY FERTILIZED, SEEDED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.

### VEGETATIVE COVER SPECIFICATIONS:

#### TEMPORARY VEGETATIVE COVER (DURING CONSTRUCTION):

- SITE PREPARATION (SAME AS PERMANENT VEGETATIVE COVER)
- SEED MIX: (APPLY AT RATE OF 3 TO 4 LBS PER 1000 SF)  
 AMOUNT BY:
 

WEIGHT SPECIES OR VARIETY	PURITY	GERMINATION
100% ANNUAL RYEGRASS	98%	90%
- SEEDING (SAME AS PERMANENT VEGETATIVE COVER)

#### PERMANENT VEGETATIVE COVER (AFTER CONSTRUCTION):

- SITE PREPARATION
  - BRING AREA TO BE SEEDED TO REQUIRED GRADE. A MINIMUM OF 4" OF TOPSOIL IS REQUIRED.
  - PREPARE SEEDBED BY LOOSENING SOIL TO A DEPTH OF 4 INCHES.
  - REMOVE ALL STONES OVER 1 INCH IN DIAMETER, STICKS AND FOREIGN MATTER FROM THE SURFACE.
  - LIME TO PH OF 6.5.
  - FERTILIZER: USE 5-10-5 (NPK) OR EQUIVALENT. APPLY AT RATE OF 4 LBS/1000 SF.
  - INCORPORATE LIME AND FERTILIZER IN THE TOP 4 INCHES OF TOPSOIL.
  - SMOOTH AND FIRM THE SEEDBED.
- SEED MIXTURE FOR USE ON LAWN AREAS: PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS.
 

**LAWN SEED MIX:** (APPLY AT RATE OF 5 TO 6 LBS PER 1000 SF)

SUN AND PARTIAL SHADE:	MINIMUM %
AMOUNT BY:	PURITY GERMINATION
50% KENTUCKY BLUE GRASS*	95% 80%
20% PERENNIAL RYE	98% 90%
30% CREEPING RED FESCUE	97% 85%
100% *MINIMUM 2 (EQUAL PROPORTIONS) VARIETIES AS LISTED IN CORNELL RECOMMENDATIONS FOR TURFGRASS.	

SHADE:	MINIMUM %
AMOUNT BY:	PURITY GERMINATION
25% KENTUCKY BLUE GRASS**	95% 80%
20% PERENNIAL RYE	98% 90%
35% CREEPING RED FESCUE	97% 85%
20% CHEWINGS RED FESCUE	97% 85%
100% **SHADE TOLERANT VARIETY	

#### LAWN SEED MIX: (APPLY AT RATE OF 5 TO 6 LBS PER 1000 SF)

- SEEDING
  - APPLY SEED UNIFORMLY BY CYCLONE SEEDER CULTI-PACKER OR HYDRO-SEEDER AT RATE INDICATED.
  - ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
    - A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS /ACRE MIN., TO BE APPLIED ONCE SEEDING IS COMPLETE.
    - WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY HYDROSEEDER AT RATE OF 2,000 LBS/ACRE.
  - ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.
  - IRRIGATE TO FULLY SATURATE SOIL LAYER, BUT NOT TO DISLUDGE PLANTING SOIL.
  - UNLESS OTHERWISE DIRECTED IN WRITING, SEED FROM MARCH 15TH TO JUNE 15TH, AND FROM AUGUST 15TH TO OCTOBER 15TH.

### COMPACTION REQUIREMENTS

LOCATION	COMPACTION	TESTING FREQUENCY
PIPE TRENCH BACKFILL (IN PAVED AREAS)	95% ASTM D1557	1 SERIES OF TESTS FOR EACH 150 FT OR LESS OF TRENCH LENGTH. SERIES INCLUDE 3 COMPACTION TESTS SPREAD EVENLY ALONG TRENCH PROFILE.
PIPE TRENCH BACKFILL (IN UNPAVED AREAS)	90% ASTM D1557	1 SERIES OF TESTS FOR EACH 150 LF OR LESS OF TRENCH LENGTH. SERIES INCLUDE 3 COMPACTION TESTS SPREAD EVENLY ALONG TRENCH PROFILE.
PIPE BEDDING AND PIPE ZONE BACKFILL	95% ASTM D1557	1 TEST FOR EACH 150 FT OR LESS OF TRENCH LENGTH.
PAVEMENT SUBBASE AND LAST LIFT OF SELECT GRANULAR FILL (FILL BETWEEN SHEET PILES)	95% ASTM D1557	1 TEST FOR EVERY 2,000 SQ FT, OF LIFT AREA BUT NO FEWER THAN TWO TESTS PER LIFT

### SPDES GENERAL PERMIT GP-0-20-001 COMPLIANCE NOTES:

- THE TOTAL AREA OF DISTURBANCE PLANNED FOR THIS PROJECT IS LESS THAN 1 ACRE THEREFORE A SPDES GENERAL PERMIT (GP-0-20-001) IS NOT REQUIRED.

### CONSTRUCTION SEQUENCING NOTES:

- PRIOR TO COMMENCING ANY CLEARING, GRUBBING, EARTHWORK ACTIVITIES, ETC. AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, TREE PROTECTION/BARRIER FENCES, STABILIZED CONSTRUCTION ENTRANCES, STORM DRAIN SEDIMENT FILTERS, DRAINAGE DITCH SEDIMENT FILTERS, ETC.) INDICATED ON THE PROJECT DRAWINGS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THEIR TRIBUTARY AREAS.
- PRIOR TO COMMENCING CLEARING, GRUBBING AND/OR EARTHWORK ACTIVITIES IN ANY OTHER AREA OF THE SITE, THE CONTRACTOR SHALL INSTALL INLET AND OUTLET PROTECTION MEASURES.
- TEMPORARY DIVERSION MEASURES SHALL BE LOCATED IN A MANNER THAT WILL ASSURE THAT THE AREA TRIBUTARY TO EACH DIVERSION DOES NOT EXCEED FIVE (5) ACRES. THESE TEMPORARY DIVERSION MEASURES SHALL BE INSPECTED DAILY AND REPAIRED/STABILIZED AS NECESSARY TO MINIMIZE EROSION.
- THE CONTRACTOR SHALL COMMENCE SITE CONSTRUCTION ACTIVITIES INCLUDING CLEARING & GRADING OF THE PROPOSED AREA OF DISTURBANCE AS REQUIRED.
- INSTALL PROTECTIVE MEASURES AT THE LOCATIONS OF ALL GRATE INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES.
- CONSTRUCT ALL UTILITIES, CURB AND GUTTER, GUTTER INLETS, AREA INLETS, AND STORM SEWER MANHOLES, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIP-RAP AT LOCATIONS SHOWN ON THE PLANS.
- FINALIZE PAVEMENT SUB-GRADE PREPARATION.
- REMOVE PROTECTIVE MEASURES AROUND INLETS AND MANHOLES NO MORE THAN 24 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
- INSTALL SUB-BASE MATERIAL AS REQUIRED FOR PAVEMENT.
- THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY ESTABLISH PERMANENT VEGETATION ON THE AREAS DISTURBED DURING THEIR REMOVAL.

### EROSION AND SEDIMENT CONTROL MEASURES:

- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.

### MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:

**PERMANENT AND TEMPORARY VEGETATION:**  
 INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

**STABILIZED CONSTRUCTION ENTRANCE:**  
 INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.

**SILT FENCE:**  
 INSPECT FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

**SOIL STOCKPILE:**  
 INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCK PILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

**DUST CONTROL:**  
 SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

**EROSION CONTROL BLANKET:**  
 INSPECT THE BLANKET EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. REPLACE WIRE STAPLES AS REQUIRED. REPAIR AND RESEED WHERE CRACKS AND DAMAGED VEGETATION IS EVIDENT. WHEN DAMAGED BEYOND REPAIR OR NO LONGER FUNCTIONING, THE BLANKET SHALL BE REPLACED.

**STORM DRAIN INLET PROTECTION:**  
 INSPECT ALL STORM DRAIN INLET PROTECTION DEVICES EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT FROM THE POOL AREA AS NECESSARY.

**SNOW AND ICE CONTROL:**  
 PARKING LOTS, ROADWAYS, AND DRIVEWAYS ADJACENT TO WATER QUALITY FILTERS SHALL NOT BE SANDED DURING SNOW EVENTS DUE TO HIGH POTENTIAL FOR CLOGGING FROM SAND IN SURFACE WATER RUNOFF. USE SALT ONLY FOR SNOW AND ICE CONTROL.

### GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016.
- EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTALL SILT FENCE AROUND SOIL STOCKPILES.
- APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
- SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

NOT FOR CONSTRUCTION

If is a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, landscape architect or geologist to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, landscape architect or geologist shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

**Terra Group 201, LLC.**  
395 Route 212 Saugerties, NY 12477

**Terra Group 201, LLC.**  
Dutchess Ave and Garden Street Village of Wappingers, NY

NO.	DATE	DESCRIPTION
Revisions		

PROJECT NUMBER:	2230010
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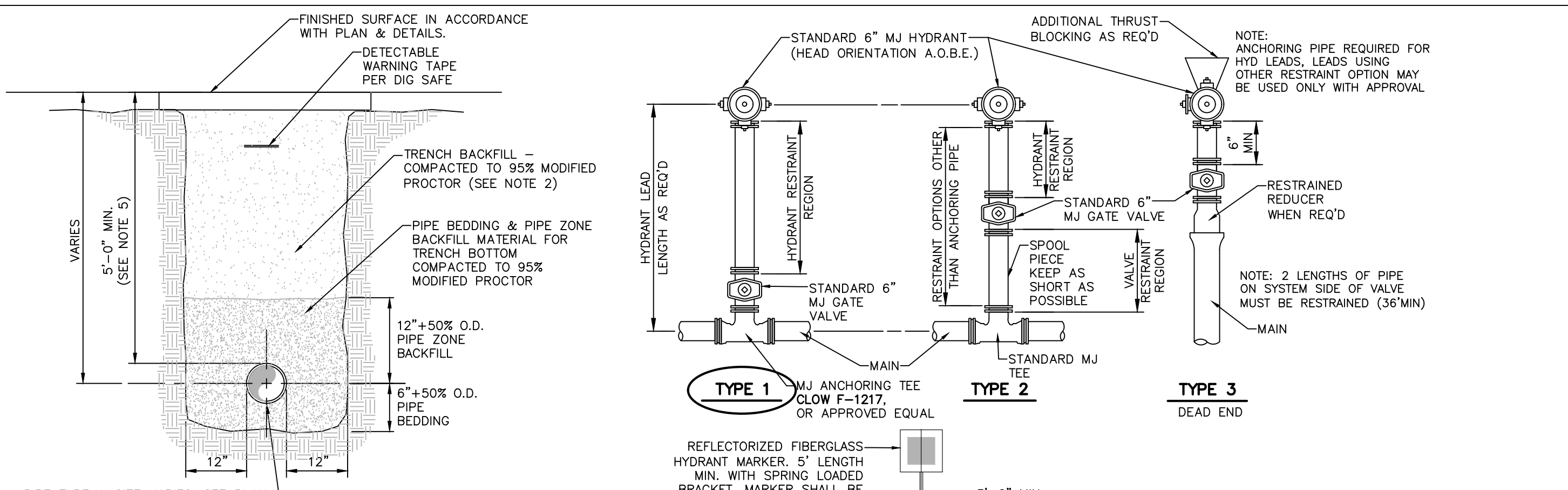
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REVIEWED BY:	CPL

ISSUED FOR:	PLANNING BOARD APPROVAL
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DATE:	12/7/22
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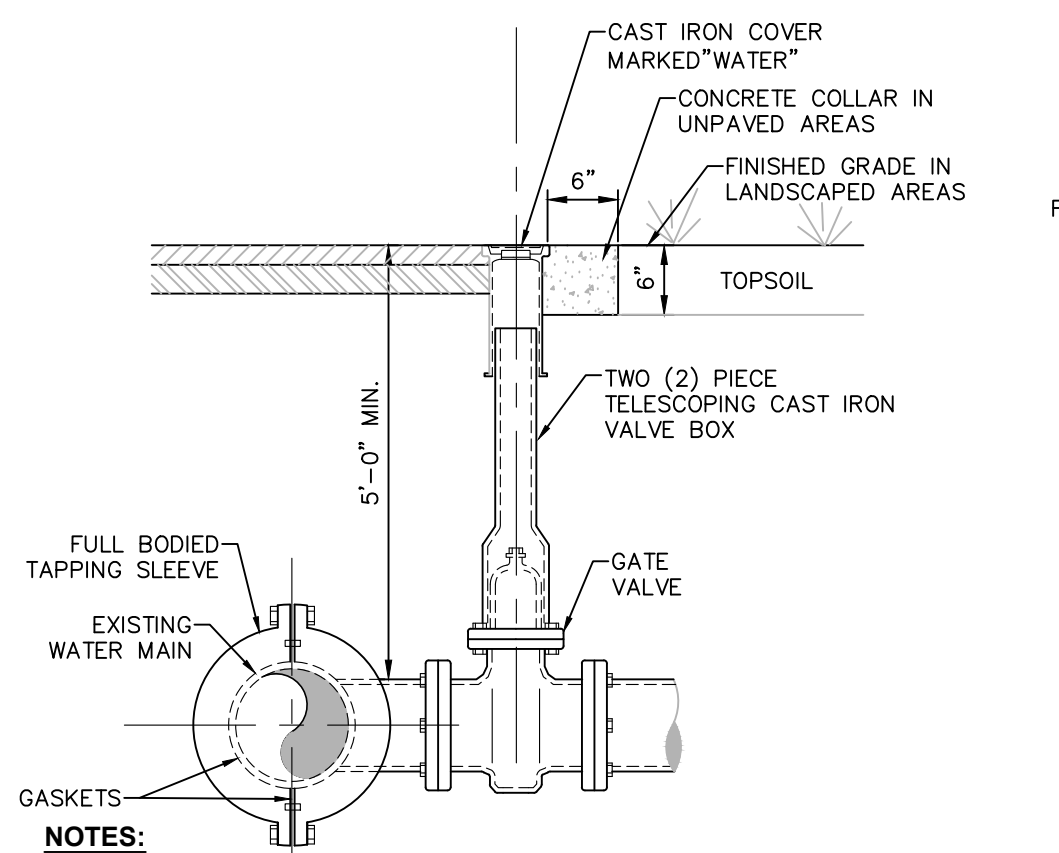
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**WATER SYSTEM DETAILS**



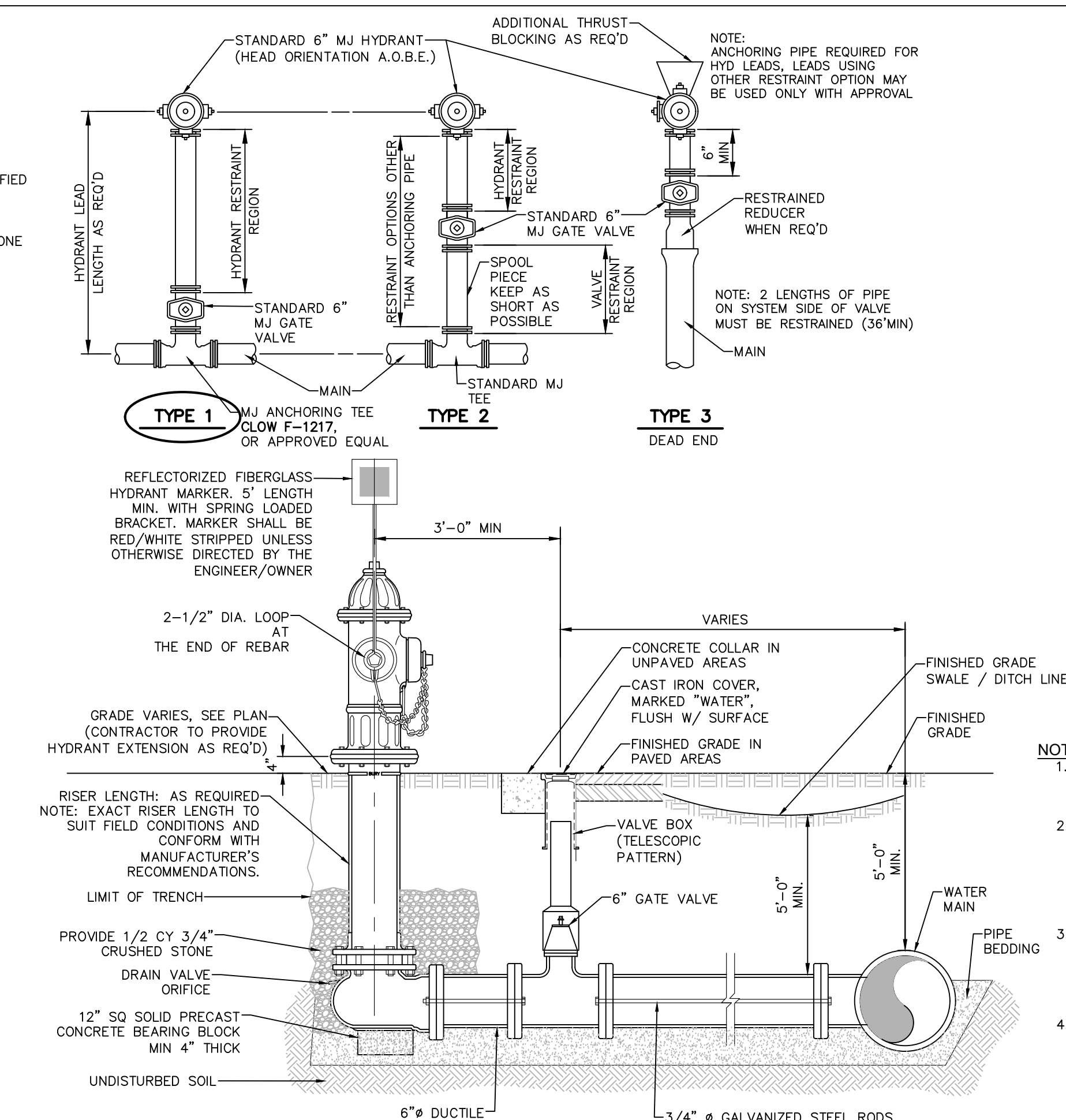
TYPE 1 MJ ANCHORING TEE CLOW F-1217, OR APPROVED EQUAL  
TYPE 2 STANDARD MJ GATE VALVE  
TYPE 3 DEAD END  
ADDITIONAL THRUST BLOCKING AS REQ'D  
NOTE: ANCHORING PIPE REQUIRED FOR HYD LEADS, LEADS USING OTHER RESTRAINT OPTION MAY BE USED ONLY WITH APPROVAL  
NOTE: 2 LENGTHS OF PIPE ON SYSTEM SIDE OF VALVE MUST BE RESTRAINED (36" MIN)

**1 PIPE TRENCH DETAIL (TYPICAL)**  
SCALE: NOT TO SCALE

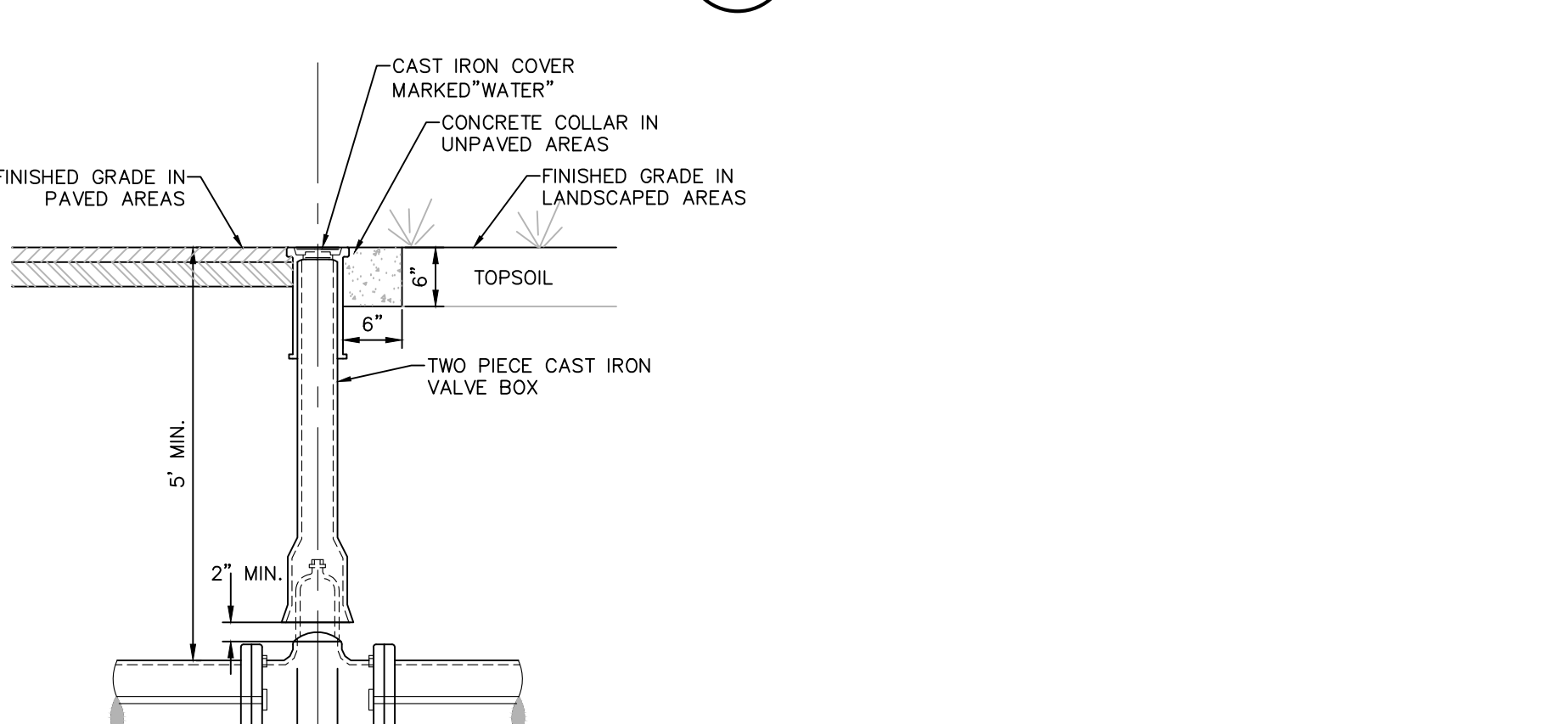


REFLECTORIZED FIBERGLASS HYDRANT MARKER, 5' LENGTH MIN. WITH SPRING LOADED BRACKET. MARKER SHALL BE RED/WHITE STRIPPED UNLESS OTHERWISE DIRECTED BY THE ENGINEER/OWNER  
2-1/2" DIA. LOOP AT THE END OF REBAR  
3'-0" MIN.  
CONCRETE COLLAR IN UNPAVED AREAS  
CAST IRON COVER, MARKED "WATER", FLUSH W/ SURFACE  
FINISHED GRADE IN PAVED AREAS  
FINISHED GRADE  
GRADE VARIES, SEE PLAN (CONTRACTOR TO PROVIDE HYDRANT EXTENSION AS REQ'D)  
RISER LENGTH: AS REQUIRED, NOTE: EXACT RISER LENGTH TO SUIT FIELD CONDITIONS AND CONFORM WITH MANUFACTURER'S RECOMMENDATIONS.  
LIMIT OF TRENCH  
PROVIDE 1/2 CY 3/4" CRUSHED STONE  
DRAIN VALVE ORIFICE  
12" S.O. SOLID PRECAST CONCRETE BEARING BLOCK MIN 4" THICK  
UNDISTURBED SOIL  
6" DUCTILE IRON PIPE  
3/4" GALVANIZED STEEL RODS W/MALLEABLE IRON NUTS AT 180" SPACING  
WATER MAIN  
PIPE BEDDING  
5'-0" MIN.  
6" GATE VALVE  
VALVE BOX (TELESCOPIC PATTERN)  
FINISHED GRADE IN PAVED AREAS  
FINISHED GRADE SWALE / DITCH LINE

**2 TAPPING SLEEVE AND VALVE DETAIL**  
SCALE: NOT TO SCALE



**3 HYDRANT ASSEMBLY DETAIL**  
SCALE: NOT TO SCALE



NOTES:  
1. NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE NYS HEALTH DEPARTMENT. OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.  
2. WHEN IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS INDICATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT, DUCTILE IRON PIPE OR PVC WATER WORKS GRADE PRESSURE PIPE FOR 10' EACH SIDE OF CROSSING AND SHALL BE PRESSURE TESTED TO 150psi TO ASSURE WATER TIGHTNESS.

**4 TYPICAL GATE VALVE DETAIL**  
SCALE: NOT TO SCALE

**WATER MAIN OR LATERAL**



**5 SANITARY/SEWER AND WATERMAIN SEPARATION DETAIL**  
SCALE: NOT TO SCALE



**6 DUCTILE IRON SERVICE PIPE**  
SCALE: NOT TO SCALE



**7 WATERLINE OFFSET DETAIL**  
SCALE: NOT TO SCALE



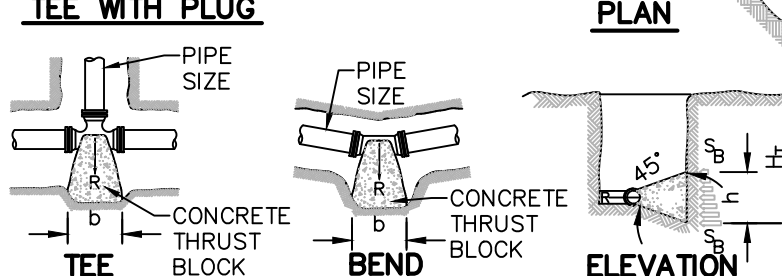
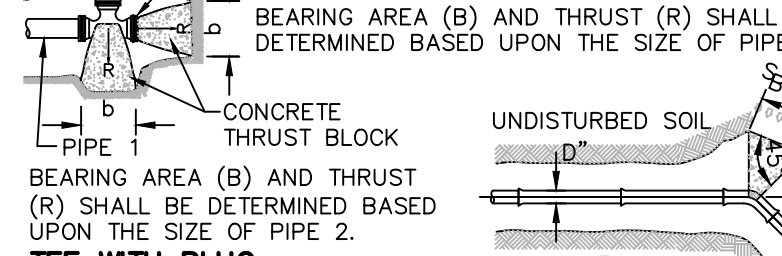
**5 SANITARY/SEWER AND WATERMAIN SEPARATION DETAIL**  
SCALE: NOT TO SCALE



PIPE SIZE (INCHES)	REQUIRED BEARING AREAS -B (SQFT) FOR BEARING BLOCKS*			
	TEE	90° BEND	45° BEND	22 1/2° / 11 1/4° BEND
4	2.0	2.8	1.5	0.8
6	4.2	5.9	3.2	1.6
8	7.2	10.1	5.7	2.8
10	10.9	15.4	8.3	4.2
12	15.4	21.8	11.8	6.0
14	20.6	29.1	15.8	8.0
16	26.8	37.9	20.5	10.4
18	33.6	47.5	25.7	13.1
20	41.2	58.2	31.5	16.1
24	58.6	83.1	45.0	22.9
30	90.5	128.0	69.2	35.3
36	129.6	183.3	99.1	50.5

\*FACTOR OF SAFETY=1.5 SOIL BEARING OF 3,000 PSF 225 PSI DESIGN PRESSURE

BEARING AREA (B) = b x h



NOTES:

- CONCRETE SHALL NOT TO OVERLAP ANY JOINT.
- THRUST BLOCKS SHALL BE CONFIGURED IN A MANNER THAT DOES NOT INTERFERE WITH REMOVAL OR INSTALLATION OF ANY JOINTING COMPONENTS.
- FOR REDUCERS, USE MECHANICAL JOINT FITTINGS WITH RETAINER GLANDS.
- BEARING SURFACE SHALL, WHERE POSSIBLE, BE PLACED AGAINST UNDISTURBED SOIL. WHERE THAT IS NOT POSSIBLE, THE FILL BETWEEN THE BEARING SURFACE AND UNDISTURBED SOIL MUST BE COMPACTED TO AT LEAST 90% STANDARD PROCTOR DENSITY.
- BLOCK HEIGHT (h) SHALL BE EQUAL TO OR LESS THAN ONE-HALF THE TOTAL DEPTH TO THE BOTTOM OF THE BLOCK, (HT), BUT NOT LESS THAN THE PIPE DIAMETER (D).
- BLOCK HEIGHT (h) SHALL BE ESTABLISHED SUCH THAT THE CALCULATED BLOCK WIDTH (b) VARIES BETWEEN ONE AND TWO TIMES THE HEIGHT.
- VALUES FOR TEES APPLY TO TEES, END PLUGS, CAPS, AND TAPPING SLEEVES.
- REQUIRED BEARING AREAS ARE DEVELOPED TO RESIST THRUSTS RESULTING FROM 150 PSI WORKING PRESSURE PLUS 50%(75 PSI) SURGE ALLOWANCE RESULTING IN 225 PSI TOTAL INTERNAL PRESSURE. REQUIRED BEARING AREAS ARE BASED UPON AN ALLOWABLE SOIL BEARING CAPACITY OF 3,000 POUNDS PER SQUARE FOOT. IN RESPONSE TO OTHER SOIL CONDITIONS ENCOUNTERED, BEARING AREAS REQUIRED MAY BE MODIFIED BY THE ENGINEER.

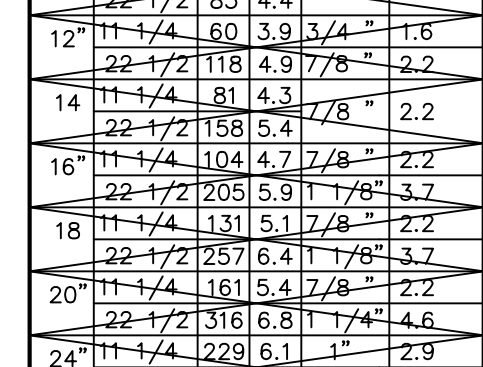
SOIL	BEARING STRENGTH Sp (LB/SQ FT)
MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000

- IN MUCK, PEAT, OR RECENTLY PLACED FILL, ALL THRUSTS SHALL BE RESISTED BY PILES OR TIE RODS TO SOLID FOUNDATIONS, OR BY REMOVAL OF SUCH UNSTABLE MATERIAL AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THE THRUSTS; ALL AS REQUIRED BY THE ENGINEER.
- CONCRETE THRUST BLOCK SHALL BE USED ONLY AS ALLOWED BY THE PROJECT PLANS AND/OR SPECIFICATION. (IF RESTRAINED JOINT PIPE IS TO BE USED SEE SCHEDULE OF JOINT RESTRAINT PIPE.)

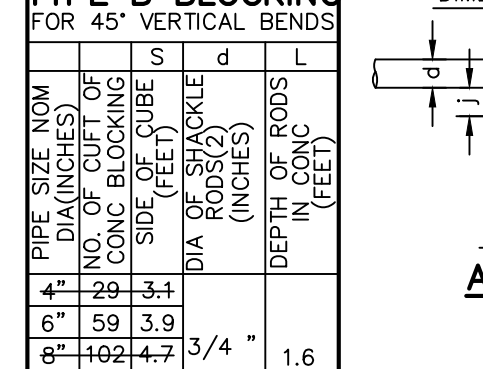
**1 CONCRETE THRUST BLOCK DETAILS**  
SCALE: NOT TO SCALE

PIPE SIZE (INCHES)	TYPE A BLOCKING FOR 11 1/4° - 22 1/2° VERT BENDS			
	VB	S	d	L
4	11 1/4	8	2.0	3/4
6	11 1/4	16	2.5	1.6
8	11 1/4	24	3.2	2.2
10	11 1/4	32	4.0	3.0
12	11 1/4	40	4.8	3.8
14	11 1/4	48	5.6	4.6
16	11 1/4	56	6.4	5.4
18	11 1/4	64	7.2	6.2
20	11 1/4	72	8.0	7.0
24	11 1/4	96	10.4	9.2
30	11 1/4	128	13.6	12.0
36	11 1/4	160	17.6	15.6

\*FOR 60KSI THREADED REBAR



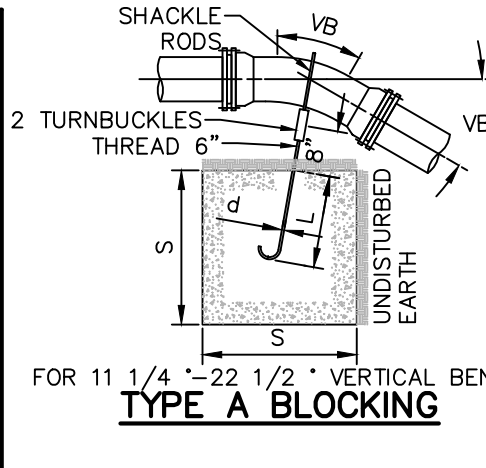
FOR 11 1/4° - 22 1/2° VERTICAL BENDS  
**TYPE A BLOCKING**



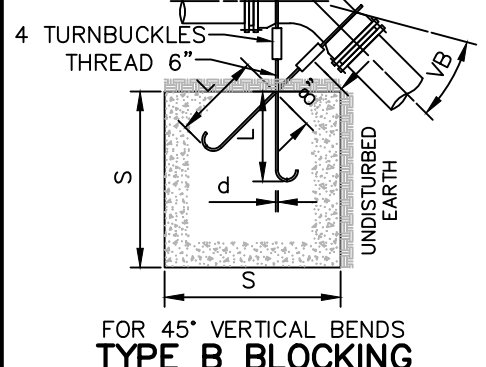
FOR 45° VERTICAL BENDS  
**TYPE B BLOCKING**

PIPE SIZE (INCHES)	TYPE B BLOCKING FOR 45° VERTICAL BENDS			
	VB	S	d	L
4	11 1/4	8	2.0	3/4
6	11 1/4	16	2.5	1.6
8	11 1/4	24	3.2	2.2
10	11 1/4	32	4.0	3.0
12	11 1/4	40	4.8	3.8
14	11 1/4	48	5.6	4.6
16	11 1/4	56	6.4	5.4
18	11 1/4	64	7.2	6.2
20	11 1/4	72	8.0	7.0
24	11 1/4	96	10.4	9.2
30	11 1/4	128	13.6	12.0
36	11 1/4	160	17.6	15.6

**2 GRAVITY THRUST BLOCK DETAILS**  
SCALE: NOT TO SCALE



ACI STANDARD HOOKS



RECOMMENDED 180° END HOOK DIMS

BAR SIZE	J (IN)
#6	6
#7	7
#8	8
#9	11 1/4
#10	12 3/4
#11	14 1/4

**3 JOINT RESTRAINT SCHEDULE AND NOTES**  
SCALE: NOT TO SCALE

PIPE SIZE (INCHES)	SCHEDULE OF JOINT RESTRAINT-- (PVC OR POLYWRAPPED DIP) (LENGTH OF PIPE EACH SIDE OF FITTING TO BE RESTRAINED IN FEET "L")															
	FITTING TYPE						REDUCER									
	90°	45°	22 1/2°	11 1/4°	TEE	VALVE	HEAD END	24"	18"	16"	14"	12"	10"	8"	6"	4"
30"	241	100	48	24	202	206	206	72	130	145	159					
24"	196	82	39	20	163	166	166		91	108	123	136				
18"	149	62	30	15	122	125	125		26	49	66	85	99			
16"	134	56	27	14	109	112	112		26	48	67	82	95			
14"	118	49	24	12	95	98	98		26	47	64	79	89			
12"	102	43	21	11	82	85	85		25	45	62	74				
10"	86	36	17	9	68	71	71		25	44	58					
8"	71	30	15	7	56	59	59		25	43						
6"	54	22	11	6	41	44	44		25							
4"	38	16	8	4	28	31	31									

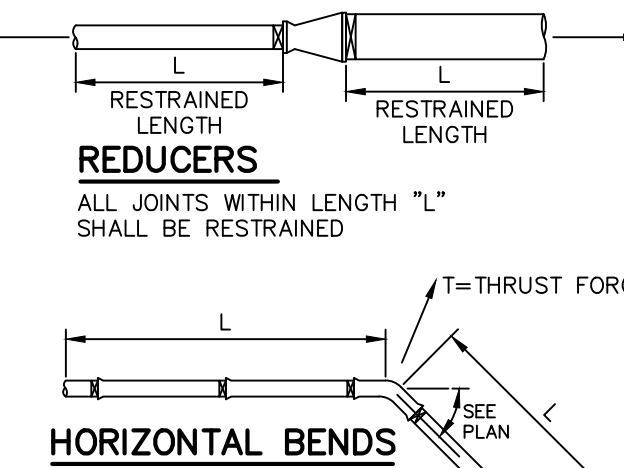
NOTES:

- THE LENGTH OF PIPE REQUIRING RESTRAINT IS BASED UPON THE FOLLOWING ASSUMPTIONS:
  - BEDDING TYPE 2 - FLAT BOTTOM TRENCH, BACKFILL LIGHTLY CONSOLIDATED TO CENTER LINE OF PIPE.
  - SOIL TYPE CLAY 1 - CLAY OF MEDIUM TO LOW PLASTICITY, LL<50, <25% COARSE PARTICLES [CL & CL-ML] :
  - CL - INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS. LEAN CLAYS
  - ML - INORGANIC SILTS, VERY FINE SAND, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS.
- PIPE TABLE CALCULATION IS BASED ON PVC OR POLYWRAPPED DIP
- DEPTH TO TOP OF PIPE 5'-0" MINIMUM
- MAXIMUM OPERATING PRESSURE OF 150 PSI
- FACTOR OF SAFETY OF 1.5

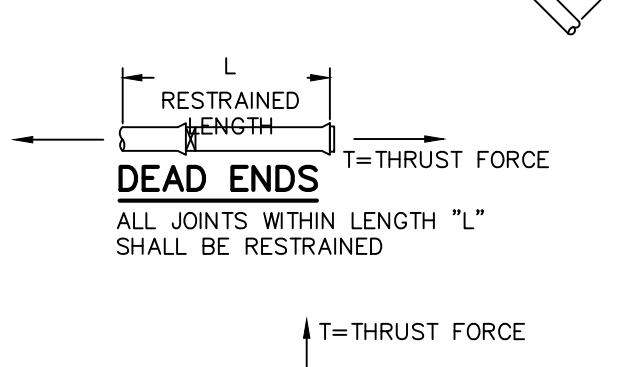
- FOR END PLUGS, USE RESTRAIN PIPE LENGTH GIVEN FOR DEAD END FITTING.
- THE LENGTH ("L") OF NEW PIPE TO BE RESTRAINED IS THE LENGTH FOR EACH SIDE OF THE FITTING.
- THE ABOVE INFORMATION WAS PROVIDED USING THE THRUST RESTRAINT PROGRAM ISSUED BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION (DIPRA) AND IS BASED ON THE ASSUMPTIONS LISTED IN NOTE 1. RESTRAINED LENGTH REQUIREMENTS FOR FIELD CONDITIONS AND PIPE SIZES DIFFERING FROM THOSE LISTED ABOVE SHOULD BE EVALUATED SEPARATELY.

- RESTRAINED JOINT PIPE AND FITTINGS SHALL BE USED ONLY AS ALLOWED BY THE PROJECT PLANS AND/OR SPECIFICATION. (IF THRUST BLOCKS ARE USED SEE THRUST BLOCK DETAIL)
- TEE FITTINGS: PIPE SIZE SHOWN FOR THE TEE IS THE SIZE OF THE RUN. THE RESTRAINED LENGTH SHOWN IS FOR THE BRANCH. THE VALUE OF THE RESTRAINED LENGTH ASSUMES THAT THE SIZE OF THE BRANCH IS EQUAL TO OR LESS THAN THE RUN. THE VALUE OF THE Lr-USED IN THE TABLE IS 10 FEET. (Lr= TOTAL LENGTH BETWEEN FIRST JOINTS ON EITHER SIDE OF THE TEE ON THE RUN.)

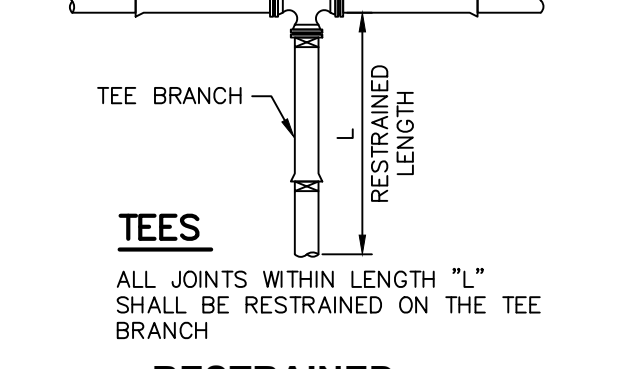
**3 JOINT RESTRAINT SCHEDULE AND NOTES**  
SCALE: NOT TO SCALE



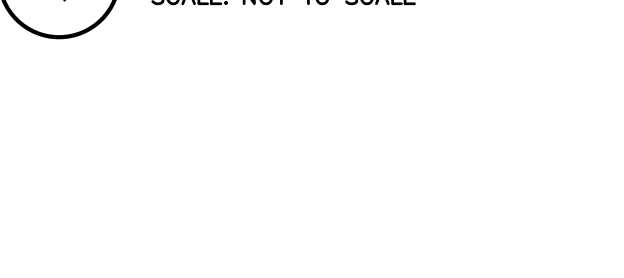
**REDUCERS**  
ALL JOINTS WITHIN LENGTH "L" SHALL BE RESTRAINED



**HORIZONTAL BENDS**  
ALL JOINTS WITHIN LENGTH "L" SHALL BE RESTRAINED

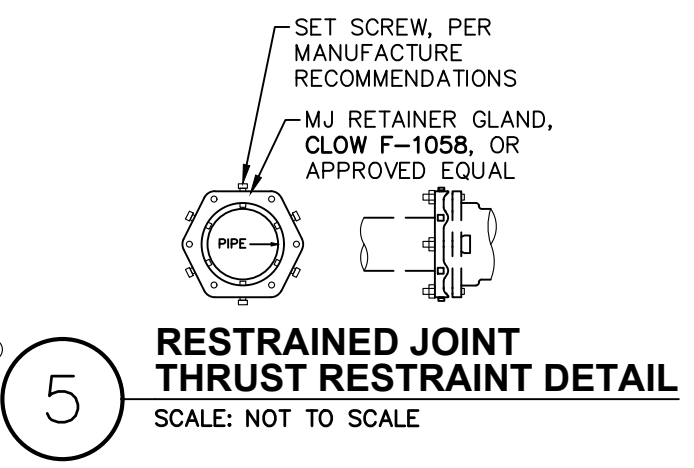


**DEAD ENDS**  
ALL JOINTS WITHIN LENGTH "L" SHALL BE RESTRAINED



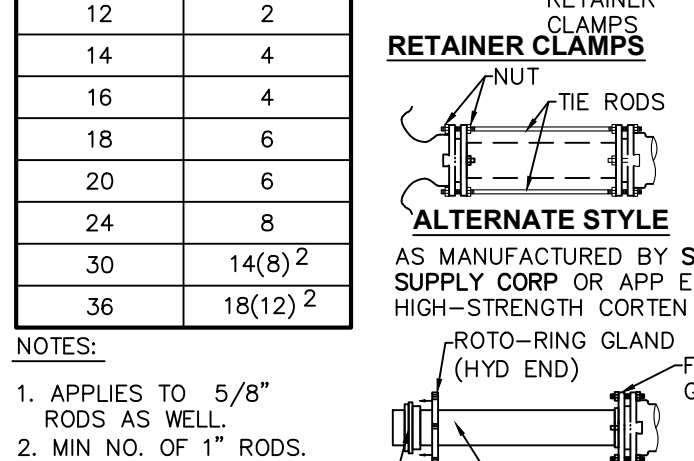
**TEES**  
ALL JOINTS WITHIN LENGTH "L" SHALL BE RESTRAINED ON THE TEE BRANCH

**4 RESTRAINED JOINT PIPE DIAGRAMS**  
SCALE: NOT TO SCALE



**5 RESTRAINED JOINT THRUST RESTRAINT DETAIL**  
SCALE: NOT TO SCALE

PIPE SIZE (INCHES)	NO. OF TIE RODS REQUIRED	
	PIPE SIZE	MIN. NO. OF 3/4" RODS
2	2	1
3	2	1
4	2	1
6	2	2
8	2	2
10	2	2
12	2	2
14	4	4
16	4	4
18	6	6
20	6	6
24	8	8
30	14(8)	2
36	18(12)	2



**6 JOINT RESTRAINT OPTIONS**  
SCALE: NOT TO SCALE

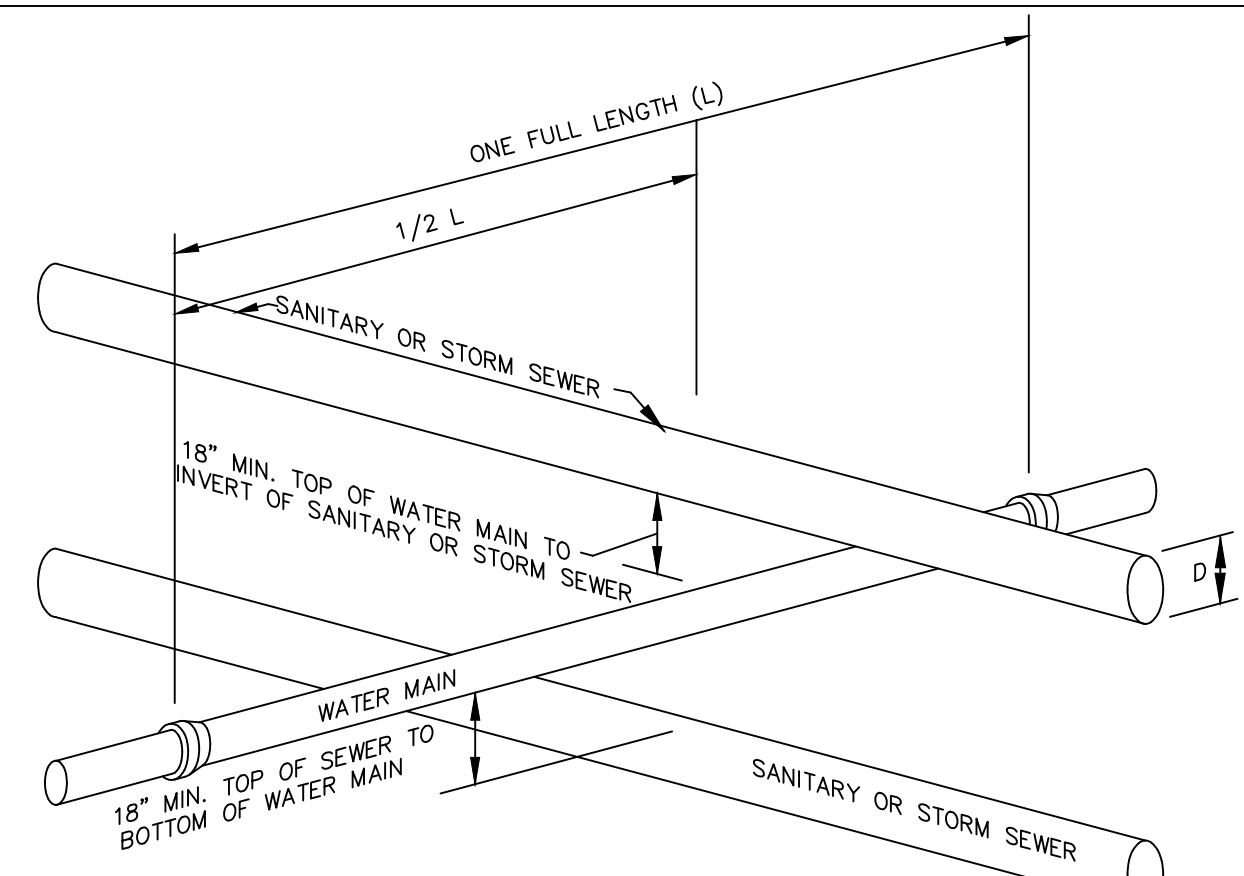
- WATER MAIN NOTES:**
- ALL WATER LINES SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, OR PVC C900 UNLESS OTHERWISE SPECIFIED BY OR APPROVED BY THE ENGINEER.
  - THE WATER LINE MAY BE DEFLECTED WITHIN PIPE SPECIFICATIONS OR LAID DEEPER IN AREAS WHERE CROSSINGS WITH THE SANITARY LINE OCCUR, TO ACHIEVE THE REQUIRED 1.5' VERTICAL SEPARATION DISTANCE. (SEE WATERLINE OFFSET DETAIL FOR FURTHER INFORMATION).
  - WATER MAINS SHALL BE TESTED PER AWWA SECTION C 600 OR C605. (SEE WATER MAIN TESTING NOTES)
  - THE WATER MAIN IS TO BE INSTALLED AT A CONTINUOUS GRADE WITH NO ABRUPT HIGH OR LOW POINTS.
  - THRUST RESTRAINT:
    - THE WATER MAIN THRUST RESTRAINT METHOD USED FOR THIS PROJECT SHALL BE RESTRAINED JOINT PIPE AND FITTINGS.
    - IN ADDITION TO THE RESTRAINED JOINT PIPE AND FITTINGS, CONCRETE THRUST BLOCKS ARE REQUIRED ON ALL FITTINGS AT CONNECTIONS TO EXISTING WATER MAINS. IF THE CONNECTION TO AN EXISTING MAIN IS MADE WITH A STRAIGHT RUN OF PIPE AND THE CONNECTION TO THE EXISTING MAIN FALLS WITHIN THE RESTRAINED LENGTH REQUIRED FOR THE FIRST PROPOSED FITTING BEYOND THE CONNECTION THEN A CONCRETE THRUST BLOCK SHALL BE INSTALLED AT THAT FITTING.
    - IN GENERAL CONCRETE THRUST BLOCKS MAY BE USED TO SUPPLEMENT, BUT NOT REPLACE, THE RESTRAINED JOINT PIPE AND FITTINGS WHERE NEEDED.
    - DISINFECTION OF PORTABLE WATER MAINS:
      - DISINFECTION WILL BE ACCOMPLISHED AFTER PIPE HAS PASSED ANY LEAKAGE TESTS.
      - THE MUNICIPALITY AND THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF PRESSURE TESTING, LEAKAGE TESTING, AND DISINFECTION.
      - DISINFECTION WILL BE PERFORMED IN ACCORDANCE WITH AWWA STANDARD C 651-05 OR LATEST EDITION. (EXCLUDING SECTION 4.4.2 COVERING THE TABLET METHOD). (SEE WATER MAIN DISINFECTION NOTES)

NOT FOR CONSTRUCTION

If it is a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, land surveyor, landscape architect or geologist to alter an item in any way. If an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, land surveyor, landscape architect or geologist shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

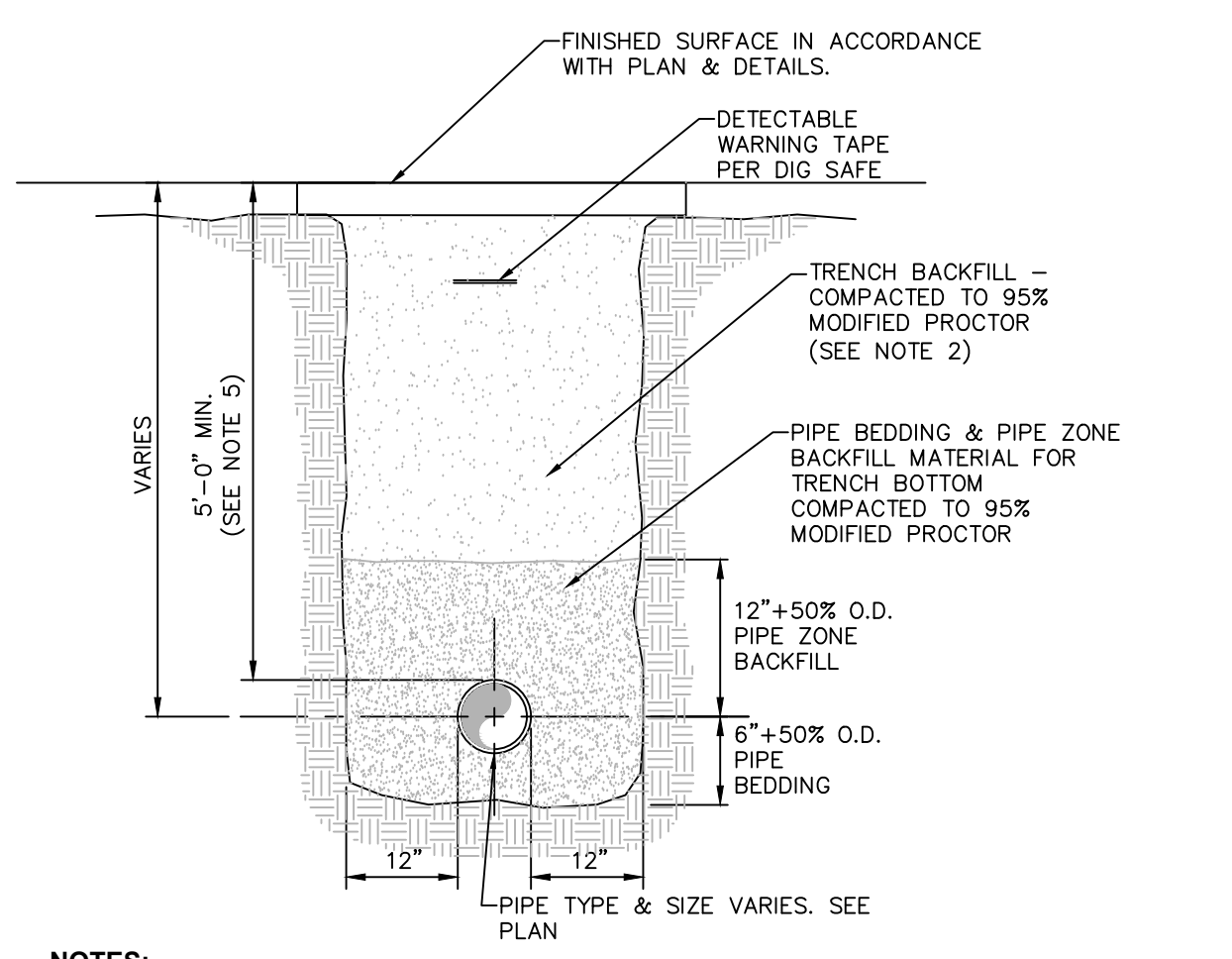
NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:	2230010	
DRAWN BY:	TK	
REVIEWED BY:	CPL	
ISSUED FOR:	PLANNING BOARD APPROVAL	
DATE:	12/7/22	
DRAWING NAME:		





**NOTES:**  
 IF 18" VERTICAL SEPARATION CAN NOT BE ACHIEVED AT LOCATIONS OF WATER MAIN & SEWER CROSSINGS, CONTRACTOR SHALL CONSTRUCT EITHER OF THE FOLLOWING OPTIONS:  
 1. CONSTRUCT SEWER OF PVC WATERWORKS GRADE PRESSURE PIPE MATERIAL 10' ON EACH SIDE OF THE WATER MAIN AND TEST TO 150PSI TO ASSURE TIGHTNESS.  
 2. EITHER THE WATER MAIN OR THE SEWER LINE MAY BE ENCASED IN A WATER TIGHT CARRIER PIPE WHICH EXTENDS 10 FEET ON BOTH SIDES OF THE CROSSING. THE CARRIER PIPE SHALL BE OF MATERIAL APPROVED FOR THE USE IN WATER MAIN CONSTRUCTION.

**1 SECTION WATER/SEWER SEPARATION REQUIREMENTS**  
 SCALE: NOT TO SCALE



**NOTES:**  
 1. PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE AN IMPORTED NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%

2. TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
4"	100%
NO. 40	0-70%
NO. 200	0-10%

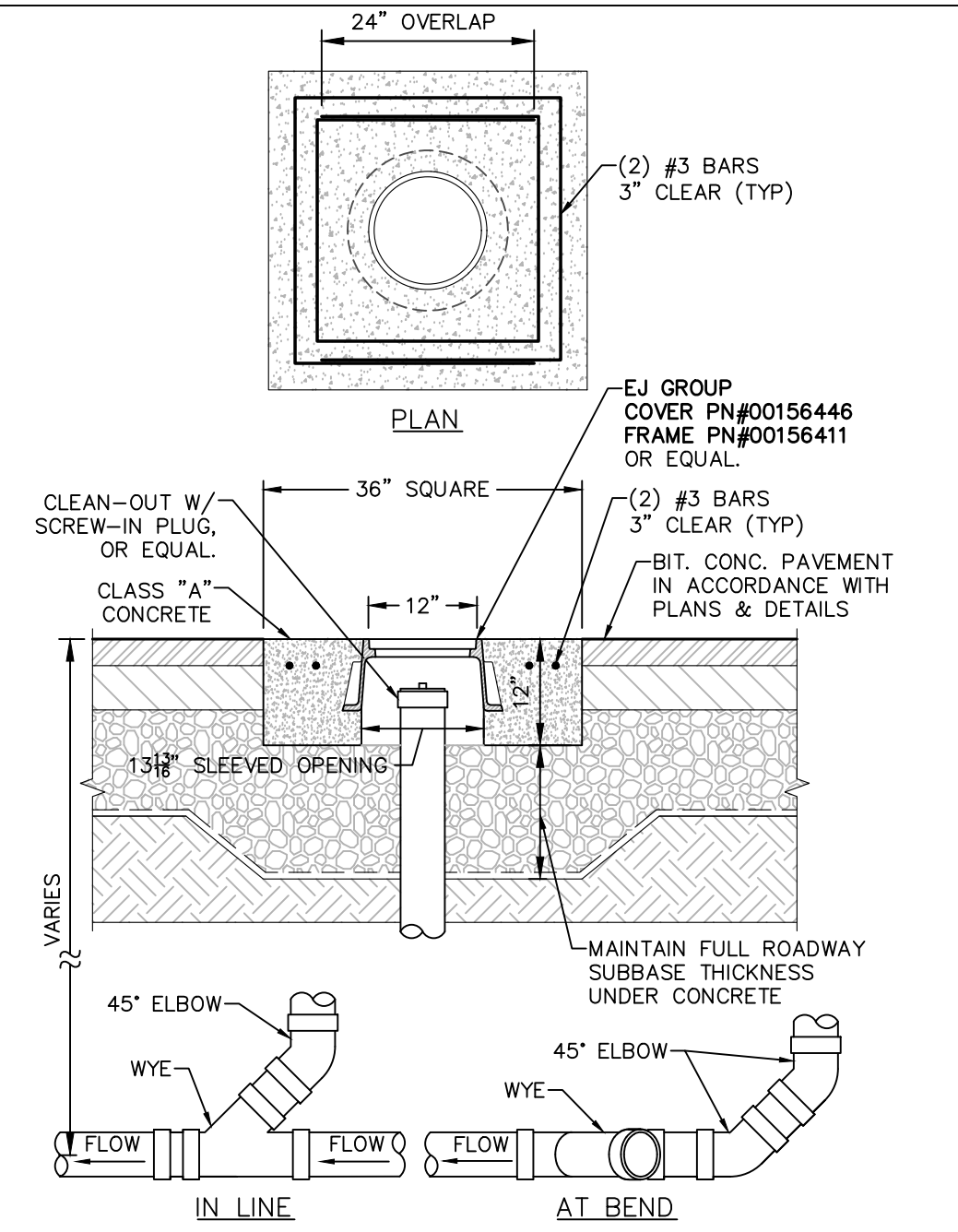
IN NON-TRAFFIC UNPAVED AREAS TRENCH BACKFILL CAN BE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER AND COMPACTED TO 90% MODIFIED PROCTOR.

3. INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.

4. TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.

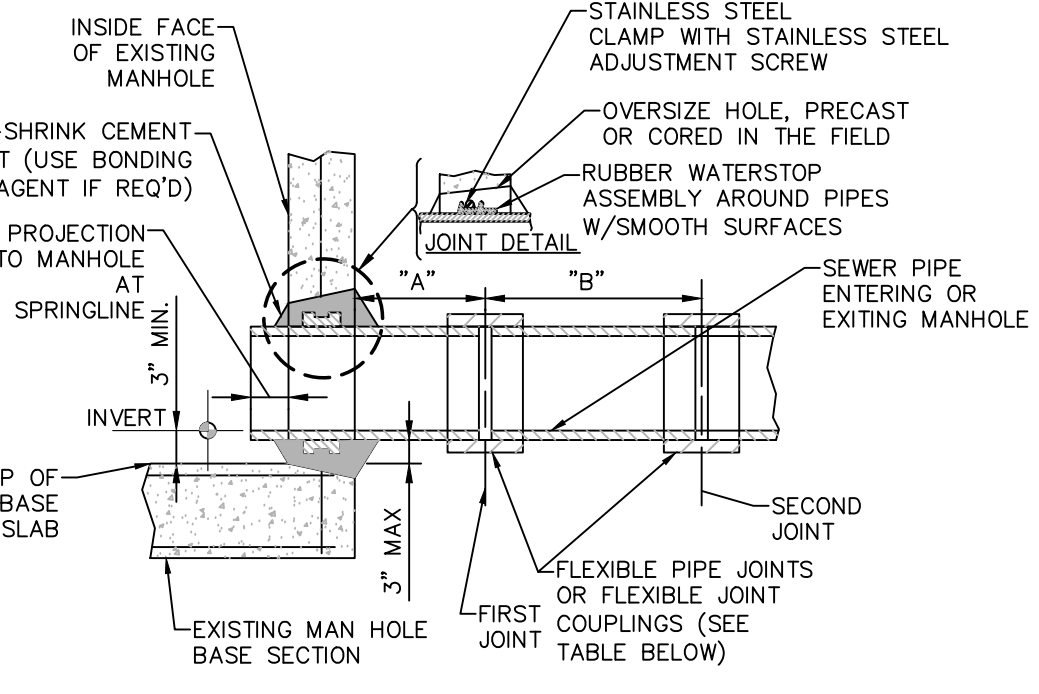
5. 5'-0" MIN COVER SHALL BE APPLIED TO WATER MAIN OR SANITARY SEWER FORCE MAINS ONLY.

**2 PIPE TRENCH DETAIL (TYPICAL)**  
 SCALE: NOT TO SCALE



**NOTES:**  
 1. PIPE AND FITTINGS TO MATCH SERVICE LINE PER PLAN.  
 2. TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM DRAINAGE SYSTEM.

**3 CLEAN OUT - TRAFFIC AREAS**  
 SCALE: NOT TO SCALE

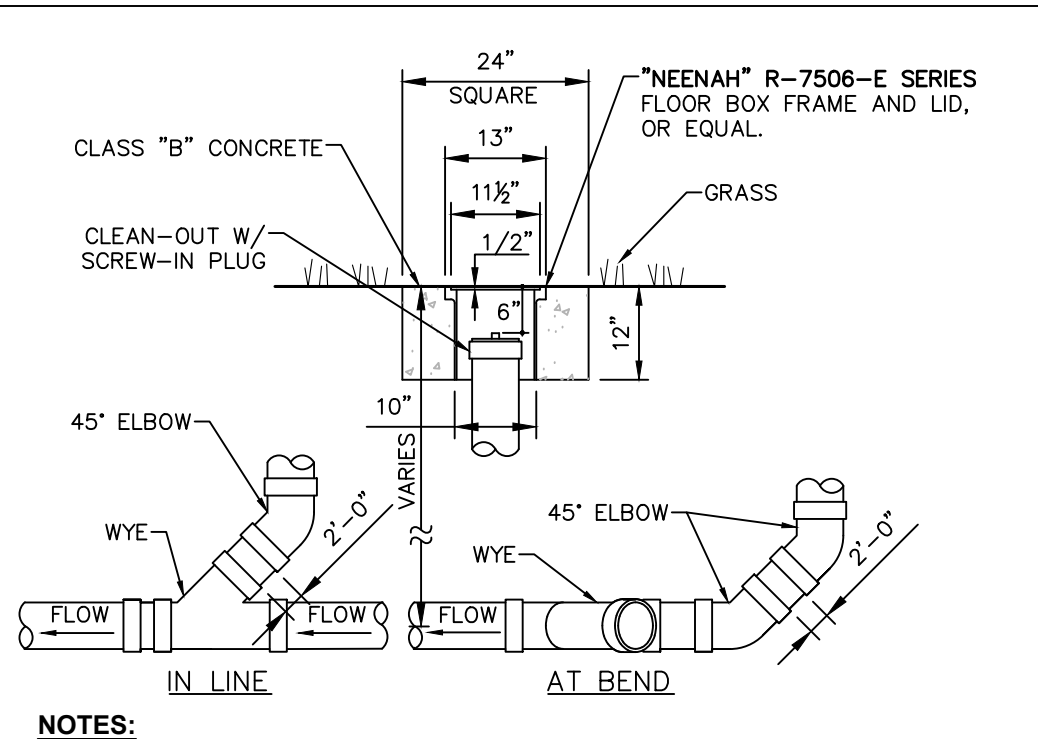


**FLEXIBLE JOINT & WATERSTOP REQUIREMENTS**

SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	"A" DISTANCE (FEET)	"B" DISTANCE (FEET)	MH WATER STOP REQD
DUCTILE IRON	STD RUBBER GASKET PIPE JOINT ONLY	10'MAX	NO LIMIT	YES
PVC	SPECIAL FLEXIBLE JOINT COUPLING	1'MAX	3'MAX	YES

**NOTES:**  
 1. THIS DETAIL SHALL BE USED AT NO EXTRA COST IN PLACE OF EITHER OF THE PIPE-TO-MANHOLE CONNECTION DETAILS ONLY WHEN CONNECTING TO EXISTING MANHOLES THAT HAVE NO FLEXIBLE RUBBER BOOT PROVIDED.  
 2. REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

**4 PIPE CONNECTION TO EXISTING MANHOLE-CEMENT GROUT SEAL WITH WATER STOP**  
 SCALE: NOT TO SCALE



**NOTES:**  
 1. SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034 SDR-35.  
 2. TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM DRAINAGE SYSTEM.

**5 CLEAN OUT - NON TRAFFIC AREAS**  
 SCALE: NOT TO SCALE

NOT FOR CONSTRUCTION

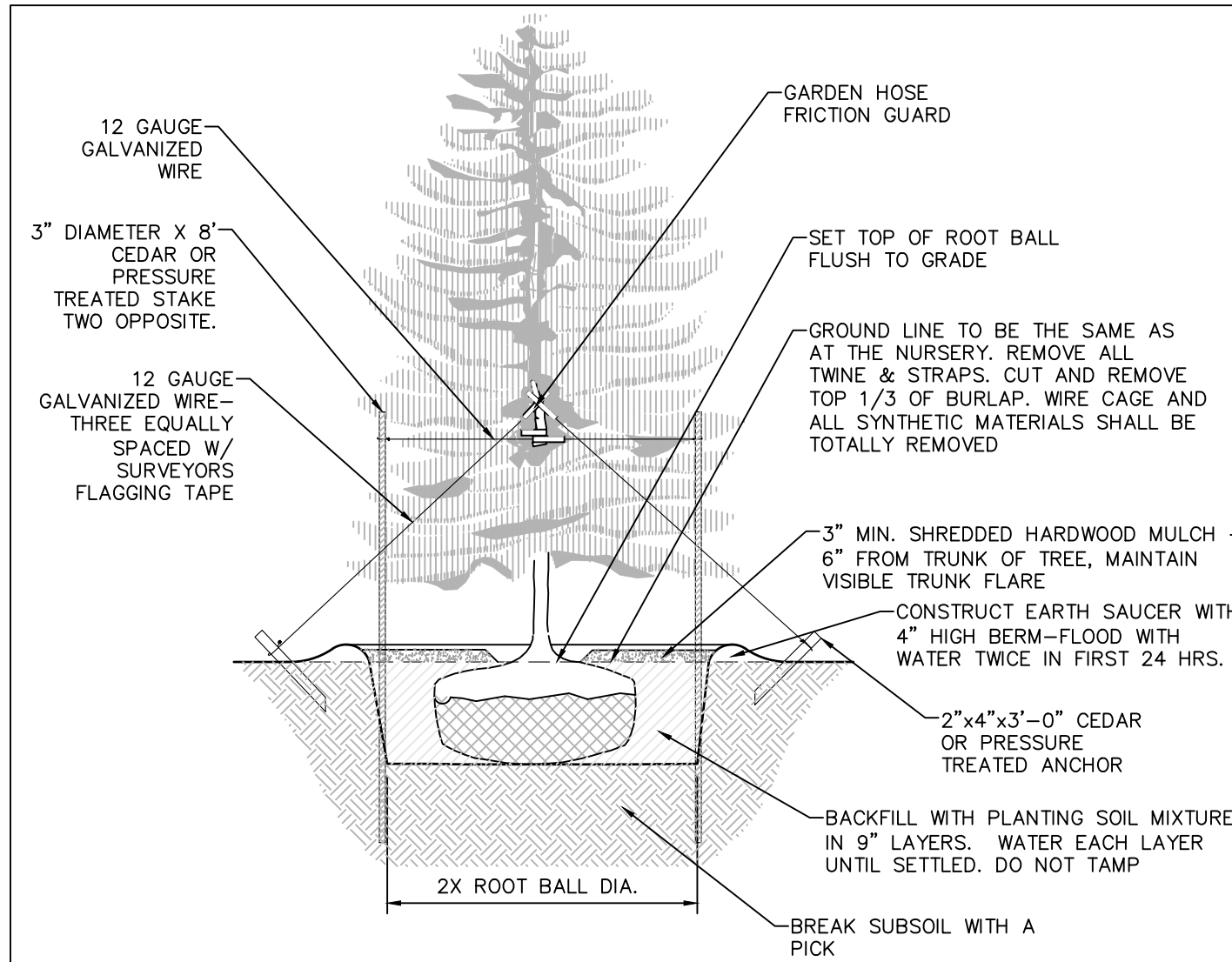
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**Terra Group 201, LLC.**  
 395 Route 212 Saugerties, NY 12477

**Terra Group 201, LLC.**  
 Dutchess Ave and Garden Street Village of Wappingers, NY

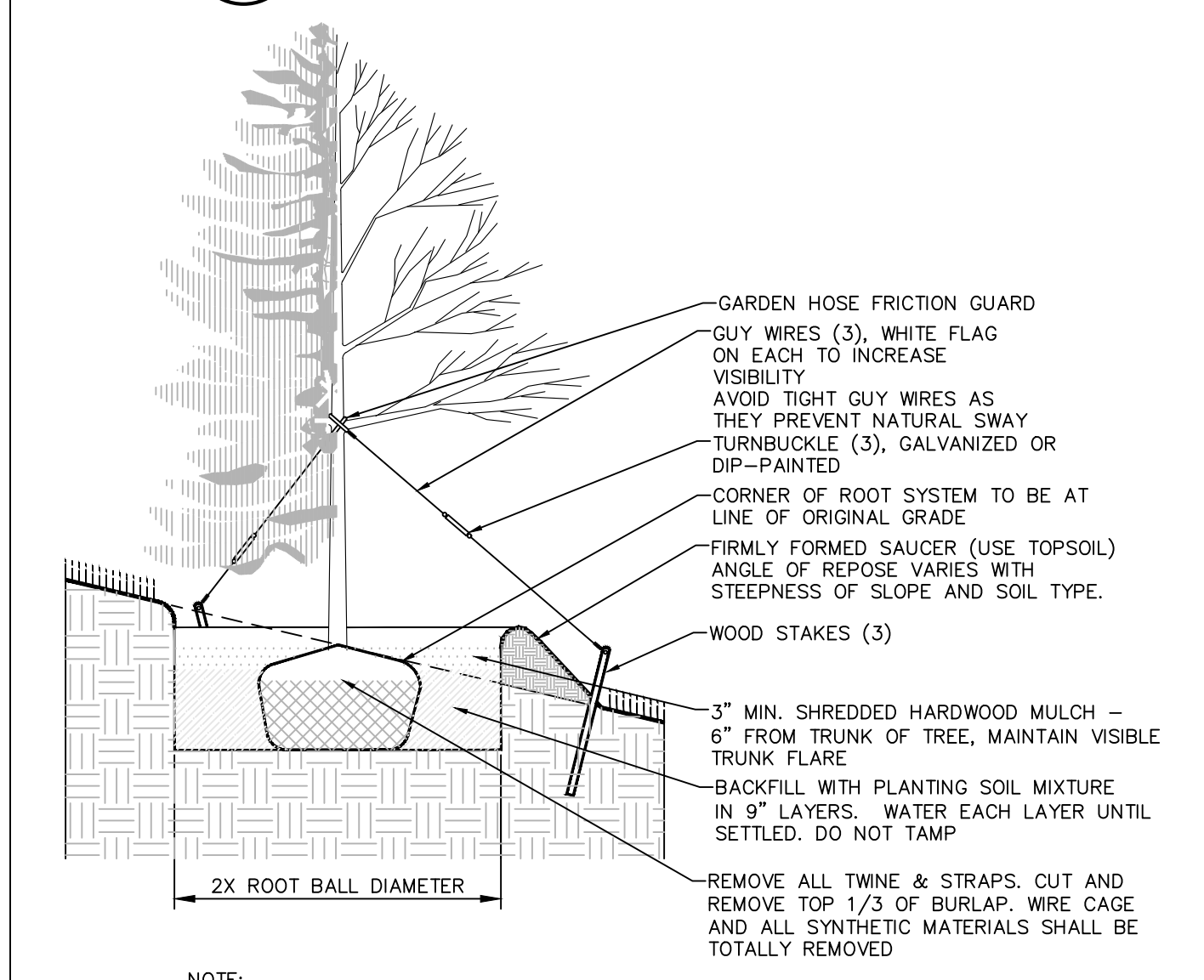
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**SANITARY SEWER SYSTEM DETAIL**



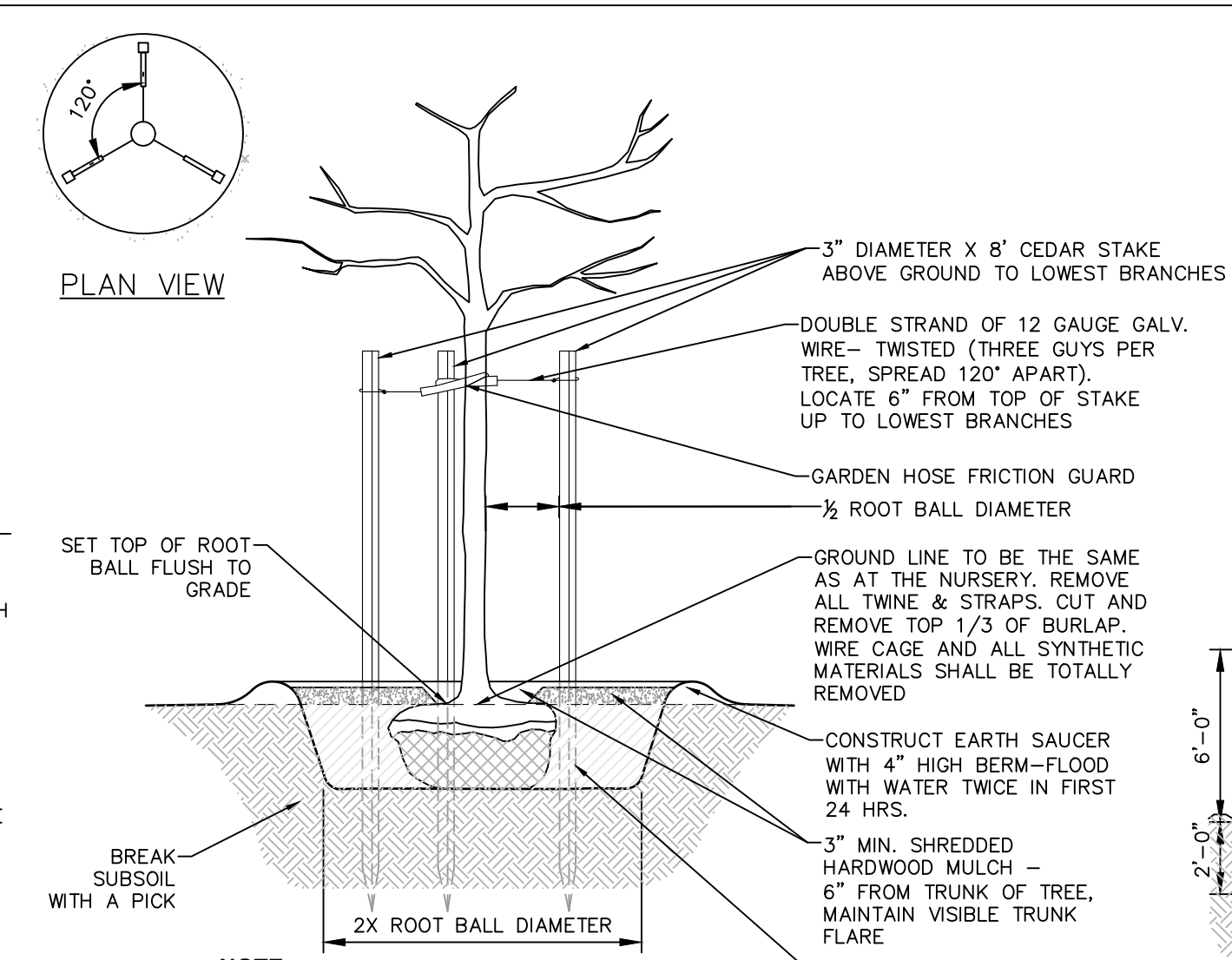
- NOTES:**
1. SPRAY WITH ANTIDESSICANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS.
  2. TREES LESS THAN 3" CALIPER SHALL BE STAKED.
  3. TREES GREATER THAN 3" CALIPER AND UP SHALL BE GUYED AND ANCHORED.
  4. STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

**1 EVERGREEN PLANTING DETAIL**  
SCALE: NOT TO SCALE

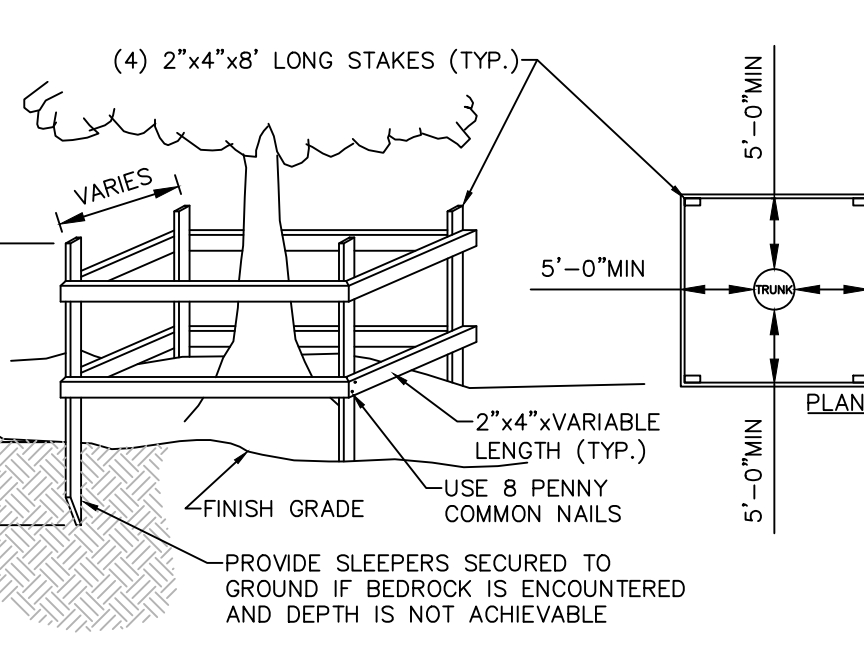


- NOTE:**  
DETAIL SHALL BE UTILIZED FOR DECIDUOUS AND CONIFEROUS TREE PLANTING ON SLOPE.

**3 TREE PLANTING ON SLOPE**  
SCALE: NOT TO SCALE



- LANDSCAPING NOTES:**
1. THE LANDSCAPE CONTRACTOR SHALL CAREFULLY COORDINATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
  2. THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
  3. THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
  4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
  5. NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
  6. QUALITY ASSURANCE:
    - A. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
    - B. SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC (AAM), UNLESS OTHERWISE SPECIFIED.
    - C. NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS PLANTS NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HELED IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.
    - D. SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WHEN AUTHORIZED, ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
  7. SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:
    - A. UNLESS OTHERWISE DIRECTED IN WRITING, SEED LAWNS FROM MARCH 15 TO JUNE 15, AND FROM AUGUST 15 TO OCTOBER 15.
    - B. UNLESS OTHERWISE DIRECTED IN WRITING PLANT TREES AND SHRUBS FROM MARCH 15 TO JUNE 1, AND FROM AUGUST 15 TO OCTOBER 30.
    - C. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE LAWNS OR PLANTINGS ARE TO BE ESTABLISHED AND WORK IS COMPLETE, SHALL BE RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE; WORK SHALL BE WITHIN THE SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER (TOPSOIL AND TEMPORARY COVER SEED MIX) WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.



- NOTE:**  
SEE LANDSCAPING PLAN FOR ADDITIONAL TREE PROTECTION NOTES.

**5 TEMPORARY TREE PROTECTION DETAIL**  
SCALE: NOT TO SCALE

8. PRODUCTS:
  - A. IMPORTED TOPSOIL: PROVIDE TOPSOIL CONFORMING TO THE FOLLOWING:
    - i. LOAM TOPSOIL, WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL.
    - ii. CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
    - iii. CONTAINING A PH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
    - iv. CONTAINING THE FOLLOWING WASHED GRADATIONS:
 

SIEVE DESIGNATION	% PASSING
1"	100
1/4"	97-100
NO 200	20-60

- B. SEED MIXTURE: PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS. PROVIDE THE FOLLOWING MIXTURES:
  - i. LAWN SEED MIX
 

SUN AND PARTIAL SHADE:		MINIMUM % PURITY	MINIMUM % GERMINATION
50%	KENTUCKY BLUE GRASS*	95%	80%
20%	PERENNIAL RYE	98%	90%
30%	CREeping RED FESCUE	97%	85%
100%			

\*\*MINIMUM 2 (EQUAL PROPORTIONS) VARIETIES AS LISTED IN CORNELL RECOMMENDATIONS FOR TURFGRASS.
  - ii. SHADE-TOLERANT VARIETY
 

SHADE:		MINIMUM % PURITY	MINIMUM % GERMINATION
25%	KENTUCKY BLUE GRASS**	95%	80%
50%	PERENNIAL RYE	98%	90%
35%	CREeping RED FESCUE	97%	85%
20%	CHEWINGS RED FESCUE	97%	85%
100%			

- C. LIME: NATURAL LIMESTONE CONTAINING AT LEAST 85% OF TOTAL CARBONATES, GROUND TO SUCH FINENESS THAT AT LEAST 90% PASSES A 10-MESH SIEVE AND AT LEAST 50% PASSES A 100-MESH SIEVE.
- D. FERTILIZER:
  - i. FOR STARTER FERTILIZING: COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT CONTAINING 5% NITROGEN, 10% AVAILABLE PHOSPHOROUS, AND 5% WATER SOLUBLE POTASH (5-10-5).
  - ii. FOR FINAL FERTILIZING: IF APPLIED IN SPRING SEASON, SHALL BE A SLOW RELEASE COMMERCIAL FERTILIZER, GRANULAR, WITH 3-1-2 NPK. IF APPLIED IN FALL SEASON, SHALL BE AS SPECIFIED IN (B.D.1) ABOVE.
- E. TREES, SHRUBS, GROUND COVERS, PERENNIALS, ANNUALS:
  - i. PLANTING SOIL MIXTURE: SHALL BE PREMIXED IN BULK, AND CONTAIN THE FOLLOWING BY VOLUME:
    - 30 PARTS TOPSOIL
    - 10 PARTS PEAT
    - 1 PART BONE MEAL
  - ii. PEAT: BROWN TO BLACK IN COLOR, WEED AND SEED FREE, DRIED SPHAGNUM PEAT, CONTAINING NOT MORE THAN 9% MINERAL ON A DRY BASIS AND CONFORMING TO NYSBOT 713-15.
  - iii. BONE MEAL: FINELY GROUND, RAW, MINIMUM 4% NITROGEN AND 20% PHOSPHORIC ACID. IT SHALL BE DELIVERED IN SEALED BAGS SHOWING THE MANUFACTURER'S GUARANTEED ANALYSIS.
- F. STAKES: 8 FEET LONG, 3 INCH DIA. CEDAR OR P.T. WOOD STAKES.
- G. HOSE: NEW, 2-PLY GARDEN HOSE NOT LESS THAN 1/2 INCH IN DIAMETER.
- H. WEED CONTROL FABRIC: SOIL CHECK AS MANUFACTURED BY BRIGHTON BYPRODUCTS CO. INC. NEW BRIGHTON, PA; MIRACAPRE OR MIRAFI GEOSYNTHETIC PRODUCTS, NORCROSS, GA, OR APPROVED EQUIVALENT.

- I. MULCH:
  - i. LAWN AREAS: OAT OR WHEAT STRAW, FREE OF WEEDS. AN ALTERNATIVE IS WOOD FIBER CELLULOSE IF HYDROSEEDING IS USED.
  - ii. PLANT BED AREAS: GROUND OR SHREDDED HARDWOOD BARK, UNCOLORED. NO PIECES OVER 2 INCHES GREATEST DIMENSION. FREE FROM SAWDUST.

9. EXECUTION:
  - A. LANDSCAPE WORK SHALL BE UNDERTAKEN AS SOON AS SITE AREAS ARE AVAILABLE.
  - B. TOPSOIL SHALL BE SPREAD NO LESS THAN 4" OVER SUB-GRADE MATERIAL. SOIL AMENDMENTS SHALL THOROUGHLY MIXED INTO THE TOP 4" OF TOPSOIL, FOLLOWING THE SPECIFICATIONS STATED BELOW.
  - C. PERFORM FINE GRADING TO FINISHED ELEVATION ONLY IMMEDIATELY PRIOR TO PLANTING. PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN SURFACE, FREE OF DEPRESSIONS OR RIDGES WITH A UNIFORM LOOSE, FINE TEXTURE.
  - D. FERTILIZING:
    - i. THE SOIL SHALL BE TESTED FOR PH AND LIME ADDED AS NECESSARY. ALL AMENDMENTS SHALL BE CHECKED AND APPROVED BY LANDSCAPE ARCHITECT BEFORE AMENDMENTS ARE MADE.
    - ii. APPLY FERTILIZER AT RATE OF 4 LBS/1000 SF FOR LAWN AREAS.
  - E. LAWN:
    - i. LAWN SEED MIX: SEED AT THE RATE OF 5 TO 6 LBS PER 1,000 SF.
    - ii. TEMPORARY COVER SEED MIX: SEED AT THE RATE OF 3 TO 4 LBS PER 1,000 SF.
    - iii. TEMPORARY COVER SEED MIX TO BE APPLIED ONLY FOR LATE FALL OR SUMMER SOIL STABILIZATION OUTSIDE ALLOWED SEEDING PERIODS.
  - F. ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
    - i. A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS/ACRE MIN. TO BE APPLIED ONCE SEEDING IS COMPLETE.
    - ii. WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY A HYDROSEEDER AT A RATE OF 2,000 LBS/ACRE.
  - G. ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.
  - H. ALL NEWLY PLANTED AREAS SHALL BE KEPT MOIST BY WATERING UNTIL GRASSES AND GROUND COVERS ARE WELL ESTABLISHED. THE LANDSCAPE CONTRACTOR MUST WATER PLANT MATERIAL WHEN NECESSARY FOR 90 DAYS AFTER INSTALLATION. THE SELECTED CONTRACTOR IS RESPONSIBLE FOR BRINGING A WATER TRUCK TO THE SITE FOR ALL 90 DAYS.
  - I. LAWNS ARE TO BE WARRANTED UNTIL THEY BECOME ESTABLISHED, UNTIL FINAL ACCEPTANCE, AND NOT LESS THAN 90 DAYS AFTER COMPLETION OF ALL WORK. TREES, SHRUBS, GROUND COVERS, AND PERENNIALS SHALL BE WARRANTED AGAINST DEFECTS INCLUDING POOR GROWTH AND DEATH, EXCEPT WHEN RESULTING FROM OWNER NEGLIGENCE, INCIDENTS THAT ARE BEYOND THE CONTROL OF THE LANDSCAPE INSTALLER AND DAMAGE OR ABUSE BY OTHERS, FOR AT LEAST TWO FULL YEARS AFTER PROJECT COMPLETION.

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# VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT  
OFFICE OF CODE ENFORCEMENT  
OFFICE OF THE FIRE INSPECTOR  
2582 SOUTH AVENUE  
WAPPINGERS FALLS, NY 12590  
PHONE: (845) 297-5277 FAX: (845) 296-0379  
E-mail: [bmurphy@wappingersfallsny.gov](mailto:bmurphy@wappingersfallsny.gov)  
[www.wappingersfallsny.gov](http://www.wappingersfallsny.gov)

## APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: By DEC 7, 2022

Date of Meeting: JAN 12, 2023

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website [www.wappingersfallsny.gov](http://www.wappingersfallsny.gov).

A filing fee is required in connection with any application to the Planning Board for approval.

**The Planning Board is responsible for the review and approval of all applications concerning:**

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

**Items to be submitted for review:** (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

*(Separate Application)*



BUILDING DEPARTMENT  
2582 SOUTH AVENUE  
WAPPINGERS FALLS, NY 12590  
PHONE: (845) 297-5277 FAX: (845) 296-0379  
E-mail: bmurphy@wappingersfallsny.gov  
www.wappingersfallsny.gov

### APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: 12-7-2022 Date of Meeting: JAN. 12, 2023

#### Property Identification:

Address: 2591 South AVE WAPPINGER FALLS

Zoning District: V.R. Existing site area: \_\_\_\_\_

#### Owner Information:

Name: 2591 South Ave LLC

Address: 2591 South Ave

City: Wappingers Falls State: NY Zip: 12590

Contact Numbers: (H) Asst - 845-489-2212 (C) Nick - 845-264-7442

(E-mail) ~~Nick@LMDHAULING@~~ Nick.LMDHAULING@gmail.com

#### Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name: Boho Beauty LLC Owner: Ashley DeVascovi

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: NY Zip: 12590

Contact Numbers: (H) \_\_\_\_\_ (C) (845) 489 2212

E-mail Address: Ash. Bohobeauty@gmail.com

#### Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Architect  Engineer

Company: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone #: \_\_\_\_\_

E-mail Address: \_\_\_\_\_



VILLAGE OF WAPPINGERS FALLS

APPLICATION FOR PLANNING BOARD REVIEW

(Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): ALSTATE Insurance Office

Proposed square footage: 950 - 1000 sq ft

**Project Description** :(Please print or type)

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

Minimal Renovations To Turn Space In to a salon. We will Be Expans  
Current Bathroom For more space. Not Addy any Plumbs or Electric  
goins to Add a non structural support walls to make a room for massage  
and Waxing room. Will Be Addy a few wash sinks in main salon space  
Materials used! We want to Brins Back to 1940's "Orignal" Best  
we can. Natural Wood Floors & glass sheet rock on new walls.

**Items to be submitted for review:** (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.

Signature of Applicant Signed

12/5/22

Date

Office use only:

[ ] FEE : \_\_\_\_\_ Receipt No. : \_\_\_\_\_ Cash / Check # \_\_\_\_\_ Date: \_\_\_\_\_

Revised by : \_\_\_\_\_ Revision date : \_\_\_\_\_

Zoning Administrator/Code Enforcement Officer



617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <span style="font-size: 1.2em; font-family: cursive;">Bolto Beauty Salon</span>			
Project Location (describe, and attach a location map): <span style="font-size: 1.2em; font-family: cursive;">2591 SOUTH AVE WAPPINGERS FALLS 1ST FLOOR</span>			
Brief Description of Proposed Action: <span style="font-size: 1.2em; font-family: cursive;">TURN OFFICE SPACE IN TO SALON SPACE</span>			
Name of Applicant or Sponsor: <span style="font-size: 1.2em; font-family: cursive;">2591 SOUTH AVE LLC</span>		Telephone: <span style="font-size: 1.2em; font-family: cursive;">845 264 7442</span>	
		E-Mail: <span style="font-size: 1.2em; font-family: cursive;">845 489 2212</span>	
Address: <span style="font-size: 1.2em; font-family: cursive;">2591 SOUTH AVE</span> <span style="float: right; font-size: 0.8em;">Nick.LMDHauling@gmail.com</span>			
City/PO: <span style="font-size: 1.2em; font-family: cursive;">WAPPINGERS FALLS</span>		State: <span style="font-size: 1.2em; font-family: cursive;">NY</span>	Zip Code: <span style="font-size: 1.2em; font-family: cursive;">12596</span>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? <span style="font-size: 1.2em; font-family: cursive;">0</span> acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban	<input checked="" type="checkbox"/> Rural (non-agriculture)	<input checked="" type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial
<input type="checkbox"/> Forest Agriculture Parkland		<input type="checkbox"/> Aquatic	
Other (specify): _____			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		✓	
b. Consistent with the adopted comprehensive plan?		✓	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	✓		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	✓		
	b. Are public transportation service(s) available at or near the site of the proposed action?	✓	
	c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		✓
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			✓
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES	
			✓
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____	NO	YES	
			✓
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	✓		
b. Is the proposed action located in an archeological sensitive area?	✓		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	✓		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	NO	YES	
	✓		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline    Forest    Agricultural/grassland    Early mid-successional    Wetland  <i>None, URBAN</i>			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	✓		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	✓		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties?  b. Will storm water discharges be directed to established conveyance systems off and storm drains? If Yes, briefly describe: _____	NO	YES	
	✓		
	✓		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>Nicholas Paressa</u> Date: <u>12/5/22</u> Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	✓ ✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
<hr/> Name of Lead Agency	<hr/> Date
<hr/> Print or Type Name of Responsible Officer in Lead Agency	<hr/> Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Signature of Preparer (if different from Responsible Officer)

PART "A"  
OWNER AFFIDAVIT

State of NEW YORK }  
County of Dutchess } ss:

Nicholas Paonessa being duly sworn, deposes and says:

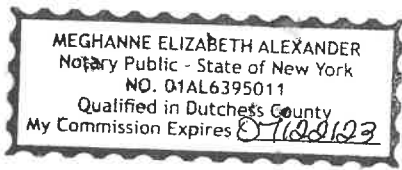
1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize Nicholas Paonessa, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

[Signature]  
Applicant/Owner

\_\_\_\_\_  
Applicant/Owner

Sworn to before me this 12 day of  
December, 2022.

Meghanne Alexander  
Notary Public





PART "B"  
APPLICANT / AGENT AFFIDAVIT

State of New York }  
County of Dutchess } ss:

Nicholas Paoressa being duly sworn, deposes and says:

1. That I/we are the Nicholas Paoressa named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 118 NEW HAMBURG RD in the County of Dutchess and the State of NY.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

[Signature]  
Applicant/Agent

\_\_\_\_\_  
Applicant/Agent

Sworn to before me this 12 day of  
December, 2020.

[Signature]  
Notary Public



**CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT - SHOULD BE USED BY LAWYERS ONLY.**

***THIS INDENTURE, made this 8<sup>th</sup> day of December in the year Two Thousand Twenty Two***

***BETWEEN***

***NANCY H. SCHNEIDER, residing at 112 Hudson Pointe Drive, Poughkeepsie, New York 12601, Party of the first part, and***

***2591 South Ave LLC + Boho Beauty LLC***

***~~NICHOLAS PAONESSA & ASHLEY DELVESECOVI~~, having an address of 118 New Hamburg Road, Wappingers Falls, New York 12590, Party of the second part,***

**WITNESSETH**, that the party of the first part, in consideration of Ten (\$10.00) Dollars, actual consideration, paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

*ALL that certain plot, piece or parcel of land, situate, lying and being in the Village of Wappingers Falls, Town of Wappinger, County of Dutchess and State of New York, known as 2591 South Avenue, Wappingers Falls, New York 12590 and being more particularly bounded and described on Schedule "A" attached.*

*BEING and intended to be the same premises conveyed by Nancy H. Schneider f/k/a Nancy S. Slavinsky and Emmy L. Schneider, by Deed dated August 14, 1997, and recorded in the Dutchess County Clerk's Office on September 8, 1997 in Liber 1998 at page 697.*

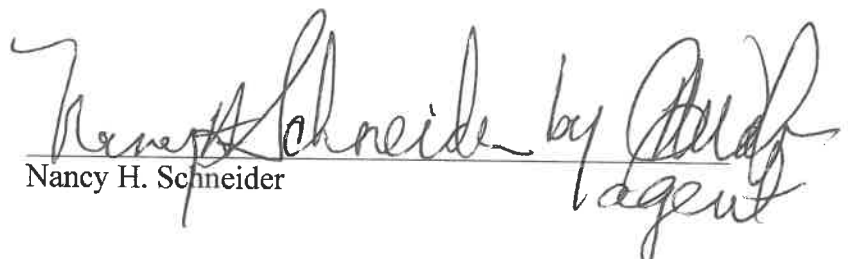
TOGETHER with all right, title and interest, if any of the party of the first part in and to any streets and road abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto to party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid. AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purposes of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purposes.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

**IN WITNESS WHEREOF**, the party of the first part has duly executed this deed the day and year first above written.

In Presence of:

  
Nancy H. Schneider  
agent

STATE OF NEW YORK    )  
  )ss:  
COUNTY OF DUTCHESS    )

On this 8<sup>th</sup> day of December, 2022, before me, the undersigned, a notary public in and or the said state, personally appeared **CRAIG M. WALLACE**, personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument, and acknowledged to me that he executed the same in his capacity and that by his signature on the instrument, the individual of the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
NOTARY PUBLIC

**Record & Return to:**  
Omer Gil, Esq.  
Gil & Cantor, PL  
62 E. Main Street  
Wappingers Falls, New York 12590

HEATHER S. WHALEN  
NOTARY PUBLIC, STATE OF NEW YORK  
Reg No. 01WH5075442  
Qualified in Dutchess County  
Commission Exp: March 31, 2023

**SCHEDULE A  
DESCRIPTION**

**SCHEDULE A DESCRIPTION**

ALL that certain plot piece or parcel of land with the buildings and improvements thereon erected, situate, lying and being in the Village of Wappingers Falls, Town of Wappinger, County of Dutchess and State of New York, more particularly bounded and described as follows:

Beginning at a point in the westerly line of South Avenue at the southeasterly corner of a lot now belonging to M. DeLaVergne, formerly of Joanna DeLaVergne, distant 50 feet southerly from the intersection of the southerly line of West Academy Street with the westerly line of South Avenue aforesaid and runs from thence westerly along said DeLaVergne's Lot 150 feet to a lot now or formerly owned by C.W. Clapp; thence southerly along said Clapp's land 50 feet thence easterly along said Clapp's land 150 feet to the westerly line of South Avenue; thence northerly along the westerly line of South Avenue 50 feet to the place of beginning.





Village of Wappingers Falls  
 Office of Planning and Zoning  
 2582 South Avenue, Wappingers Falls, NY 12590  
 (845) 297-5277 Fax: (845) 296-0379

**SPECIAL USE PERMIT APPLICATION**

Part 1 – to be completed by all Applicants Date: 12/5/22

NAME OF PROJECT: (ex: Doe Accessory Apartment) 1st Floor Boho Beauty Remodel

**APPLICANT:**

Name: 2591 South Ave LLC

Address: 118 NEW HAMBURG RD WAPPINGER FALLS

Phone: Nick - 845 264-7442 Fax: ASH C - 845 489-2212

Email: Nick.LMDHAULHS@gmail.com (Please CC Both emails on all)  
ASH. BohoBeauty@ gmail .com

**PROPERTY OWNER:**

Name: 2591 South Ave LLC

Address: 118 NEW HAMBURG RD WAPPINGER FALLS NY

Phone: Nick PROGRESS 845 264 7442 Fax: ASH/DIVISION - 845 489 2212

Email: Same as above

**PROPERTY INFORMATION:**

Address: 2591 South Ave WAPPINGER FALLS NY 12590

Parcel ID #: 13560100615800183151170000 Parcel size: \_\_\_\_\_

Zoning District: VR Current use: MIXED USE OFFICE & RESIDENTIAL

If this application seeks a special use permit for an accessory dwelling (apartment), complete and attach Part 2 of this form, including the affidavit included as Exhibit A thereto.

If this application seeks a special use permit for any use other than an accessory apartment, complete and attach Part 3 of this form.

Every application must be accompanied by an owner affidavit in the form set forth on the next pages.

The Planning Board of the Village of Wappingers Falls generally meets in regular session on the first Thursday of each month. In order to be placed on a Planning Board agenda for any given month, the original and ten (10) copies of a completed application form and all necessary supporting documentation, together with the required fee, must be received by the Zoning Enforcement Officer no later than noon on the date 15 days prior to the next-scheduled meeting of the Planning Board. There shall be no exceptions. The Zoning Administrator will review each application for completeness. Incomplete applications will not be placed on an agenda. The Zoning Administrator is without authority to vary this rule. Early submissions are encouraged so that, if deficiencies are noted, applicants have sufficient time to revise their submission to correct them and be placed on that month's agenda.

Application fees and escrow fees shall be paid by separate checks, each made payable to the "Village of Wappingers Falls." No application will be deemed complete or placed on an agenda until such fees have been received by the Village.

**I certify that I have read the foregoing and that the information submitted is true and accurate to the best of my knowledge:**

2591 SOUTH AVE LLC.

**Applicant**

**OWNER'S AFFIDAVIT**

This affidavit must be signed by all owners of record of the property.

State of NEW YORK )  
County of Dutchess ) ss.:

2591 SOUTH AVE LLC being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for special permit approval and that the statements contained therein are true to the best of my/our knowledge and belief.

2. (If applicable) That I/we hereby authorize 2591 South Ave LLC to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.

3. That I/we understand that by submitting this application for special permit approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.

4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.

5. That I/we understand that I/we, and any of our contractors and representatives, shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from noncompliance with the approved application, and with non-compliance with any provision of the Village Code.

6. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, Code Enforcement Officer or Zoning

Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that, by submitting this application, the approval of said application, including the commencement of any work related to the approved plan, is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.

6. That I/we understand that the Planning Board intends to rely on the foregoing representations in making a determination to issue the requested special permit approval.

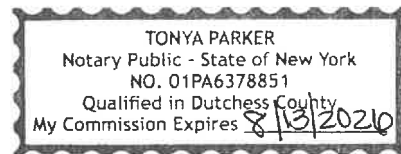
Under penalty of perjury, I/we declare that I/we have examined this affidavit and that it is true and correct.

Nicholas Paoressa  
Owner 

Fishley Devescovi et al  
Owner

Sworn to before me on the <sup>2022</sup>  
13<sup>th</sup> day of December, ~~2019~~

Tony Parker  
Notary Public





**Part 2**

(To be completed if a special use permit is sought for an accessory apartment)

1. Briefly describe the proposed use.

---

2. Will the accessory apartment be contained within the existing dwelling or is an addition proposed? If an addition is proposed, how many square feet are proposed to be added?

---

3. Is the primary use of the property as a single-family dwelling? \_\_\_\_\_

4. When was the primary residence built? \_\_\_\_\_

5. Is there a certificate of occupancy for the primary dwelling unit? \_\_\_\_\_

6. Will the owner of the single-family dwelling occupy either the main dwelling unit or the accessory apartment? \_\_\_\_\_

7. How many square feet is the primary dwelling unit? \_\_\_\_\_

8. How many square feet is the proposed accessory apartment? \_\_\_\_\_

9. How many bedrooms will the accessory apartment contain? \_\_\_\_\_

10. Pursuant to §151-18 of the Village Code, an occupant of at least one of the dwelling units shall be the father, mother, son or daughter (including legally adopted), brother, sister, grandparent or grandchild of the occupant of the accessory apartment. State the relationship between the occupant(s) of the main dwelling unit and the accessory apartment. \_\_\_\_\_

---

**Part 2, continued**

11. Either the primary dwelling unit or the accessory apartment must be the principal residence of the persons identified in the preceding question. Will this requirement be met? Explain \_\_\_\_\_

---

12. How many parking spaces are available on site? \_\_\_\_\_

13. How many residents of driving age reside in the primary dwelling unit?

\_\_\_\_\_

14. Were any variances or special use permits previously granted for this property? If so, please describe them. \_\_\_\_\_

---

---

15. Is the property served by municipal water and sewer? If not, describe the adequacy of these utilities for the additional use. \_\_\_\_\_

---

---

**Supporting Documentation  
to be submitted with an Application for a  
Special Use Permit for an Accessory Dwelling (Apartment)**

1. A plot plan to convenient scale showing lot lines, the dimension(s) of all existing structures, and the location and dimensions of any proposed structures or additions.
2. If the proposal for the accessory apartment is made in conjunction with the development of a lot, a formal site plan must be submitted that complies with the site plan requirements found in the Village Code. The site plan must be signed by licensed professional engineer and shall show all required information, unless otherwise specified by the Zoning Board of Appeals. Note: site plan approval will be required to be obtained from the Planning Board.
- ✓ 3. An EAF short form (or long form if deemed necessary).
- ✗ For any special use permit application that constitutes a land development activity, attach a storm water pollution prevention plan.
- ✓ 5. A copy of the deed for the property showing the current ownership.
- ✗ 6. Documentation sufficient to establish that the premises for which the special use permit is sought is the owner's principal place of residence.
- ✗ 7. Documentation sufficient to establish that the access to the proposed accessory apartment is not observable from the street, unless there is a single access to the principal dwelling unit and proposed accessory apartment from the front of the building with a split access inside the building.
8. Complete and return the affidavit attached hereto as Exhibit A acknowledging that the special use permit, if granted, will terminate upon the death of the owner or upon the transfer of title to said premises or if the owner no longer occupies the premises as their principal residence. This affidavit will be binding upon the owners, their heirs or distributees, executors, administrators, successors and assigns.
9. The owner's affidavit.
10. Photographs of the existing structure(s) are helpful but not required.

**ACCESSORY APARTMENT ONLY**

**Exhibit A – Affidavit of Ownership**

(Each owner of the property must complete a separate affidavit.)

STATE OF NEW YORK )

) ss.:

COUNTY OF DUTCHESS)

I, 2591 South Ave LLC, hereby swear or affirm under penalty of perjury as follows:

1. I am the owner of the property located at 2591 South Ave  
WAPPINGERS FALLS NY 12590
2. I have applied to the Planning Board of the Village of Wappingers Falls for a special use permit to have an accessory apartment at this location.
3. The property is my principal residence.
4. The occupants of the accessory apartment will comply with the requirements of §151-18.
5. There will be only one accessory apartment on the property, for a total of no more than two dwelling units (principal and accessory).
6. I hereby specifically acknowledge that the special use permit, if granted, will terminate upon my death, or upon the transfer of title to said premises, or if I no longer occupy the premises as my principal residence.
7. The special use permit, if granted, also will terminate if the use is discontinued for a period of 12 months for any reason, or if all required improvements are not made within one year from the date of issuance.
8. I further acknowledge that the terms and conditions of any special use permit that may be granted shall be binding upon me, my heirs, distributees, executors, administrators, successors and assigns.
9. The statements made by me in the application to which this affidavit is attached are incorporated by reference as if fully set forth herein.

\_\_\_\_\_ (sign)

\_\_\_\_\_ (print name)

Sworn to before me this \_\_\_\_\_  
day of \_\_\_\_\_

\_\_\_\_\_  
Notary Public



**Part 3**

(To be completed if a special use permit is sought for any use other than an accessory dwelling unit. Attach additional sheets if necessary.)

1. Describe the proposed use.

Beauty Salon - Boho Beauty LLC  
(est 2019)

2. Will the proposed use utilize the entire site or only a portion thereof? Describe.

ONLY THE FIRST FLOOR & BASEMENT (LAUNDRY)

3. Are any new structures proposed to be constructed? If yes, describe.

POSSIBLY 1 ROOM INSIDE TO CREATE PRIVACY.

4. How many vehicle trips per day is the proposed use anticipated to generate? 15?  
apx

5. How will the proposed use affect the development of the district in which it is located?

IT WILL NOT, THIS IS A BUSY AREA ALREADY.

6. Were any variances or special use permits previously granted for this property? If yes, please describe. I WOULD IMMAGINE YES. FOR THE

ALLSTATE OFFICE THAT WAS THE 1st FLOOR, CLIENTS WERE IN AND  
OUT FOR APPOINTMENTS

7. Describe how the proposed use is compatible with the principles of the zoning district in which it is located, the purposes set forth in this chapter, and the goals of the Comprehensive Plan of the Village of Wappingers Falls.

IT IS ZONED MIXED USE RETAIL. BEAUTY SALON FITS WITHIN

~~Guidelines~~ Guidelines of Retail. Will Be Bringing an already  
ESTABLISHED BUSINESS to ITS For EVER HOME.

8. Describe how the proposed use is compatible with the adjoining properties and with the natural and man-made environment.

There are many small businesses in the village of Wappingers, this will add to the community.

9. Describe how the height of buildings, walls, fences and the nature and extent of landscaping on the site are such that the proposed use will not hinder or discourage the appropriate development and use of adjacent land and buildings.

There will be no changes to existing structures

10. Describe how the height of buildings, walls, fences and the nature and extent of landscaping on the site are such that the proposed use will not hinder or discourage the appropriate development and use of adjacent land and buildings.

n/a

11. Describe how parking areas will be of adequate size for the proposed use, properly located and suitably screened from adjoining residential uses, and how

appropriate vehicular circulation and infrastructure for the proposed use, including accessibility to fire, police, and emergency vehicles and sufficient water supply and appurtenances, will be provided.

THE LOT ON SITE HAS SUSTAINED THE OFFICE & APARTMENT  
FOR THE LAST OWNER. OTHER RESIDENTIAL PROPERTIES ALL HAVE  
THEIR OWN LOTS. FIRE DEPARTMENT ON PROPERTY AND DEPT ADJACENT

12. Will the proposed use generate any noise, fumes, vibration or other characteristics greater than would be the operations of any allowed use not requiring a special permit?

No

13. What will be the overall impact of the proposed use on the site and its surroundings, considering environmental, social and economic impacts of traffic, noise, dust, odors, release of harmful substances, solid waste disposal, glare, or any other nuisances?

This use, salon will have zero excess impacts  
on its surroundings. All services will occur inside the  
building and clients cars will all go into lot behind  
building.

14. Is the location of the proposed use consistent with the goal of creating a healthy mix of uses that enhances the viability of the Village?

YES, this will be the future home of an already  
established organic beauty salon. The inside and  
outside of the building will always be clean, and beautiful.

15. Is the property located in the historic district or adjacent to a historic structure? If yes, describe the compatibility of the proposed use with the historic character and use of the structure or structures and the historic character of the site and in the surrounding area.

The property is in the Village, surrounded by many historical properties. We are not changing the structure of the property but will always keep the historic preservation in mind with landscaping and decor.

**Supporting Documentation for a Special Use Permit other than for an Accessory Dwelling**

1. A plot plan to convenient scale showing lot lines, the dimension(s) of all existing structures, and the locations and dimensions of any proposed structures.
2. If the proposed special use is in conjunction with the development of a lot, a formal site plan must be submitted that complies with the site plan requirements found in the Village Code. The site plan must be signed by a licensed professional engineer and shall show all required information, unless otherwise specified by the Planning Board.
3. An EAF short form (or long form if deemed necessary).
4. For any special use permit application that constitutes a land development activity, attach a storm water pollution prevention plan.
5. A copy of the deed for the property showing the current ownership, and copies of any easements for the property.
6. The owner's affidavit.
7. Photographs of the existing structure(s) are helpful but not required.





# Parcel Access

**Final Roll**

**Parcel Grid Identification #:**  
135601-6158-18-315117-0000  
**Municipality:** V. Wappingers Falls

**Parcel Location**  
2591 South Ave

**Owner Name on March 1**  
Schneider , Nancy H (P)

**Primary (P) Owner Mail Address**  
112 Hudson Pointe Dr  
Poughkeepsie NY 12601



**Parcel Details**

**Size (acres):** 50 X 150 **Land Use Class:** (483) Commercial: Multiple Use or Multipurpose: Converted Residence  
**File Map:** **Agri. Dist.:** (0)  
**File Lot #:** **School District:** (135601) Wappinger Falls Central School District  
**Split Town**

**Assessment Information (Current)**

**Land:** \$85000 **Total:** \$240200 **County Taxable:** \$240200 **Town Taxable:** \$240200 **School Taxable:** \$240200 **Village Taxable:** \$240200

**Tax Code:** N: Non-Homestead **Roll Section:** 1 **Uniform %:** 100 **Full Market Value:** \$ 240200

**Tent. Roll:** 5/1/2022 **Final. Roll:** 7/1/2022 **Valuation:** 7/1/2021

**Last Sale/Transfer**

**Sales Price:** \$0 **Sale Date:** 0 **Deed Book:** 1998 **Deed Page:** 0697 **Sale Condition:** ( ) **No. Parcels:** 0

**Site Information:**

**Site Number:** 1  
**Water Supply:** (3) Comm/public **Sewer Type:** (3) Comm/public **Desirability:** (2) Fair **Zoning Code:** R7.5 **Used As:** (D08) Small retail

**Commercial/Industrial/Utility Building Information:**

**Site Number:** 1  
**Bldg Sec.:** 1 **Bldg. Number:** 1  
**Year Built:** 0 **No. Stories:** 0 **Gross Floor Area:** 2162 **Boeck Model:** (0319) 2 sty Str/off/apt load sup **Const. Qual.:** (3) Above Average

**Air Cond. %:** 0 **Sprinkler %:** 0 **Alarm %:** 0 **No. Elevator:** 0 **Basement sf.:** 1081

**Number Identical:** 1 **Condition Code:** 3

**Commercial Rental Information:**

**Site Number:** 1  
**Use Number:** 1  
**Used As:** (A07) External apt  
**Unit Code:** (02) Apartments **Total Rent Area:** 1081 **Area 1 Bdrms Apts:** 0 **Area 2 Bdrms Apts:** 0 **Area 3 Bdrms Apts:** 0



Total Units: No. 1 Bdrms Apts No. 2 Bdrms Apts No. 3 Bdrms Apts  
0 0 0 0

Site Number: 1  
Use Number: 2  
Used As: (D10) Row retail

Unit Code: Total Rent Area: Area 1 Bdrms Apts Area 2 Bdrms Apts Area 3 Bdrms Apts  
( ) 1081 0 0 0

Total Units: No. 1 Bdrms Apts No. 2 Bdrms Apts No. 3 Bdrms Apts  
0 0 0 0

Site Number: 1  
Use Number: 3  
Used As: (Z98) Non-contrib

Unit Code: Total Rent Area: Area 1 Bdrms Apts Area 2 Bdrms Apts Area 3 Bdrms Apts  
( ) 414 0 0 0

Total Units: No. 1 Bdrms Apts No. 2 Bdrms Apts No. 3 Bdrms Apts  
0 0 0 0

Improvements:

Site Number: 1  
Improvement Number: 1

Structure Code: Dim 1: Dim 2 Quantity Year Built  
(RG4) Gar-1.0 det 0 0 1 1940

Condition: Grade Sq. Ft.  
(2) Fair C 504




Special District Information:

Special District: GRLVW

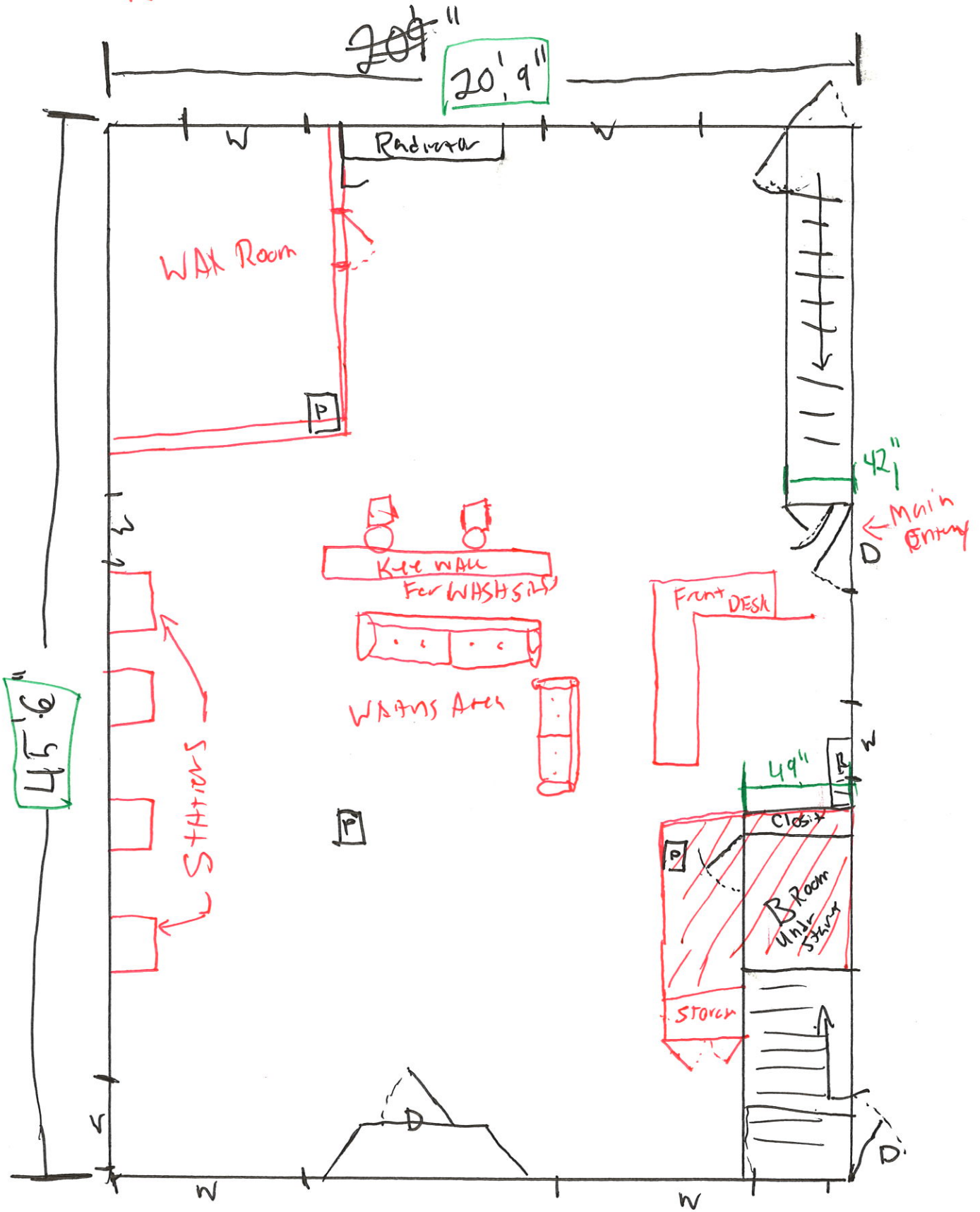
Spec. Dist. Name: Primary Units: Advalorem Value  
Grinnell Public Lib 0 240200

ABSOLUTELY NO ACCURACY OR COMPLETENESS GUARANTEE IS IMPLIED OR INTENDED. ALL INFORMATION ON THIS MAP IS SUBJECT TO CHANGE BASED ON A COMPLETE TITLE SEARCH OR FIELD SURVEY.

This report was produced with ParcelAccess Internet on 12/9/2022. Developed and maintained by OCIS - Dutchess County, NY.

-  - ALL Existing Structure
-  - Dimensions
-  - Rough Idea of LAYOUT

OPEN FLOOR PLAN



9-0



## VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT  
OFFICE OF CODE ENFORCEMENT  
OFFICE OF THE FIRE INSPECTOR  
2582 SOUTH AVENUE  
WAPPINGERS FALLS, NY 12590  
PHONE: (845) 297-5277 FAX: (845) 296-0379  
E-mail: [bmurphy@wappingersfallsny.gov](mailto:bmurphy@wappingersfallsny.gov)  
[www.wappingersfallsny.gov](http://www.wappingersfallsny.gov)

### APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: 12/7/22

Date of Meeting: 1/10/23

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website [www.wappingersfallsny.gov](http://www.wappingersfallsny.gov).

A filing fee is required in connection with any application to the Planning Board for approval.

**The Planning Board is responsible for the review and approval of all applications concerning:**

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

**Items to be submitted for review:** (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

(Separate Application)





VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: 12/7/22 Date of Meeting: 1/10/23

Property Identification:

Address: 1659 RT 9 Wappingers Falls, NY 12590

Zoning District: Existing site area:

Owner Information:

Name: Wappingers K Holdings, LLC

Address: 444 South Fulton Ave

City: Mt Vernon State: NY Zip: 10553

Contact Numbers: (H) 914-667-6400 (C)

(E-mail) Robert@sdn-management.com

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name: Shaniece Brown / John Gibson

Address: 4 Whitehall Rd

City: Poughkeepsie State: NY Zip: 12603

Contact Numbers: (H) 845 214 3111 (C) 845 214 3111

E-mail Address: Zenhookahlounge@yahoo.com

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name:

Title:

Architect Engineer

Company:

Address:

Telephone #:

E-mail Address:





VILLAGE OF WAPPINGERS FALLS  
**APPLICATION FOR PLANNING BOARD REVIEW**  
 (Continued)

**Proposed Site:**

*(Property where improvements are proposed)*

Existing Use(s): Resturant / Bar

Proposed square footage: 4400

**Project Description :** *(Please print or type)*

*(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)*

Installing assorted kitchen appliances and painting  
(No structural changes)

**Items to be submitted for review:** (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

**With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.**

Shanicee / John Doe  
 Signature of Applicant Signed

12/7/22  
 Date

**Office use only:**

FEE : \_\_\_\_\_ Receipt No. : \_\_\_\_\_ Cash / Check # \_\_\_\_\_ Date: \_\_\_\_\_

Revised by : \_\_\_\_\_ Revision date : \_\_\_\_\_  
 Zoning Administrator/Code Enforcement Officer





## VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning  
2582 South Avenue  
Wappingers Falls, NY 12590  
Phone: (845) 297-5277 Fax: (845) 296-0379  
E-mail: [bmurphy@wappingersfallsny.gov](mailto:bmurphy@wappingersfallsny.gov)  
[www.wappingersfallsny.gov](http://www.wappingersfallsny.gov)

### CONSENT FORM

Name of property owner: Wappingers K Holdings, LLC  
Address of property owner: 1659 Rt 9  
City: Wappingers Falls State: Ny Zip: 12590  
Phone number of property owner: (Include home, work, mobile number and e-mail address):  
(H) 914-667-6400 (C) 914-826-5760  
(W) \_\_\_\_\_ (Email) Robert@sdn-management.com  
Address of site where work is being conducted: 1659 Rt 9 Wappingers Falls Ny 12590  
Description of work: Installing assorted kitchen appliances and Painting (No structural changes)

Name of person doing work: Self  
Address of person doing work: 4 Whitehall Rd  
City: Poughkeepsie State: Ny Zip: 12603  
Phone number of person doing work (Include home, work, mobile numbers and e-mail address):  
(H) 845-214-3111 (C) 845-214-3111  
(W) \_\_\_\_\_ (Email) zenhookahlounge@yahoo.com

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.

X [Signature]  
Signature of Property Owner

12/6/22

Date Signed



617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <b>Zen Hookah Lounge LLC</b>			
Project Location (describe, and attach a location map): <b>1659 Rt 9 Wappingers Falls Ny 12590</b>			
Brief Description of Proposed Action: <b>Resturant / Bar / Hookah</b>			
Name of Applicant or Sponsor: <b>Shaniece Brown / John Gibson</b>		Telephone: <b>845-214-3111</b>	
Address: <b>4 Whitehall Rd</b>		E-Mail: <b>zenhookahlounge@yahoo.com</b>	
City/PO: <b>Poughkeepsie</b>		State: <b>Ny</b>	Zip Code: <b>12603</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
Urban	Rural (non-agriculture)	Industrial	Commercial
Forest Agriculture Parkland		Aquatic	Residential (suburban)
Other (specify): _____			



	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO		YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES <input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES <input checked="" type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?			<input checked="" type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			N/A
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES <input checked="" type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:		<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline    Forest    Agricultural/grassland    Early mid-successional    Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES <input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES <input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems off and storm drains? If Yes, briefly describe: _____	NO	YES <input checked="" type="checkbox"/>	



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <i>Shariece Brown/John Gibson</i> Date: <i>12/7/22</i>		
Signature: <i>Shariece Brown John Gibson</i>		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	



	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)



PART "B"  
APPLICANT / AGENT AFFIDAVIT

State of New York }  
County of Dutchess } ss:

Shaniece Brown John Gibson being duly sworn, deposes and says:

1. That I/we are the Tenants / Business owner named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 1659 RT 9 Wappingers Falls NY 12590 in the County of Dutchess and the State of NY.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Shaniece Brown  
Applicant/Agent

John Gibson  
Applicant/Agent

Sworn to before me this 7<sup>th</sup> day of December 2022

Kathleen Delano  
Notary Public

KATHLEEN DELANO  
Notary Public, State of New York  
Reg. No. 01de6054162  
Qualified in Dutchess County  
My Commission Expires January 29, 2023



PART "A"

OWNER AFFIDAVIT  
ROBERT E. MONTAQUIZA  
Notary Public - State of New York  
NO. 01MO6238060  
Qualified in Westchester County  
My Commission Expires Jun 11, 2023

State of NY )  
County of Westchester )

SS:

Robert Monta being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize \_\_\_\_\_, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

[Signature]  
Applicant/Owner

\_\_\_\_\_  
Applicant/Owner

ROBERT E. MONTAQUIZA  
Notary Public - State of New York  
NO. 01MO6238060  
Qualified in Westchester County  
My Commission Expires Jun 11, 2023

Sworn to before me by Robert Monta  
[Signature]  
Notary Public

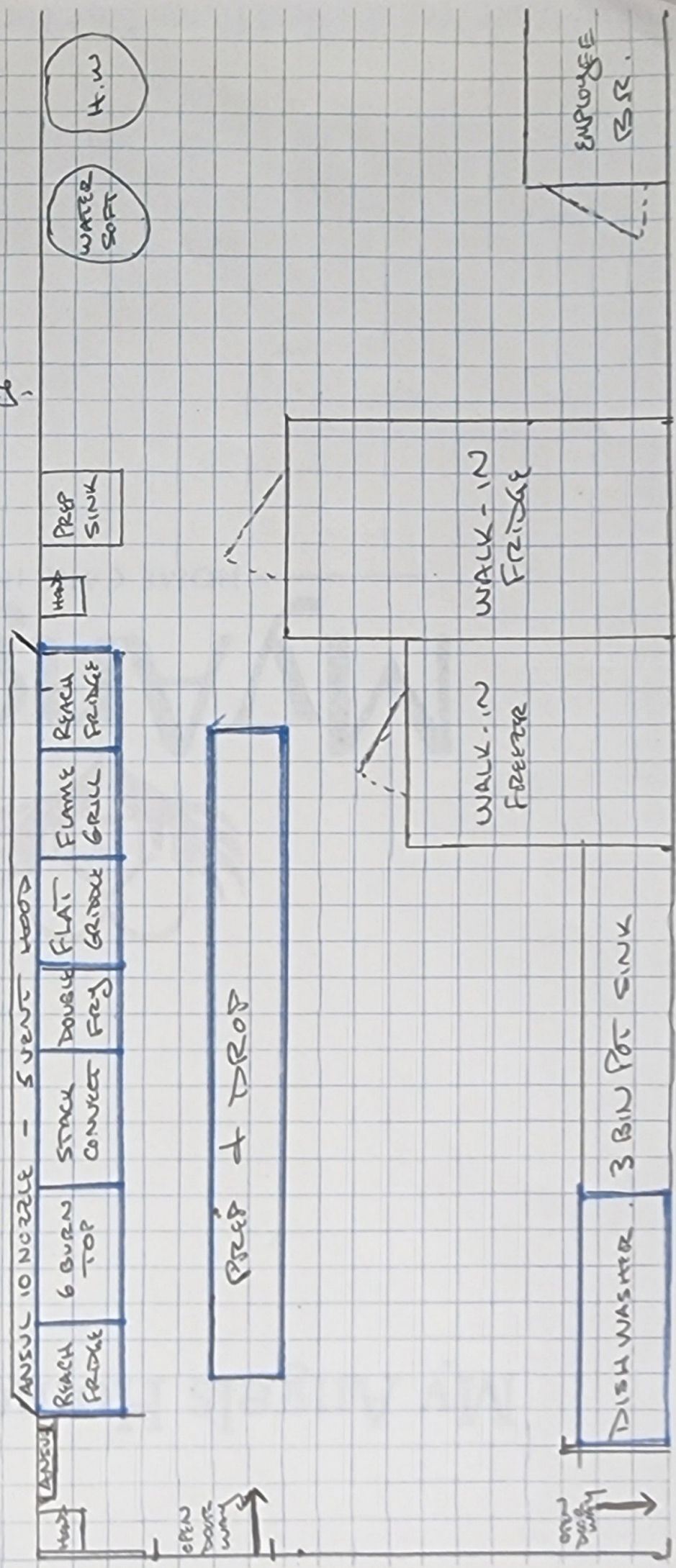
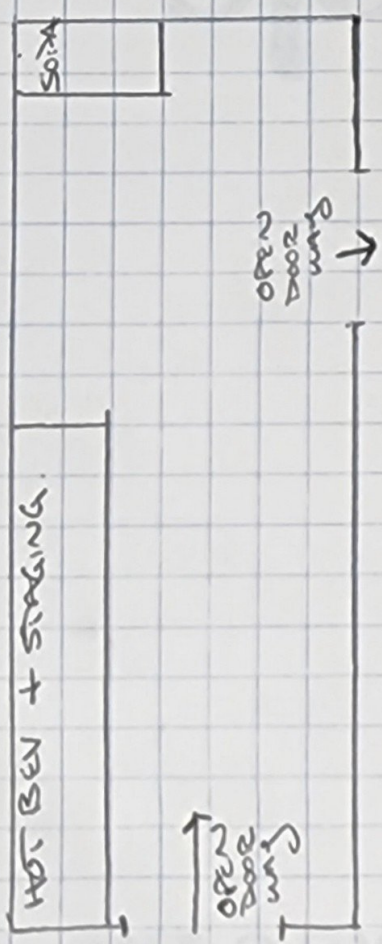


# ZEN

## KITCHEN LAYOUT + DESIGN

1659 ROUTE 9.  
WAPPINGERS FALLS NY.  
12590

● - PROPOSED EQUIPMENT NEEDS







# VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

## SIGN PERMIT APPLICATION

Name of Applicant Shaniece Brown / John Gibson  
Address 4 Whitehall Rd Poughkeepsie NY 12603

Email zenhoolcahlounge@yahoo.com

Phone 845-214-3111

Owner of Property Wappingers K Holdings LLC

Address 444 South Fulton Ave

MT Vernon NY 10553

Phone 914-667-6400

Location of Property 1659 Rt 9 Wappingers Falls NY 12590

Linear Frontage of building 445 Ft Zoning District Village Commercial

Types of Signs  Post & Arm  Projecting  Seasonal  Multi-Tenant  
 Wall  Window  Awning  Free Standing  Sidewalk

**Sign Design** All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

**Sign Location** All applications must be accompanied by a plan, drawn to scale showing the following:

**Freestanding signs-** the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.

**Awning, Window, Wall or Projecting signs-**the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

### Sign Specifications

Multi-tenant pylon sign  
Type - multi tenant  
Placement - one slot  
Pylon is double faced  
Size - 14.5'h x 81"w  
3/16 Polycarbonate

Type Internally Illuminated Channel Letters Placement Front Facade of Building

Landscaping  Yes  No Size of Sign 44" Height 96" Width

Single Faced  Double Faced  Lighted

Material  Wood  Metal Aluminum with Lexan Face other Durable



The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)
- Sign design drawings (ten sets)
- Color swatch (if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Sharicea Brown / John Gibson

Applicant Signature [Signature] Date: 12/7/22

Owner of Property Signature [Signature] Date: 12/7/22

**THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER**

Sign Permit Granted: Date \_\_\_\_\_ Permit # issued \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Receipt # \_\_\_\_\_ Date \_\_\_\_\_

Sign Permit Application referred to Planning Board Date \_\_\_\_\_

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



96 inches

44 inches

# ZEN

## HOOKAH LOUNGE



Internally illuminated LED channel letters flush mounted to the building facade.  
Overall size is 96"w x 44"h, 29.3 square feet.  
Bottom of sign will be installed approximately 157" above ground level.

Two colors - golden yellow and black.  
"Hookah Lounge" sign faces have black perforated vinyl applied to appear black during the daytime and white at night.

Customers Name: Zen Hookah Lounge

**FASTSIGNS**

PH: 845-298-5600  
FAX: 845-297-0105

FASTSIGNS.COM/455

1839 South Rd Suite 2B, Wappingers Falls, NY 12590

SIGNS AND GRAPHICS REMAIN THE PROPERTY OF FASTSIGNS UNTIL PAID IN FULL

PLEASE CHECK EACH:

- FONT
- COLOR
- SPELLING
- POSITIONING
- SIZE

SIGNATURE OF APPROVAL

DATE



12/5/22

File Name:

Order #: 69963



81 inches

14.5 inches

**ZEN** HOOKAH LOUNGE  
DINING & BAR



Die cut black and golden yellow vinyl to be applied to existing pylon sign. Pylon is double sided.

Customers Name: Zen Hookah Lounge

**FASTSIGNS**

PH: 845-298-5600  
FAX: 845-297-0105

FASTSIGNS.COM/455

1839 South Rd Suite 2B, Wappingers Falls, NY 12590

SIGNS AND GRAPHICS REMAIN THE PROPERTY OF FASTSIGNS UNTIL PAID IN FULL

PLEASE CHECK EACH:

- FONT
- COLOR
- SPELLING
- POSITIONING
- SIZE

SIGNATURE OF APPROVAL

DATE



12/5/22

File Name:

Order #:

69963

COLORS OF PRINT ARE NOT EXACT \* CHANGES ARE CHARGED SEPARATELY





# VILLAGE OF WAPPINGERS FALLS

**BUILDING DEPARTMENT  
OFFICE OF CODE ENFORCEMENT  
OFFICE OF THE FIRE INSPECTOR  
2582 SOUTH AVENUE  
WAPPINGERS FALLS, NY 12590  
PHONE: (845) 297-5277 FAX: (845) 296-0379  
E-mail: [bmurphy@wappingersfallsny.gov](mailto:bmurphy@wappingersfallsny.gov)  
[www.wappingersfallsny.gov](http://www.wappingersfallsny.gov)**

## APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: 12/07/2022

Date of Meeting: 1/12/2023

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website [www.wappingersfallsny.gov](http://www.wappingersfallsny.gov).

A filing fee is required in connection with any application to the Planning Board for approval.

### **The Planning Board is responsible for the review and approval of all applications concerning:**

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

### **Items to be submitted for review:** (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

*(Separate Application)*



# VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT  
2582 SOUTH AVENUE  
WAPPINGERS FALLS, NY 12590  
PHONE: (845) 297-5277 FAX: (845) 296-0379  
E-mail: bmurphy@wappingersfallsny.gov  
www.wappingersfallsny.gov

## APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: 12/07/2022 Date of Meeting : 1/12/2023

### **Property Identification:**

Address: 33 Mc Kinley St

Zoning District: Village Commercial Existing site area:                     

### **Owner Information:**

Name : Wappingers Falls Estuary Enterprises Inc

Address : 510 Maloney Rd Unit E3

City: Poughkeepsie State: NY Zip: 12603

Contact Numbers: (H) Louis Snell (845) 298-1698 (C) Virginia Kalaka (914-475-2982)

(E-mail) vakalak@optonline.net

### **Applicant Information:**

*(Please provide if someone other than the property owner is the applicant)*

Name : Northway Forest Enterprises LLC

Address: 33 Mc Kinley St

City: Wappingers Falls State: NY Zip: 12590

Contact Numbers: (H) (917) 675-1903 (C)                     

E-mail Address: mark@northwayforest.com cc:maria@northwayforest.com

### **Lead Design Professional: (If applicable)**

*(Indicate the primary design professional associated with this application)*

Name: James Devine

Title:                     

Architect       Engineer

Company: Devine Fence Co

Address: 22 Beechwood Circle Wappingers Falls, 12590

Telephone # : (845) 297-6786

E-mail Address: devinefence@yahoo.com



**VILLAGE OF WAPPINGERS FALLS**  
**APPLICATION FOR PLANNING BOARD REVIEW**  
**(Continued)**

**Proposed Site:**

*(Property where improvements are proposed)*

**Existing Use(s):** Occupied commercial space for firewood storage and delivery

**Proposed square footage:** Fencing approximately 140x109 feet

**Project Description :***(Please print or type)*

*(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)*

We hope to install a galvanized post fencing with black wire and black wingback slats for privacy.

The fence will be 8 feet in height.

The fence will have 3 gate opening. Please see attached sketch.

\*\*Please note that the attached sketch is a draft, and the project is not finalized. Measurements may be adjusted to accommodate property line.

**Items to be submitted for review: (Only items pertaining to project)**

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

**With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.**

\_\_\_\_\_  
Signature of Applicant Signed

12/07/2022

\_\_\_\_\_  
Date

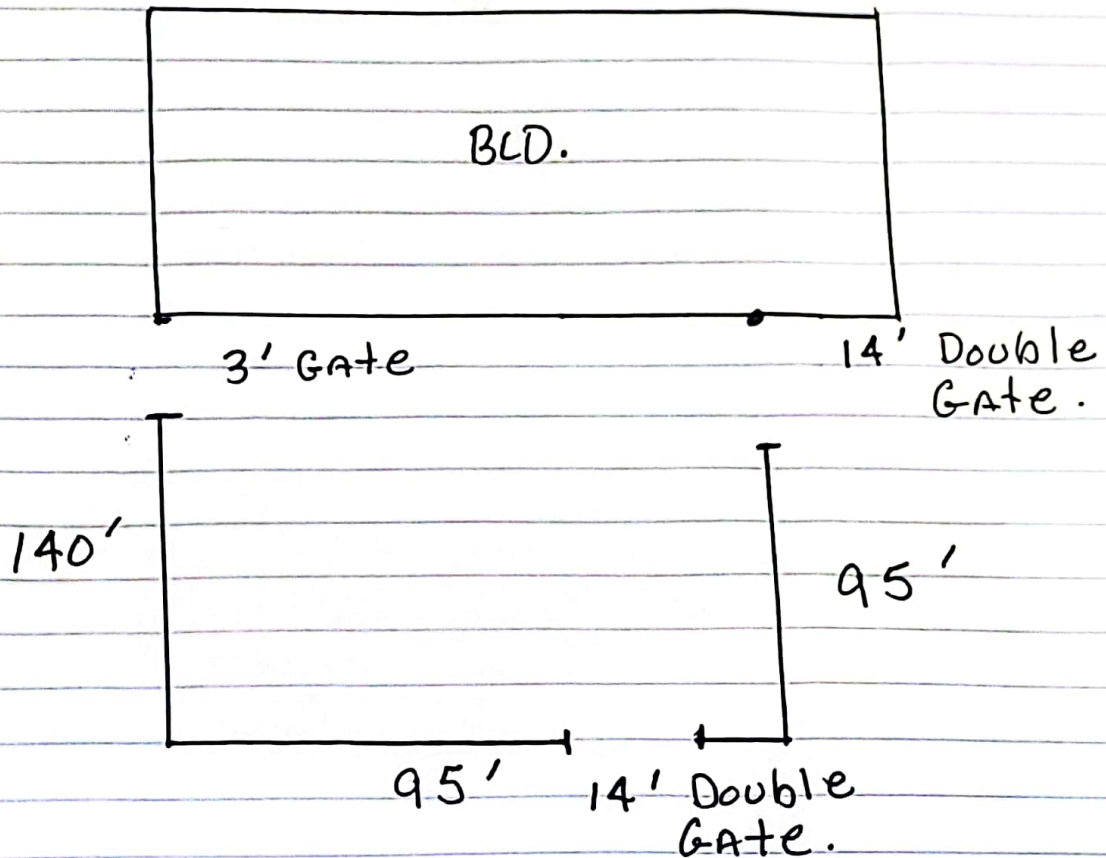
**Office use only:**

[ ] FEE : \_\_\_\_\_ Receipt No. : \_\_\_\_\_ Cash / Check # \_\_\_\_\_ Date: \_\_\_\_\_

Revised by : \_\_\_\_\_ Revision date : \_\_\_\_\_  
Zoning Administrator/Code Enforcement Officer



HARDWOOD Brothers.  
33 MC Kinley St.  
WARD. FALLS NY 12590



FABRIC - 8' black

POSTS - GALVANIZED LINE 2 1/2

SLATS - black

TOP RAIL AND CENTER BRACE 1 5/8

TENSION WIRE ON BOTTOM.

TERMINAL POSTS GALVANIZED 3''



## VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning  
2582 South Avenue  
Wappingers Falls, NY 12590  
Phone: (845) 297-5277 Fax: (845) 296-0379  
E-mail: [bmurphy@wappingersfallsny.gov](mailto:bmurphy@wappingersfallsny.gov)  
[www.wappingersfallsny.gov](http://www.wappingersfallsny.gov)

### CONSENT FORM

Name of property owner: Wappingers Falls Estuary Enterprises Inc

Address of property owner: 510 Maloney Rd unit E3

City: Poughkeepsie State: NY Zip: 12603

Phone number of property owner: (Include home, work, mobile number and e-mail address):

(H) 845-297-5925 (C) 914-475-2982

(W) \_\_\_\_\_ (Email) vakalak@optonline.net

Address of site where work is being conducted: 33 Mc Kinley St (sections A&B)  
Wappingers Falls NY 12590

Description of work: Installation of fencing. Galvanized post fence with black wire and black slats.

Fence will be 8 feet in height. The fence will have 3 gate opening. Please see attached sketch.

\*\*Please note that the attached sketch is a draft, and the project is not finalized.

Measurements may be adjusted to accommodate property line.

Name of person doing work: James Devine

Address of person doing work: 22 Beechwood Circle

City: Wappingers Falls State: NY Zip: 12590

Phone number of person doing work (Include home, work, mobile numbers and e-mail address):

(H) \_\_\_\_\_ (C) \_\_\_\_\_

(W) (845) 297-6786 (Email) devinefence@yahoo.com

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.

Louis W. Inell

Signature of Property Owner

12/7/2022

Date Signed

**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**

**Instructions for Completing**

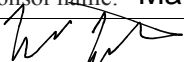
**Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <b>Fence Installation</b>			
Project Location (describe, and attach a location map): <b>33 Mc Kinley St Wappingers Falls NT 12590</b>			
Brief Description of Proposed Action: <b>Installation of fencing, approximately 140 by 109 feet, with 3 gates. Fence will be 8 feet in height. Fencing is galvanized posted with black wire and black slats. **Please note that the attached sketch is a draft, and the project is not finalized. Measurements may be adjusted to accommodate property line.</b>			
Name of Applicant or Sponsor: <b>Northway Forest Enterprises LLC</b>		Telephone:	
		E-Mail: <b>mark@northwayforest.com &amp; maria@northwayforest.com</b>	
Address: <b>33 Mc Kinley St</b>			
City/PO: <b>Wappingers Falls, NY 12590</b>		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<b>NO</b>	<b>YES</b>
		<input checked="" type="checkbox"/>	
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		<b>NO</b>	<b>YES</b>
		<input checked="" type="checkbox"/>	
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
Urban	Rural (non-agriculture)	Industrial	<input checked="" type="checkbox"/> Commercial Residential (suburban)
Forest Agriculture Parkland		Aquatic	Other (specify): _____

5. Is the proposed action, a. A permitted use under the zoning regulations?	<b>NO</b>	<b>YES</b>	<b>N/A</b>
		■	
b. Consistent with the adopted comprehensive plan?			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<b>NO</b>	<b>YES</b>	
		■	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<b>NO</b>	<b>YES</b>	
		■	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<b>NO</b>	<b>YES</b>	
		■	
b. Are public transportation service(s) available at or near the site of the proposed action?		■	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?			
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<b>NO</b>	<b>YES</b>	
		■	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	<b>NO</b>	<b>YES</b>	
		■	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____	<b>NO</b>	<b>YES</b>	
		■	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?  b. Is the proposed action located in an archeological sensitive area?	<b>NO</b>	<b>YES</b>	
		■	
		■	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	<b>NO</b>	<b>YES</b>	
		■	
NO YES			
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline    Forest    Agricultural/grassland    Early mid-successional    Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<b>NO</b>	<b>YES</b>	
		■	
16. Is the project site located in the 100 year flood plain?	<b>NO</b>	<b>YES</b>	
		■	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties?  b. Will storm water discharges be directed to established conveyance systems (off and storm drains)? If Yes, briefly describe: _____	<b>NO</b>	<b>YES</b>	
		■	
		■	



18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	<b>NO</b>	<b>YES</b>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	<b>NO</b>	<b>YES</b>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	<b>NO</b>	<b>YES</b>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <b>Mark Lippman</b>	Date: <b>12/07/2022</b>	
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PART "A"  
OWNER AFFIDAVIT

State of New York }  
County of Dutchess } ss:

Louis W. Snell being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize Virginia Kalaka, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

Louis W. Snell  
Applicant/Owner

\_\_\_\_\_  
Applicant/Owner

Sworn to before me this 7th day of

December, 20 22.

Ricardo F Mendes  
Notary Public

RICARDO F MENDES  
Notary Public, State of New York  
Commission No. 01ME6177155  
Qualified in Dutchess County  
Commission expires Nov. 13th, 2023



PART "B"  
APPLICANT / AGENT AFFIDAVIT

State of New York  
County of Dutchess

ss:

Eugene Donnelly being duly sworn, deposes and says:

1. That I/we are the President Northwest Forest Enterprises LLC named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at \_\_\_\_\_ in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

[Signature]  
Applicant/Agent

E. Donnelly Jr President NFE  
Applicant/Agent

Sworn to before me this 7<sup>th</sup> day of

December, 2022.

[Signature]  
Notary Public

