



Letter of Transmittal

10/2/2023

Recipient: Building Department
Office of Code Enforcement
Office of Fire Inspector
2582 South Avenue
Wappingers Falls, NY 12590

Project: 7-Eleven Store No. 46895/7645
1542 Route 9
Wappinger Falls, NY 12590

Re: Building Permit Application

Enclosed:	<input checked="" type="checkbox"/> Drawings	<input checked="" type="checkbox"/> Specifications	<input type="checkbox"/> Applications	<input type="checkbox"/> Other (See Description)
For:	<input checked="" type="checkbox"/> Approval	<input checked="" type="checkbox"/> Comments	<input type="checkbox"/> Information	<input type="checkbox"/> Other (See Description)
Via:	<input type="checkbox"/> USPS Mail	<input checked="" type="checkbox"/> Express Mail	<input type="checkbox"/> In person Submittal	

Non-Drawing Enclosures (8.5" x 11"):

Copies	Date	Description
1	10/2/23	Transmittal
1	10/2/23	Building Permit Application Form
1	10/2/23	Excavation Permit
1	10/2/23	Tank Removal Permit
1	10/2/23	Contractor Insurance

Drawings Enclosed:

Copies	Rev	Date	Sht. No.	Sheet Title
2	1	9/20/2023	27	24 x 36 Site Plans

Comments:

Please see attached information regarding the 7-Eleven / Speedway Store No. 46895/7645, fueling remodel project located at 1542 Route 9, Wappingers Falls, NY 12590. The electrical permit will be pulled by the electrical contractor.

The application materials can be downloaded from the following link:

Password: ARR65HSe

<https://sevan.egnyte.com/fi/QYLRtXIUY2>

Please contact me if you have any questions.

Regards,

Project Manager

Seven Multi-Site Solutions, Agent for 7-Eleven Inc. & Speedway

412-651-6182

Kristen.Schawalder@sevansolutions.com

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of _____)
County of _____) ss:

_____ being duly sworn, deposes and says:

1. That I/we are the Applicant named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 1542 Route 9, Wappingers Falls in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Bardie Lehman
Applicant/Agent

Applicant/Agent

Sworn to before me this 8 day of
September, 2023.

Meghan Allen
Notary Public exp 11-17-24





7-ELEVEN

EXISTING STORE W/ FUELING REMODEL

7-ELEVEN STORE NO. 46895

SPEEDWAY STORE NO. 7645

1542 ROUTE 9

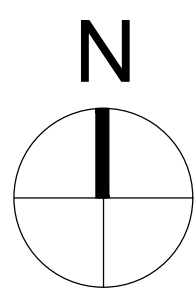
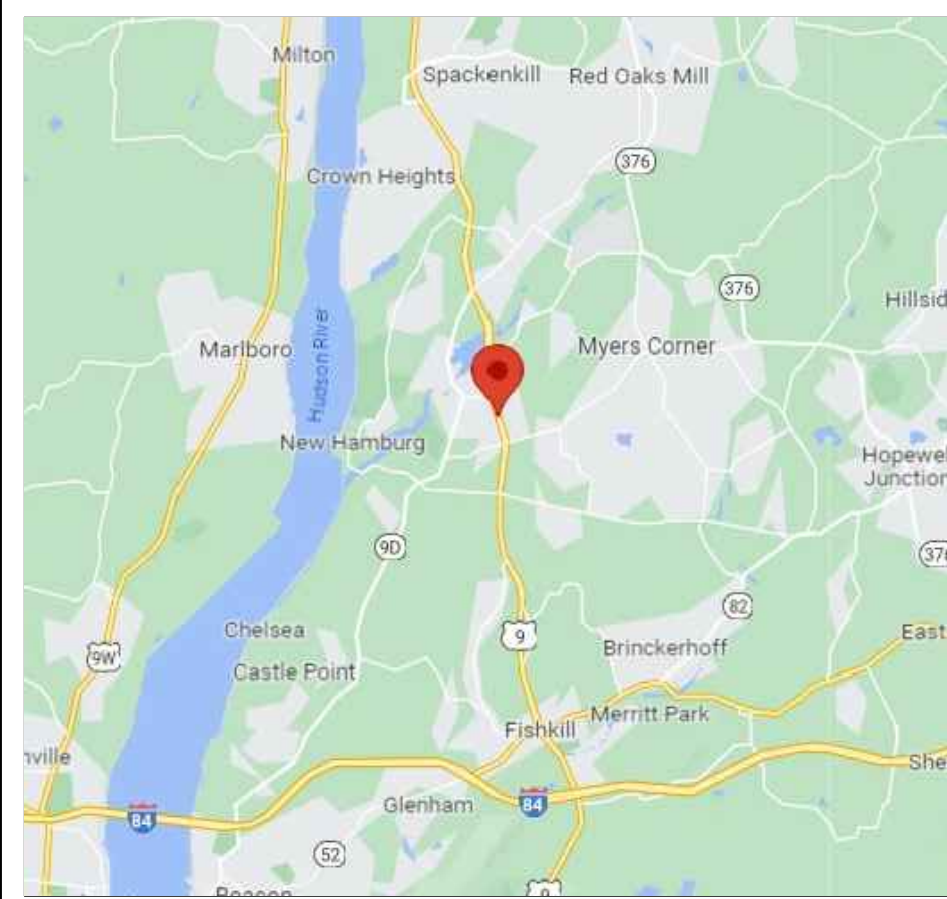
WAPPINGERS FALLS, NY 12590

SHEET INDEX

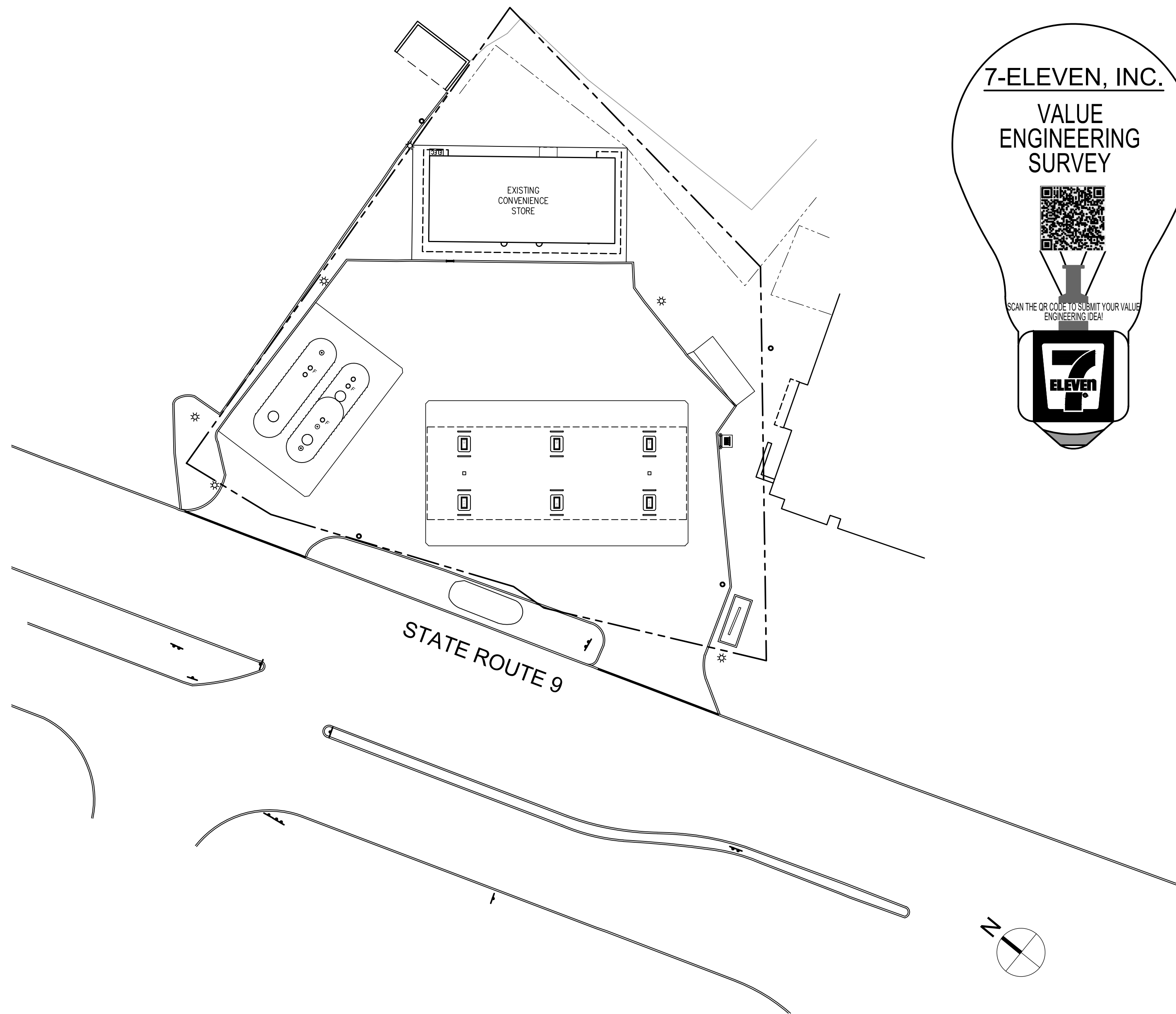
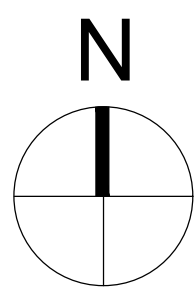
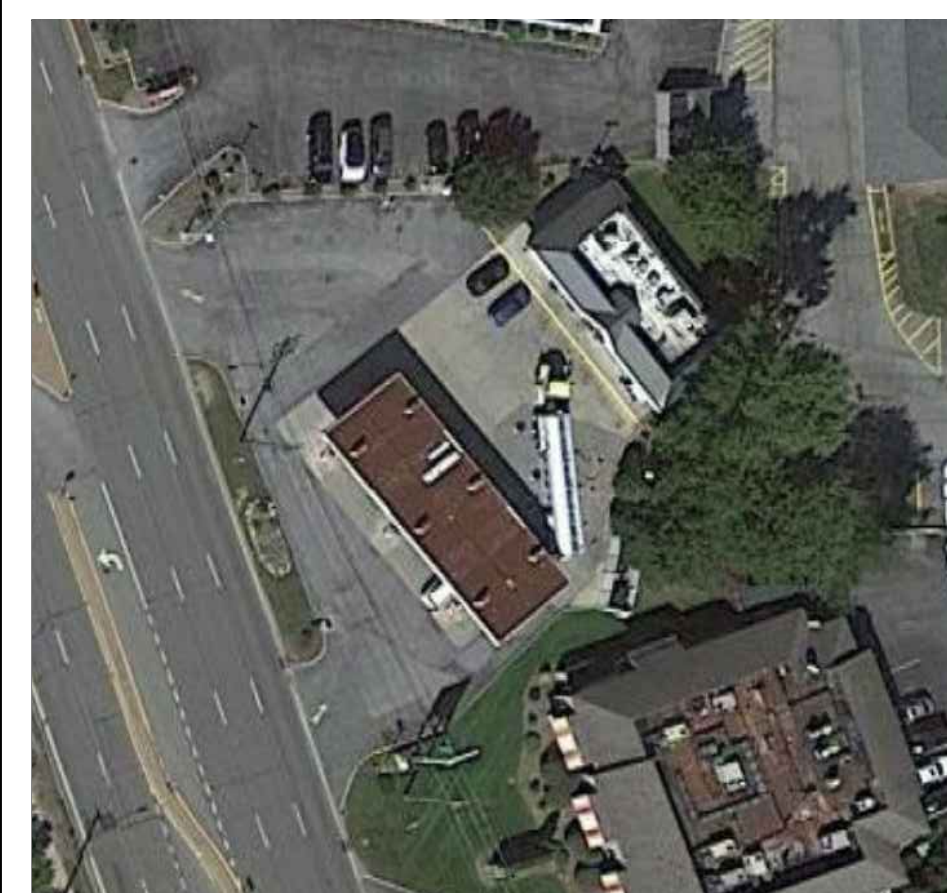
Rev. #	Date	Description
1	09/19/23	PEER REVIEW COMMENTS
REV 1		FUELING CANOPY AND UNDERGROUND STORAGE TANKS
		G0.0 FUELING CANOPY COVER SHEET AND INDEX
		G0.1 FUELING ARCHITECTURAL SITE PLAN
		G0.2 FUELING TRUCK ROUTE
		G0.3 FUELING DEMOLITION PLAN
		G1.0 FUELING PIPING AND TANK PLAN
		G2.0 NOT USED
		G3.0 TANK SECTIONS
		G4.0 TANK SUMP DETAILS - DUAL OUTPUT
		G4.1 TANK SUMP DETAILS
		G5.0 DISPENSER AND SUMP DETAILS
		G6.0 REMOTE VENT AND DETAILS
		G6.1 FUELING DIMENSIONAL PLAN
		G7.0 EQUIPMENT SCHEDULES
		G7.1 EQUIPMENT SCHEDULES
		G8.0 FUELING CANOPY LAYOUT
		G8.1 SIGNAGE DETAILS
		G9.0 UST ELECTRICAL PLAN, ONE-LINE DIAGRAM AND PANEL SCHEDULE
		G9.1 N.E.C. CLASSIFIED AREA
		G10.0 MISCELLANEOUS ELECTRICAL DETAILS
		G11.0 ISOLATION RELAY BOX DETAIL
		G12.0 SITE MONITORING EQUIPMENT DIAGRAM
		G13.0 FUELING SPECIFICATIONS
		G14.0 FUELING SPECIFICATIONS
		G15.0 FUELING SPECIFICATIONS
		G16.0 FUELING SPECIFICATIONS
		G17.0 FUELING SPECIFICATIONS
		CPC-1 FUELING REMODEL PAVEMENT AND CURBING DETAILS
		SCB-1 FUELING REMODEL STANDARD CANOPY BASE DETAILS

7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING TEXAS 75063
 7-ELEVEN #46895 - SPEEDWAY #7645
 1542 ROUTE 9
 WAPPINGERS FALLS, NY 12590
 FUELING CANOPY COVER SHEET AND INDEX

VICINITY MAP



SITE LOCATION MAP



PROJECT DATA

2020 BUILDING CODE OF NEW YORK STATE
 2020 MECHANICAL CODE OF NEW YORK STATE
 2020 PLUMBING CODE OF NEW YORK STATE
 2017 NATIONAL ELECTRICAL CODE
 2020 FIRE CODE OF NEW YORK STATE
 2020 FUEL GAS CODE OF NEW YORK STATE

NFPA 30 FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE-2015 EDITION
 NFPA 30A CODE FOR MOTOR FUEL DISPENSING FACILITIES AND REPAIR GARAGES-2015 EDITION
 NFPA 1 UNIFORM FIRE CODE HANDBOOK

SUMMARY OF WORK

- GRADING AND SITEWORK
 - ASSOCIATED UNDERGROUND TANKS AND PIPING.
 - FUELING STATION DESCRIPTION:

(4) NEW GILBARCO 3+0 DISPENSERS
 (2) NEW GILBARCO 3+1 DISPENSERS FOR DIESEL
 (1) 10" DIA. 20K GAL. DW FIBERGLASS UST FOR UNLEADED FUEL
 (1) 10" DIA. 20K GAL. SPLIT DW FIBERGLASS UST - 12K DIESEL/8K PREMIUM
 (2) 2.0 hp VARIABLE SPEED STP FOR RUL AND PUL
 (1) 1.5 hp FIXED SPEED STP FOR DIESEL
 (3) ATG's (1 PER STP SUMP)
 (3) PRODUCT FILL BUCKETS (1 EACH UST)
 1.5" FLEX PIPING IN 4" CHASE PIPING FOR RUL, PUL AND DIESEL FUELS
 2" SW FRP VENT PIPING (UST'S TO REMOTE VENT SUMP)
 (1) NEW BRAVO VENT BOX FOR RUL, PUL AND DIESEL
 (1) EXISTING FUELING CANOPY FOR SIX (6) DISPENSERS TO REMAIN
 (6) NEW 5' X 4' X 13" STAINLESS STEEL ISLANDS AT EACH DISPENSER
 NEW VEEDER ROOT TLS-450 PLUS SITE MONITOR CONSOLE
 (1) NEW HYDRX FUEL CONDITIONING SYSTEM AT DIESEL TANK

PROJECT DIRECTORY

OWNER: 7-ELEVEN INC
 3200 HACKBERRY ROAD
 IRVING, TX 75063

MEP ENGINEER: CORE STATES GROUP
 212 SE 34TH STREET, SUITE 2
 BENTONVILLE, AR 72712
 CONTACT: DAVID LEIFFER
 479.986.4400
 EMAIL: DLEIFFER@CORE-STATES.COM

REFERENCE SYMBOLS

	- NORTH ARROW	XXXXXXXX	- ROOM TAG
	- HEIGHT ELEVATION INDICATOR		- REVISION DELTA
	- DOOR TAG		- SPOT ELEVATION INDICATOR
	- ENLARGED DETAIL INDICATOR		- KEY NOTE INDICATOR
	- GRID LINE INDICATOR		- FINISH INDICATOR
	- WINDOW TAG		- SECTION CUT INDICATOR
	- WALL TAG		- ELEVATION INDICATOR
			- EQUIPMENT TAG (FOR LIST REF G7.0)

CORE STATES GROUP
 ARCHITECTURE AND ENGINEERING P.C.
 CERTIFICATE OF AUTHORIZATION
 NO. 092855

46 East Main Street
 Bentonville, AR 72712
 479.986.4400
 908.462.9700
 core-states.com

Job#: SPW-36100-SEI
 Scale: AS NOTED
 Date: 02/14/23
 Drawn By: RMC
 Checked By: CGC

Documents prepared by Core States Group are for the specific project and site only for the specific project and site. Any extension of use for any other party, without the expressed, written consent of Core States Group is prohibited. Core States Group is not responsible for any other than that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.



SHEET:
G0.0
 FUELING - USA



Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

GENERAL NOTES

FUEL CONTRACTOR

- 1 FUEL GC TO WORK WITH SEI PM ON SCHEDULING. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE SEI PROJECT MANAGER.
2 FUEL GC RESPONSIBLE FOR ALL CONCRETE OVER TANKS AND PRODUCT PIPING (I.E. TANK SLAB AND DRIVE MATS). CONCRETE CHAIRS ARE BY SEI.
3 FUEL GC RESPONSIBLE FOR CANOPY FOOTINGS.
4 FUEL GC TO INSTALL CANOPY DRAINS (WHERE APPLICABLE) TO POINT OF CONNECTION WITHIN (10) FT OF DRIVE MATS.
5 FUEL GC TO INSTALL ALL FUEL RELATED CONDUITS, SEAL-OFFS, ELECTRICAL J-BOXES PER STATE, LOCAL, MANUFACTURERS AND SEI CODES AND SPECIFICATIONS.
6 FUEL GC TO PULL WIRE FOR CANOPY LIGHTING, INTERCOM, DISPENSERS, TURBINES AND MONITORING SYSTEM DEVICES.
7 FUEL GC TO MAKE ALL FINAL CONNECTIONS TO FUELING EQUIPMENT AND ELECTRONICS.
8 FUEL GC TO PULL TRADE PERMITS FOR FUELING WORK (AS REQUIRED).
9 FUEL GC TO "CALL FOR" AND "BE PRESENT FOR" ALL LOCAL REGULATOR INSPECTIONS AND RESPONSIBLE FOR SCHEDULING ON-SITE INSPECTIONS WITH APPROPRIATE SEI REPRESENTATIVE RELATED TO FUELING.
10 FUEL GC TO COORDINATE WITH TANKNOLOGY AND THE SEI CONSTRUCTION MANAGER FOR TESTING OF FUELING SYSTEM.
11 FUEL GC TO HAVE PERSONNEL ON SITE FOR TESTING.
12 FUEL GC RESPONSIBLE FOR CLOSE OUT PACKAGE PER 7-11 MATRIX.

SCOPE OF WORK

- 1 INSTALL NEW XERXES 20,000 GALLON 10' DIA DOUBLE WALL FIBERGLASS UNDERGROUND STORAGE TANK (UST) FOR REGULAR FUEL.
2 INSTALL NEW XERXES 20,000 GALLON 10' DIA DOUBLE WALL FIBERGLASS UNDERGROUND SPLIT STORAGE TANKS (UST'S) FOR 12,000 GALLONS DIESEL AND 8,000 GALLONS PREMIUM FUELS.
3 INSTALL (1) NEW FE PETRO 1.5 HP FIXED SPEED SUBMERSIBLE PUMP WITH INTAKE FILTER FOR DSL FUEL.
4 INSTALL (2) NEW FE PETRO 2 HP VARIABLE SPEED SUBMERSIBLE PUMP WITH INTAKE FILTER FOR RUL AND PUL FUELS.
5 INSTALL (4) NEW GILBARCO 700S 3+0 DISPENSERS AND (2) NEW GILBARCO 700S 3+1 DISPENSERS.
6 INSTALL NEW OPW LOOP SYSTEM FROM NEW UST'S TO NEW DISPENSERS.
7 INSTALL (3) NEW VAPOR/VENT RISERS WITH BRAVO VENT BOX AND BRAVO VAPOR VENT RACK FOR SUPPORT.
8 INSTALL NEW 2" FIBERGLASS PIPING FROM VAPOR/VENT AT UST'S TO NEW REMOTE VENT.
9 INSTALL NEW CONCRETE AT DISTURBED AREAS AT TANK SLAB FOR NEW PIPING PER SEI STANDARDS.
10 INSTALL NEW CONCRETE AT DISTURBED AREAS AT CANOPY SLAB FOR NEW PIPING PER SEI STANDARDS.
11 INSTALL NEW "U" BOLLARDS AT DISPENSERS AND REMOTE VENT TO SEI SPECIFICATIONS (TYP 13).
12 ACTIVATE INTERCOMS INSIDE OF THE DISPENSERS.
13 INSTALL (2) NEW FIRE EXTINGUISHERS AT ADA COMPLIANT HEIGHT AT CANOPY COLUMNS.
14 GC TO PROVIDE AND INSTALL (6) NEW TRASH CANWASH BUCKET COMBOS AT CANOPY COLUMNS.
15 EXISTING MAIN ID SIGN TO REMAIN. RE-IMAGE AS REQUIRED.
16 PAINT LED SIGNAGE FRAME, POLES, NEW BOLLARDS, CANOPY COLUMNS PER SPEEDWAY SPECIFICATIONS.
17 INSTALL NEW VEEDER ROOT TLS-450 PLUS SITE MONITOR CONSOLE. FIELD VERIFY LOCATION.
18 ROUTE NEW CONDUIT TO NEW ELECTRICAL THROUGH EXTERIOR OF BUILDING, VERIFY LOCATION WITH SEI CONSTRUCTION MANAGER.
19 DEMOLITION-REMOVE EXISTING TANKS, TANK SLAB, EXISTING UST SYSTEM AND PIPING COMPLETELY. REMOVE ADDITIONAL PAVEMENT/SIDEWALKS AS REQUIRED TO FACILITATE OTHER REMOVALS AND INSTALLATIONS.
20 INSTALL (1) NEW E-STOP ON BUILDING EXTERIOR AT ADA COMPLIANT HEIGHT.
21 EXISTING SPEEDWAY BRANDED CANOPY TO REMAIN FOR (6) NEW DISPENSERS.
22 INSTALL (1) NEW INTERIOR E-STOP BEHIND THE SALES COUNTER.
23 INSTALL (6) NEW 5' X 4' X 13" STAINLESS STEEL ISLANDS AT EACH DISPENSER.
24 REUSE EXISTING POS. UPGRADE AS REQUIRED.
25 REUSE EXISTING LED PUMP TOPPERS AT NEW DISPENSERS.
26 INSTALL (1) NEW HYDRX FUEL CONDITIONING SYSTEM IN THE DIESEL STP SUMP.

KEY NOTES

- 1 EXISTING CONVENIENCE STORE
2 EXISTING FUELING CANOPY AND NEW DISPENSERS
3 NEW UNDERGROUND FUEL STORAGE TANKS AND SLAB
4 NEW FUEL STORAGE TANK VENTS
5 EXISTING AIR MACHINE
6 NEW E-STOP ON BUILDING EXTERIOR
7 EXISTING MAIN ID SIGN TO REMAIN
8 NEW VEEDER ROOT TLS-450 PLUS SITE MONITOR CONSOLE. FIELD VERIFY LOCATION
9 NEW INTERIOR E-STOP BEHIND SALES COUNTER. FIELD VERIFY LOCATION

NOTE:

TANKS TO BE BURIED AT A MINIMUM OF 4.17' AT THE LOWEST FINISH GRADE ELEVATION AND A MAXIMUM OF 5.67' AT THE HIGHEST FINISH GRADE ELEVATION ON THE TANK PAD. VENT PIPING MUST HAVE A MINIMUM SLOPE OF 1/8" PER FOOT FROM VENT SUMP TO THE TANKS. GC TO COORDINATE ANY BURIAL DEPTH DEVIATIONS WITH SEI PROJECT MANAGER.

NOTE:

THIS DRAWING IS TO BE USED AS A SCHEMATIC DRAWING. IT IS THE RESPONSIBILITY OF THE GC AND FUELING SUB-CONTRACTORS INSTALLING PRODUCT PIPING AND FUEL SYSTEM TO VERIFY EXISTING FIELD CONDITIONS. IF FIELD CONDITIONS VARY FROM DRAWING AS SHOWN OR INHIBIT INSTALLATION AS SHOWN CEASE WORK AND CONTACT SEI PROJECT MANAGER OR REPRESENTATIVE.

GC AND SUB-CONTRACTORS TO FOLLOW REMOVAL, AND INSTALLATION REQUIREMENTS OF FUELING SYSTEM COMPONENTS PER MANUFACTURER INSTRUCTIONS, LOCAL, FEDERAL, AND FIRE MARSHALL'S MANDATES, LAWS, AND REGULATIONS.

Table with 4 columns: COMPONENT, REGULAR, PREMIUM, VENT. Rows include: FINISH GRADE ELEV. AT BEGINNING OF RUN (FT), PIPE BURY (FT), ELEVATION OF PIPE AT BEGINNING OF RUN (A-B), PIPE LENGTH (LONGEST RUN) (FT), PIPING RUN FALL (FT) (D*1/8" PER FT), TOTAL CROSSOVERS/SWING JOINTS, CROSSOVER/SWING JOINT DEPTH (FT), ELEVATION AT END OF PIPE (FT) (C-E-G*F), ADD FOR EXTRACTOR TEE AT SUMP, TOP TANK ELEVATION (FT) (H-I), HIGHEST FINISH GRADE ELEVATION AT TANK SLAB (FT), MAX BURY DEPTH (K-J) (FT): MAX = 5.67', LOWEST FINISH GRADE ELEVATION AT TANKS (FT), MIN BURY DEPTH (M-N) (FT): MIN = 4.17'

TANK BURIAL DEPTH IS GOVERNED BY THE REGULAR VENT PIPING. THE TOP OF TANKS SHALL BE SET AT 154.97 FT.

FUELING CONTRACTOR RESPONSIBLE FOR FIELD VERIFYING EXISTING ELECTRICAL ROOM, AND RELOCATING CONDUIT TRENCH AS NEEDED. FUELING CONTRACTOR TO PICK UP CONDUITS AND ROUTE TO FINAL TERMINATION AND FOR PULLING WIRE AND MAKING FINAL TERMINATIONS.

EXISTING CONVENIENCE STORE

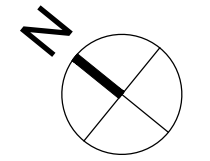
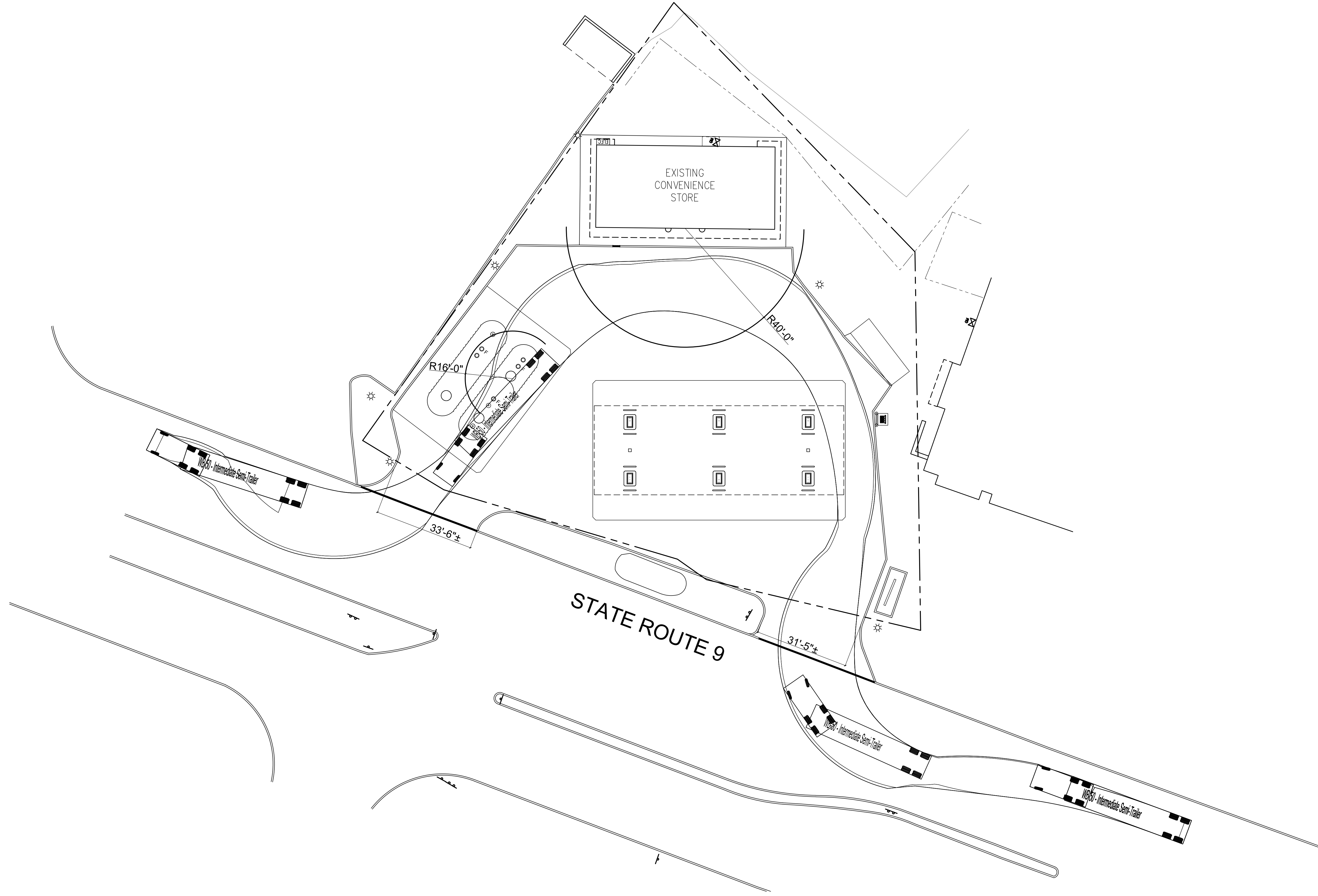
FUELING CONTRACTOR RESPONSIBLE TO PROTECT AND MAINTAIN 6" OF CLEARANCE BETWEEN THE EXISTING UNKNOWN UTILITY AND THE PRODUCT VENT PIPING AS REQUIRED. FIELD VERIFY LOCATION

FUELING CONTRACTOR RESPONSIBLE TO PROTECT AND MAINTAIN 6" OF CLEARANCE BETWEEN THE EXISTING UTILITIES AND THE PRODUCT PIPING. FIELD VERIFY LOCATION

STATE ROUTE 9

1 ARCHITECTURAL SITE PLAN 3/32" = 1'-0"

Project information including: 7-ELEVEN, INC., 3200 HACKBERRY ROAD, IRVING TEXAS 75063, 7-ELEVEN #46895 - SPEEDWAY #7645, WAPPINGERS FALLS, NY 12590, FUELING ARCHITECTURAL SITE PLAN, SHEET: G0.1, FUELING - USA, and logos for CORE STATES GROUP and ELEVEN.



1 FUELING TRUCK ROUTE
 1/16" = 1'-0"

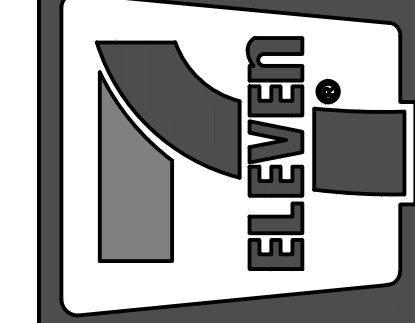
Documents prepared by Core States Group are for the specific project and intended only for the specific project and intended. Any extension of use or modification of these documents without the expressed, written consent of Core States Group is prohibited. In no way other than that specifically intended, user will hold Core States Group harmless from all claims and losses.



SHEET:
G0.2
 FUELING - USA

Job#: SPW-36100-SEI
 Scale: AS NOTED
 Date: 02/14/23
 Drawn By: RMC
 Checked By: CGC

CORE STATES GROUP
 CORE STATES ARCHITECTURE AND ENGINEERING P.C.
 CERTIFICATE OF AUTHORIZATION NO. 093879
 46 East Main Street
 Suite 200
 Sayreville, NJ 08876
 908.462.9700
 core-states.com

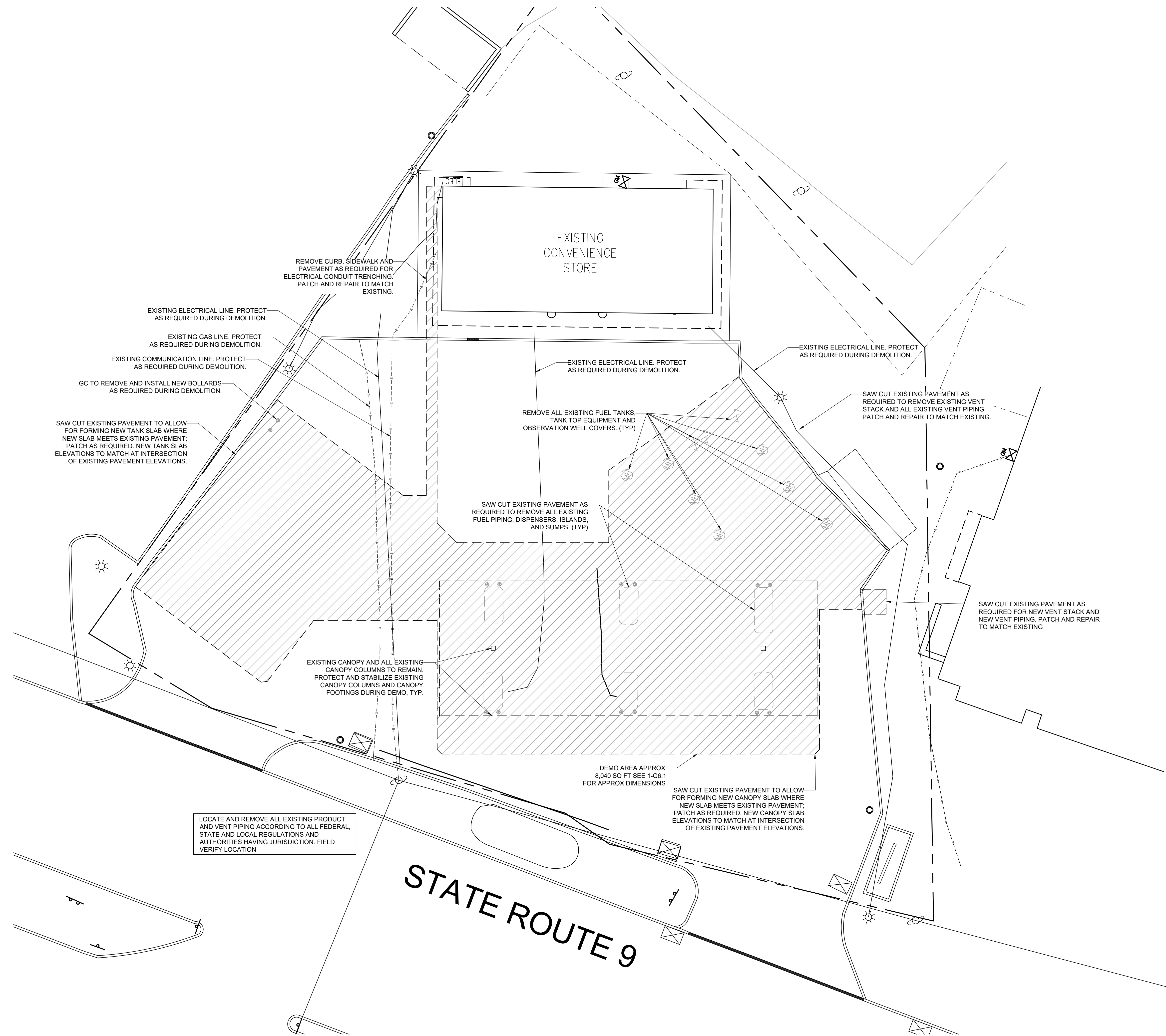


7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
 1542 ROUTE 9
 WAPPINGERS FALLS, NY 12590
 FUELING TRUCK ROUTE

Rev. #	Date	Description
Proto 2022-04		

GENERAL NOTES

- CONTRACTOR TO CUT AND REMOVE CONCRETE AS NECESSARY TO REMOVE ALL EXISTING PIPING. LOCATION OF REMOVAL AT DISPENSER ISLANDS IS APPROXIMATE AND IS BASED ON AVAILABLE INFORMATION.



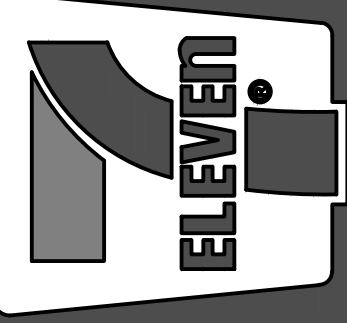
Rev. #	Date	Description

Proto 2022-04

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063

7-ELEVEN #46895 - SPEEDWAY #7645
1542 ROUTE 9
WAPPINGERS FALLS, NY 12590

FUELING DEMOLITION PLAN



CORE STATES GROUP

ARCHITECTURE AND ENGINEERING P.C.
CERTIFICATE OF AUTHORIZATION
NO. 021079

46 East Main Street
Suite 204
Sayreville, NJ 08876
908.462.9700
core-states.com

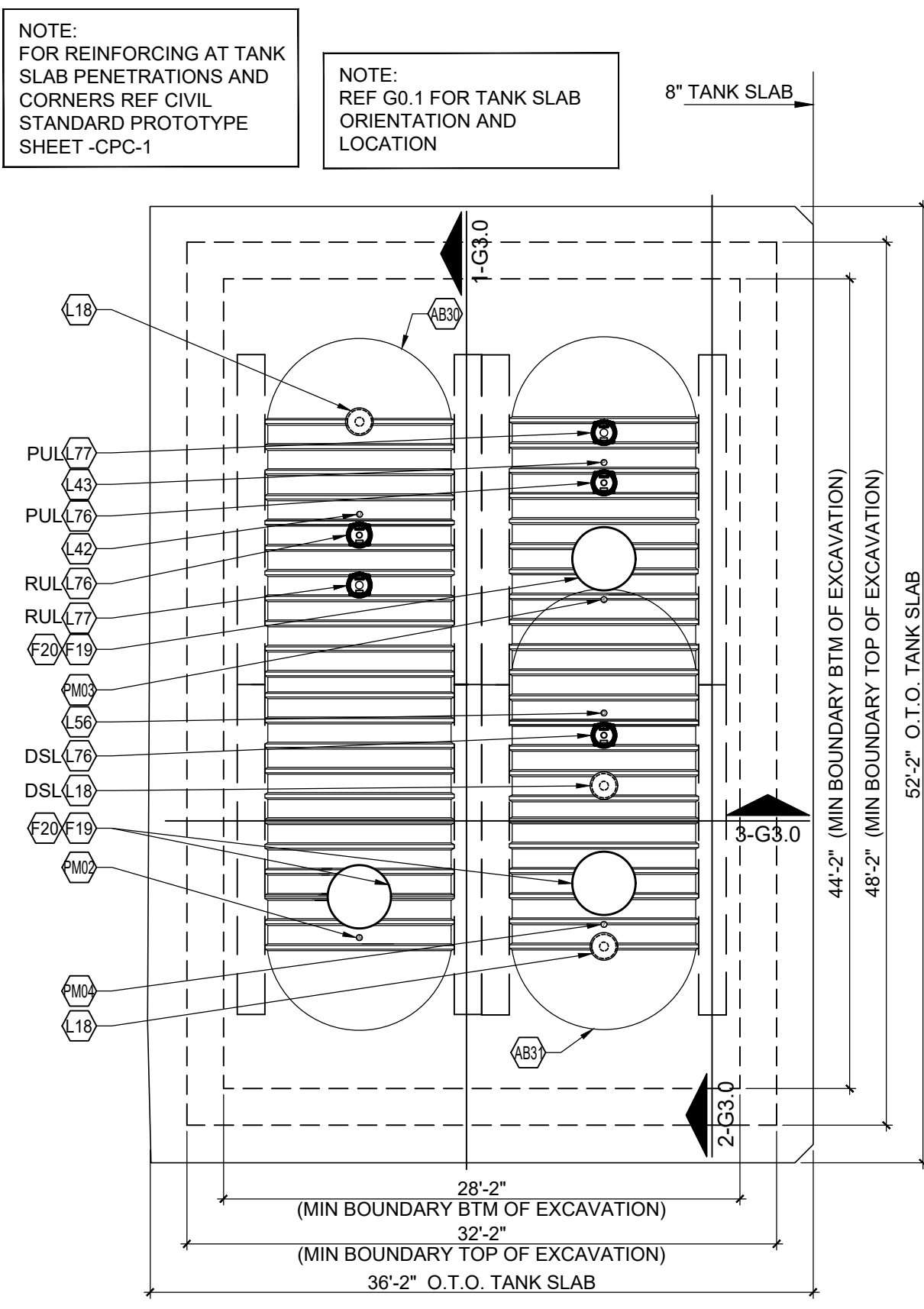
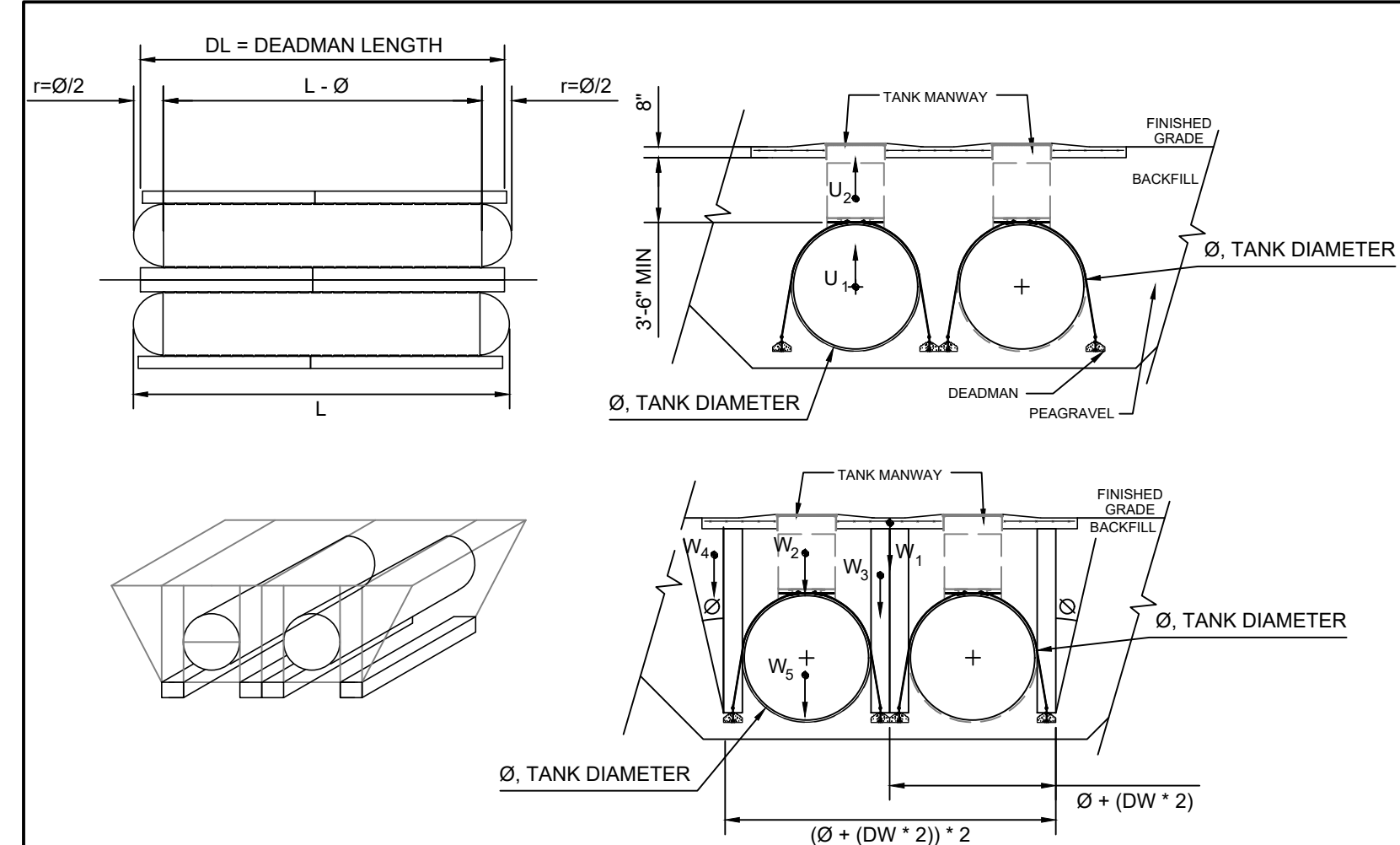
Job#: SPW-36100-SEI
Scale: AS NOTED
Date: 02/14/23
Drawn By: RMC
Checked By: CGC

Documents prepared by Core States Group are for the specific project and specific use for which they are intended. Any extension of use beyond that intended, without the expressed, written consent of Core States Group is done at the user's risk. Core States Group will not be held responsible for any other than that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.



SHEET:
G0.3
FUELING - USA

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.



Underground Storage Tank Buoyancy Calculations for Fiberglass Tanks

Project #: SPW 36100 SE1
 Project Name: Wappingers Falls, NY #46895
 Tank Manufacturer / Model: Xerxes DW 10' 20K

Number of Tanks:	2	Assumptions
Tank Dry Weight:	9000 lbs	100% saturation to finished grade
Tank Volume:	20000 gallons	water = 62.4 lb/CF
Tank Diameter (#):	10 feet	submerged concrete = 87.6 lb/CF
Tank Bury Depth:	4.91 feet	submerged aggregate = 57.6 lb/CF
Tank Length (L):	37.75 feet	
Number of Sumps:	5	
Sump Diameter:	42 inches	
Tank Slab Length:	52.17 feet	
Tank Slab Width:	36.17 feet	
Tank Slab Thickness:	8 inches	
Deadman Length (DL):	30 feet	
Deadman Width (DW):	18 inches	
Deadman Height:	8.75 inches	

Tank & Sump(s) Uplift

Tank	U1 =	40000 gal	x 62.4 lb/CF =	333,244 lbs
Sumps	U2 =	141.6 CF	x 62.4 lb/CF =	8,839 lbs
Total Uplift	U =	Σ U1	=	342,083 lbs UP

Dead Weights for Hold Down

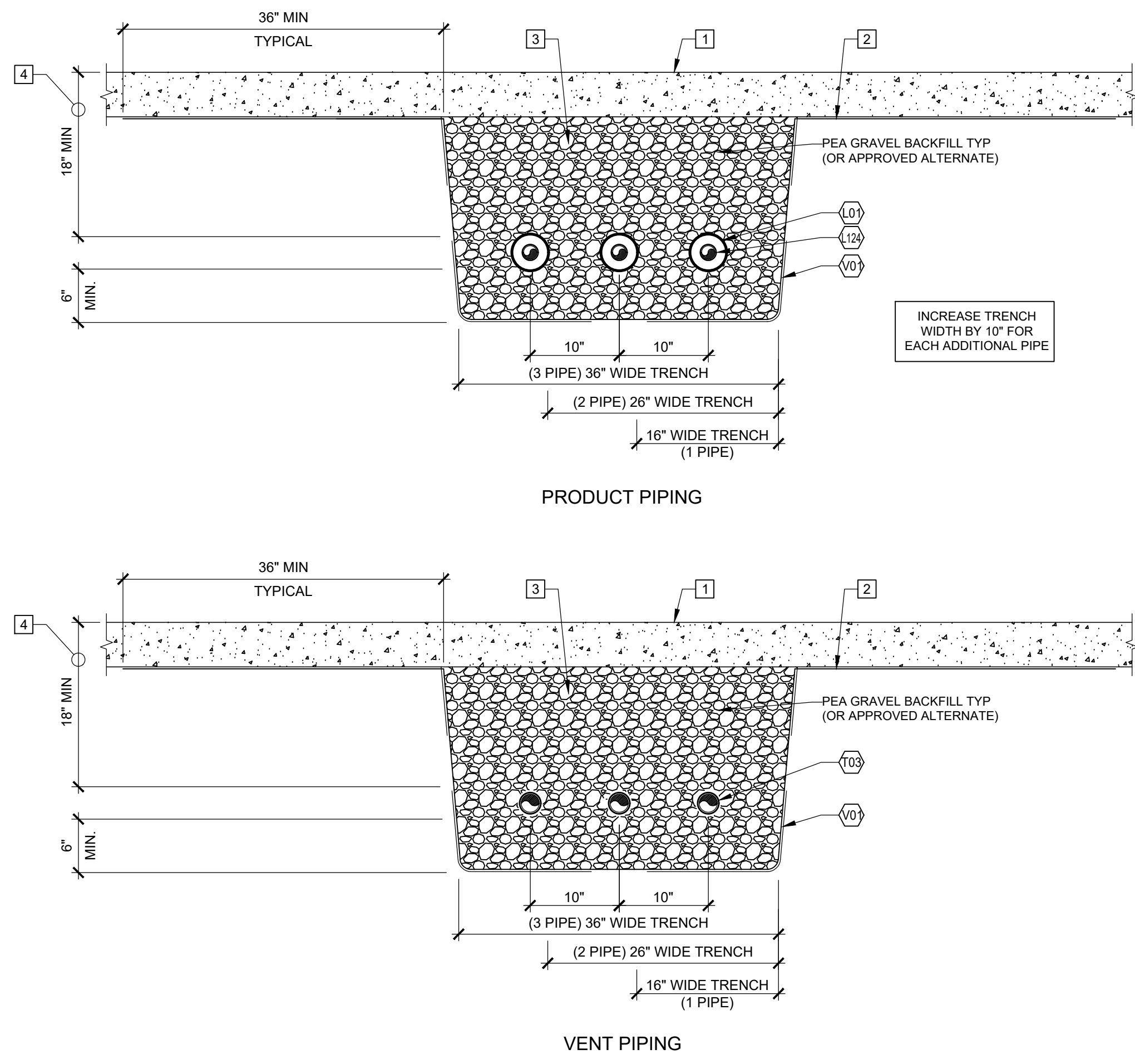
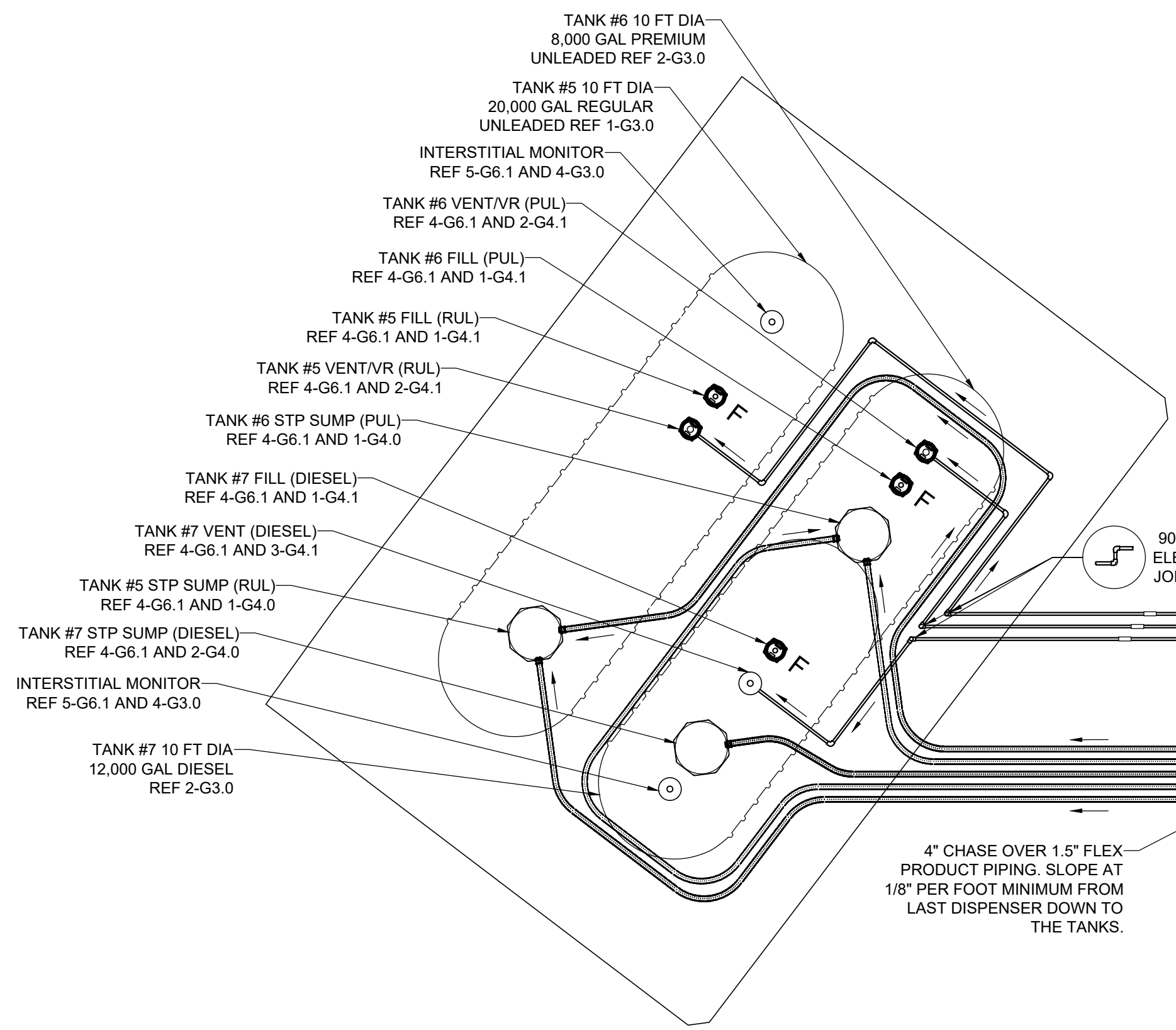
Concrete Slab	W1 =	1258.0 CF	x 87.6 lb/CF =	110,200 lbs
Backfill Above Tank	W2 =	3,911 CF	x 57.6 lb/CF =	225,275 lbs
Gravel Column Above Deadman (2 deadmen per tank)	W3 =	3076.56 CF	x 57.6 lb/CF =	177,210 lbs
Soil Wedge Above Deadman (2 total)	W4 =	332,4535 CF	x 57.6 lb/CF =	19,149 lbs
Concrete Deadman (2 deadmen per tank)	W4 =	157.5 CF	x 87.6 lb/CF =	13,797 lbs
Dry Weight of Tank	W5 =			18,000 lbs
Total Weight	W =	Σ W1	=	563,631 lbs DOWN

Net Force

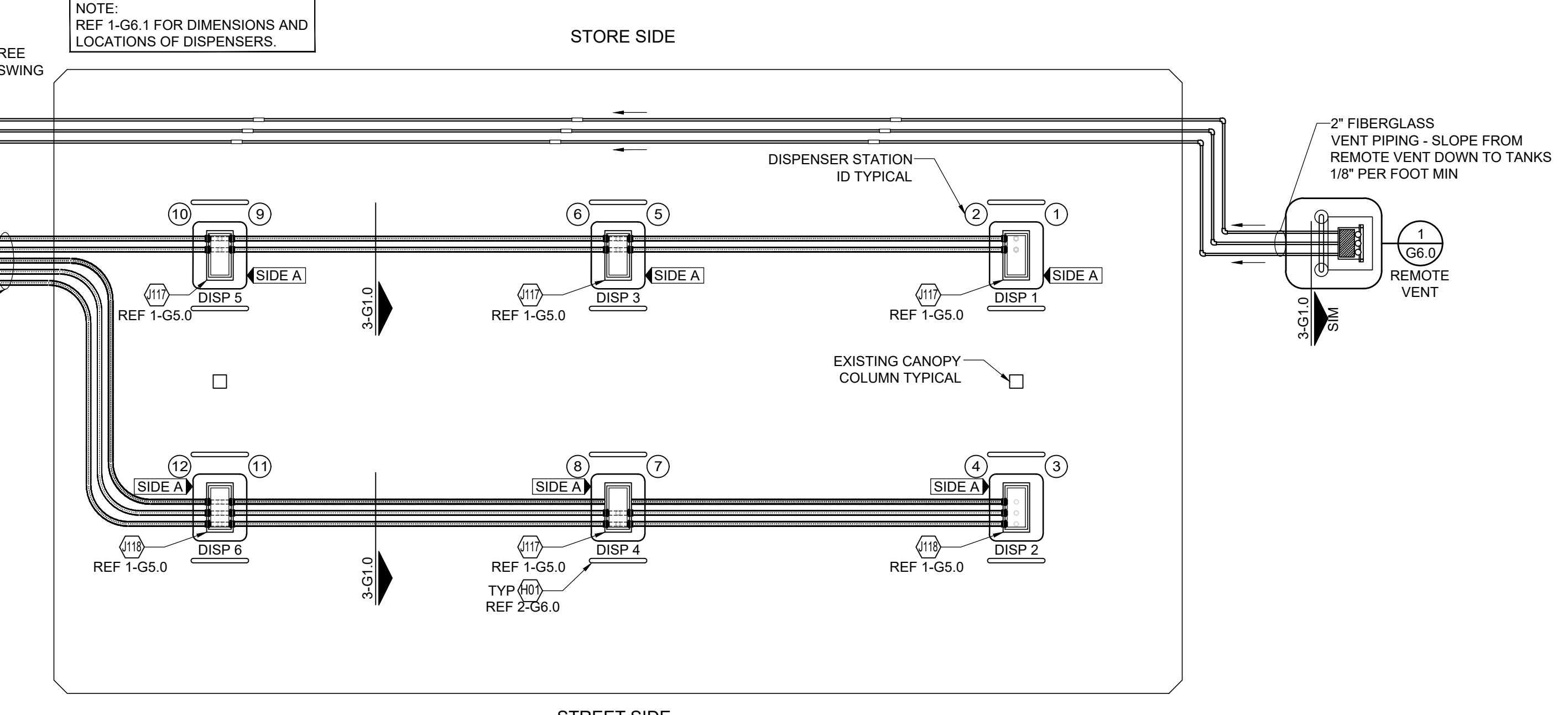
F_{net} =	Σ W1	-	Σ U1	=	221,548 DOWN
--------------------------	-------------	---	-------------	---	---------------------

Factor of Safety

F.S. =	563,631 lbs	÷	342,083 lbs	=	1.65 PASS
--------	-------------	---	-------------	---	-----------



3 PIPING TRENCH SECTION
1" = 1'-0"



1 FUEL PIPING PLAN
1/8" = 1'-0"

GENERAL NOTES

- ALL CONSTRUCTION SHALL MEET COUNTY STANDARDS. CONTRACTOR TO SECURE ENTIRE CONSTRUCTION AREA WITH CHAIN LINK FENCING DURING CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DIFFERENCES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE PLANS BEFORE PROCEEDING WITH CONSTRUCTION.
- FUEL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTEGRITY OF THE PIPING SYSTEM DURING CANOPY ERECTION AND CONCRETE FLATWORK INSTALLATION.
- AFTER COMPLETING INSTALLATION OF DISPENSERS, THE FUEL CONTRACTOR IS TO INSTALL BRIGHT ORANGE CONSTRUCTION FENCE AROUND ENTIRE DISPENSER.
- FUEL CONTRACTOR IS TO BE AWARE THAT ON THE DAY THE GASOLINE SYSTEM IS PUT INTO SERVICE, THE FUEL CONTRACTOR AND A GILBARCO AUTHORIZED SERVICE CONTRACTOR MUST BE ON SITE ONE (1) HOUR PRIOR TO STARTUP AND MUST REMAIN ON SITE THREE (3) ADDITIONAL HOURS FOR A TOTAL OF FOUR (4) HOURS. ANY COSTS INCURRED OVER FOUR (4) HOURS DUE TO FUELING SYSTEM ISSUES, SHOULD BE BILLED AS A CHANGE ORDER.

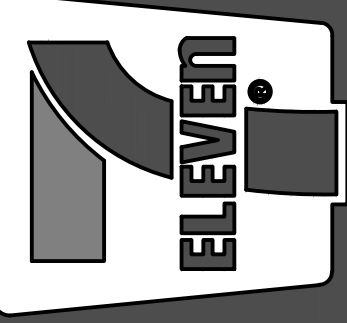
KEY NOTES

- 6" CONCRETE SLAB AT FUELING CANOPY. REF G0.1 FOR TOS ELEVATIONS.
- GEOTECH FABRIC MATERIAL TO EXTEND 36" PAST EACH SIDE OF PIPING TRENCH. ALL GEOTECH FABRIC MATERIAL SHALL BE PINNED PRIOR TO BACKFILLING. METHOD OF PINNING FABRIC AT TOP OF EXCAVATION TO BE APPROVED BY THE 7-ELEVEN CONSTRUCTION MANAGER.
- PIPING TRENCHES SHALL BE DUG IN SUCH A MANNER THAT THE TRENCH WIDTH IS EQUAL TO AT LEAST TWICE WIDTH OF ALL PIPING CONTAINED WITHIN. MAINTAIN A MINIMUM OF 4" (10cm) CLEAR DISTANCE BETWEEN PIPING POSITIONED IN THE TRENCH AND 6" WHERE PIPING CROSSES OVER EACH OTHER. THE BOTTOM OF THE TRENCH SHALL BE AS UNIFORM AS POSSIBLE TO ELIMINATE HIGH SPOTS AND ENSURING AN EVEN LAYER OF BEDDING MATERIAL UNDER THE PIPE. REMOVE ALL SHARP ROCKS AND DEBRIS FROM THE TRENCH BOTTOM BEFORE BEDDING MATERIAL IS INSTALLED.
- SITE CONDITIONS MAY CAUSE VARIATIONS WHICH MUST BE APPROVED BY 7-ELEVEN AND MANUFACTURER. PIPING BURIAL DEPTHS LESS THAN 18" REQUIRES 7-ELEVEN APPROVAL.

Rev. #	Date	Description

Proto 2022-04

7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
 1542 ROUTE 9
 WAPPINGERS FALLS, NY 12590
 FUELING PIPING AND TANK PLAN



CORE STATES GROUP
 CONCRETES
 ARCHITECTURE AND ENGINEERING P.C.
 CERTIFICATE OF AUTHORIZATION
 NO. 092855
 46 Echo Moon Street
 Suite 204A, NJ 08876
 908.462.9700
 core-states.com

Job#: SPW-36100-SE1
 Scale: AS NOTED
 Date: 02/14/23
 Drawn By: RMC
 Checked By: CGC

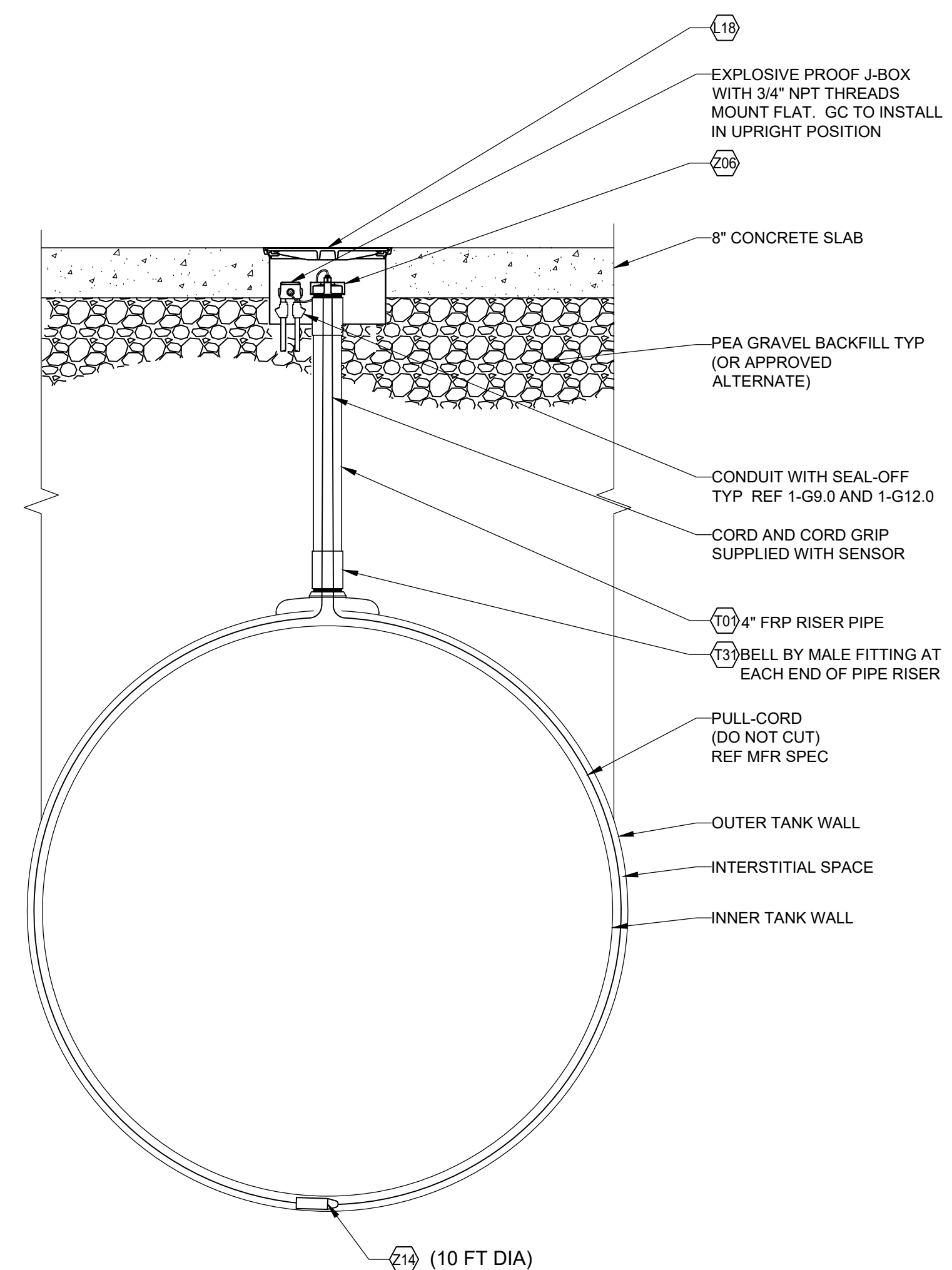
Documents prepared by Core States Group are for the specific project and site only. Any extension of use or modification of these documents without the written consent of Core States Group is prohibited. Core States Group is not responsible for any errors or omissions in these documents. User will hold Core States Group harmless from all claims and lawsuits.



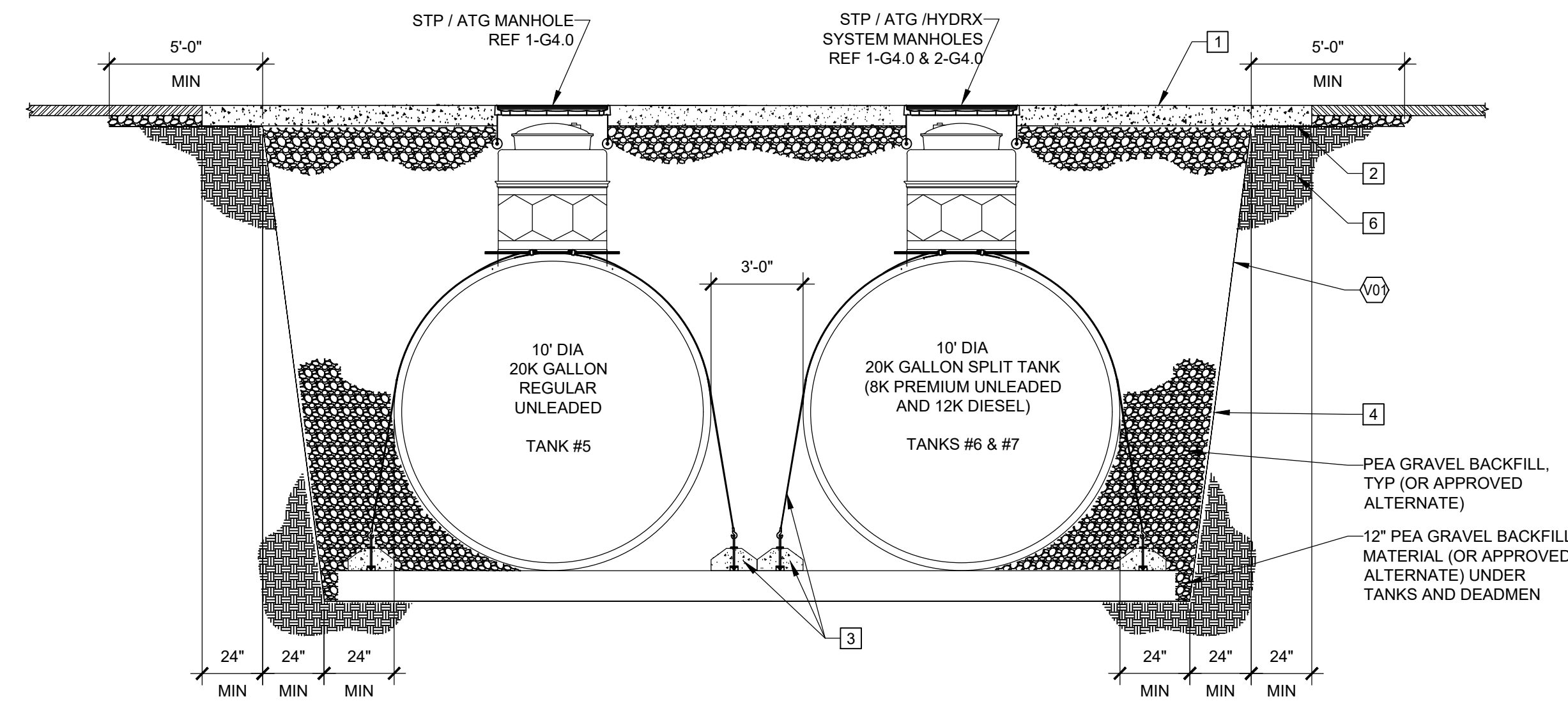
SHEET:
G1.0
 FUELING - USA

KEY NOTES

- 1 CONCRETE SLAB. REF G0.1 FOR TOS ELEVATIONS. ALL MANHOLES WITHIN THE TANK SLAB AREA TO BE RAISED 1" ABOVE THE NORMAL GRADE OF CONCRETE. SLOPE CONCRETE TO MANHOLES 1/4" PER FT. CROWN CONCRETE AS TO NOT INHIBIT WATER DRAINAGE OFF THE TANK SLAB (NO POOLING).
- 2 GEOTECH FABRIC MATERIAL TO EXTEND 60" MINIMUM PAST THE TANK HOLE EXCAVATION. ALL GEOTECH FABRIC MATERIAL TO BE PINNED PRIOR TO BACKFILLING. METHOD OF PINNING FABRIC AT TOP OF EXCAVATION TO BE APPROVED BY THE 7-ELEVEN CONSTRUCTION MGR.
- 3 MOH STRAP ANCHOR SYSTEM SUPPLIED BY TANK MANUFACTURER. PLACE DEADMEN PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 4 FOR SLOPE, FOLLOW CURRENT OSHA REGULATIONS. IF SHEET PILES ARE UTILIZED, PROVIDE 42" MINIMUM CLEARANCE BETWEEN NEW TANKS AND SHORING.
- 5 BURIAL DEPTH GREATER THAN 5'-8" REQUIRES 7-ELEVEN AND MANUFACTURER'S APPROVAL.
- 6 UNDISTURBED SOIL OR COMPACTED BACK FILL NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (AASHTO-T-180).



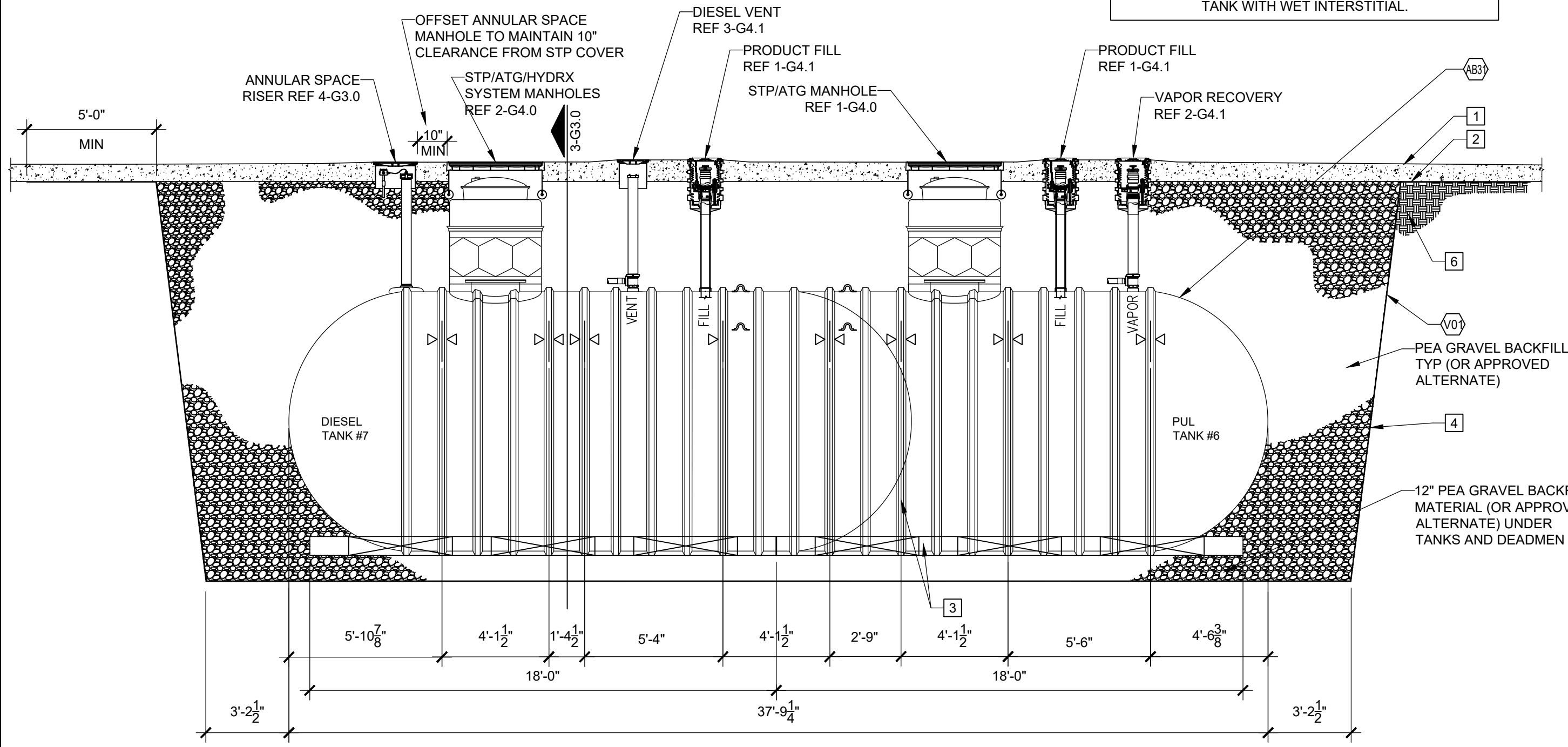
4 ANNULAR SPACE RISER AND SENSOR SECTION
1/2"=1'-0"



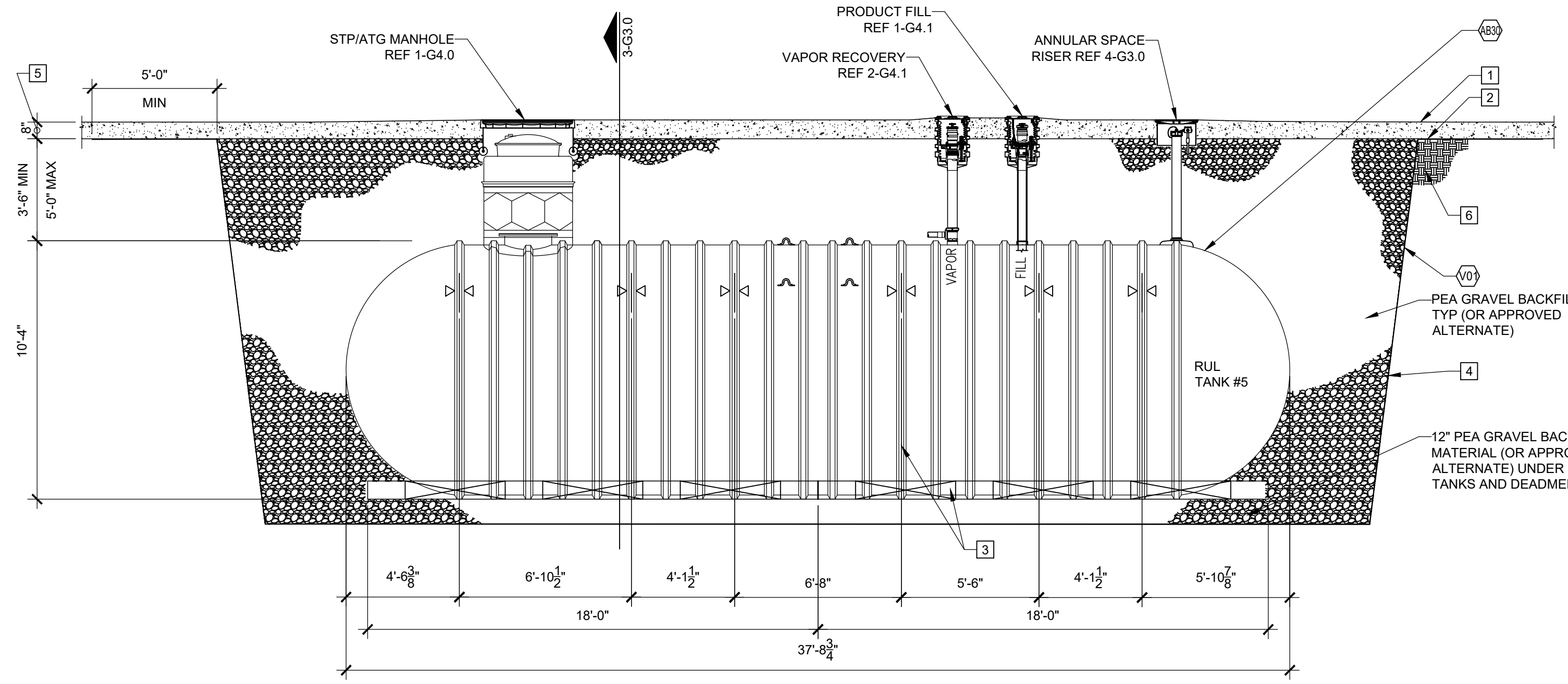
3 10' DIA UNDERGROUND STORAGE TANK SECTION
1/4"=1'-0"

CONTRACTOR NOTE: TANK PRESSURE TEST AND SOAP TEST MUST BE PERFORMED BEFORE ALL DRY INTERSTITIAL TANKS ARE SET IN THE GROUND. REFERENCE MANUFACTURER'S TANK INSTALLATION MANUAL FOR TESTING PROCEDURES.
WARNING: DO NOT PERFORM A PRESSURE TEST ON A TANK WITH WET INTERSTITIAL.

CONTRACTOR NOTE: TANK PRESSURE TEST AND SOAP TEST MUST BE PERFORMED BEFORE ALL DRY INTERSTITIAL TANKS ARE SET IN THE GROUND. REFERENCE MANUFACTURER'S TANK INSTALLATION MANUAL FOR TESTING PROCEDURES.
WARNING: DO NOT PERFORM A PRESSURE TEST ON A TANK WITH WET INTERSTITIAL.



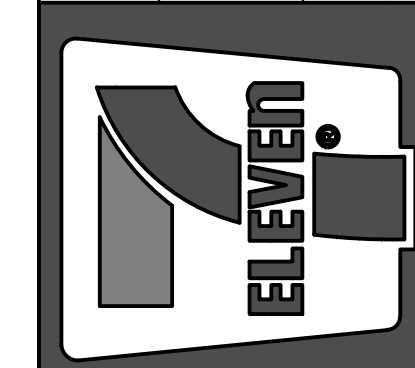
2 10' DIA 20,000 GALLON SPLIT TANK SECTION
1/4"=1'-0"



1 10' DIA 20,000 GALLON TANK SECTION
1/4"=1'-0"

Rev. #	Date	Description

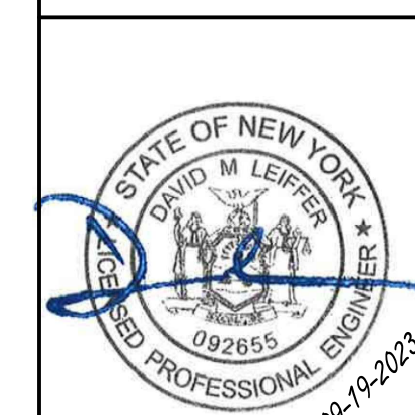
7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
TANK SECTIONS
Proto 2022-04



CORE STATES GROUP
CONCRETE
ARCHITECTURE AND ENGINEERING P.C.
CERTIFICATE OF AUTHORIZATION
NO. 021079
46 East Main Street
Suite 200
Saratoga Springs, NY 12858
908.462.9700
core-states.com

Job#: SPW-36100-SEI
Scale: AS NOTED
Date: 02/14/23
Drawn By: RMC
Checked By: CGC

Documents prepared by Core States Group are for the specific project and site only for the specific project and site. Any extension of use without the express written consent of Core States Group is prohibited. Core States Group is not responsible for any other party that specifically way other than that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.



SHEET:
G3.0
FUELING - USA

3M SCHEDULE (CONTACT: MARK HODGES - MHODGES@SOURCENA.COM/877896-4328 FOR QUANTITY)							
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	FURNISHED BY	INSTALLED BY
A04	1	D-2400 PERFORMANCE SERIES WIRED INTERCOM 1 CHANNEL 8-STATION	78-6911-4796-7	06005142	3M	7-ELEVEN / SOURCE NA	GC
A05	1	I/O CARD 4 STATION	78-8117-3900-8	06005143	3M	7-ELEVEN / SOURCE NA	GC

FE PETRO SCHEDULE (CONTACT: MIKE FRISK - FRISK@FRANKLINFUELING.COM/512-850-7954 FOR QUANTITY)							
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	FURNISHED BY	INSTALLED BY
E01	2	MAG VARIABLE FREQUENCY CONTROLLER	MAG-VFC	06006133	FE PETRO INC.	7-ELEVEN / SOURCE NA	GC
E04	1	CONTROL BOX W/ SWITCH	STP-CBS	06006137	FE PETRO INC.	7-ELEVEN / SOURCE NA	GC
E10	2	2 HP VARIABLE SPEED SUBMERSIBLE PUMP W/ INTAKE FILTER	STPKVS2-VL2	03126506	FE PETRO INC.	7-ELEVEN / SOURCE NA	GC
E11	1	1.5 HP FIXED SPEED SUBMERSIBLE PUMP W/ INTAKE FILTER	STPK150-VL2	03126507	FE PETRO INC.	7-ELEVEN / SOURCE NA	GC
E15	3	CHECK VALVE TYPE "R"	400988932	03185395	FE PETRO INC.	7-ELEVEN / SOURCE NA	GC
E17	3	DISPENSER HOOK ISOLATION BOX	STP-DHI	03430256	FE PETRO INC.	7-ELEVEN / SOURCE NA	GC

FIBRELITE/OPW SCHEDULE (CONTACT: PARRISH EVANS - PARRISH.EVANS@OPWGLOBAL.COM/706-202-7812)							
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	FURNISHED BY	INSTALLED BY
F19	3	40" SUBMERGED PUMP MANHOLE W/O SNOW FLOW RING	FL100BLACK-FC-KIT	03124662	FIBRELITE/OPW	7-ELEVEN / SOURCE NA	GC
F20	3	SKIRT FOR FL100	FL100-SK18	03124663	FIBRELITE/OPW	7-ELEVEN / SOURCE NA	GC

FLEXING SCHEDULE (CONTACT: MARK HODGES - MHODGES@SOURCENA.COM/877896-4328 FOR QUANTITY)							
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	FURNISHED BY	INSTALLED BY
G02	3	2" MS X 2" F X 18 FIREFLEX FLEX CONNECTOR	FF20X18M346XF	03158182	FLEXING	7-ELEVEN / SOURCE NA	GC

GILBARCO SCHEDULE (CONTACT: RYAN SCHUMACHER@GILBARCO.COM/336-207-1433 FOR QUANTITY)							
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	FURNISHED BY	INSTALLED BY
J06	6	SPEEDWAY DISPENSER VALANCE	XXXXXX	XXXXXX	PROSIGN	7-ELEVEN / GILBARCO	GC
J117	4	ENCORE 700S 3+0 BLENDER NN1 - NO VR	XXXXXX	03153026	GILBARCO	7-ELEVEN / GILBARCO	GC
J118	2	ENCORE 700S 3+1 BLENDER+DSL NL1 - NO VR	XXXXXX	03153029	GILBARCO	7-ELEVEN / GILBARCO	GC

HANGING HARDWARE SCHEDULE (CONTACT: PARRISH EVANS - PARRISH.EVANS@OPWGLOBAL.COM/706-202-7812)							
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	FURNISHED BY	INSTALLED BY
K03	12	3/4" X 8' FLEXSTEEL HARDWALL HOSE	GY34X8MM	03124651	SOURCENA	7-ELEVEN / SOURCE NA	GC
K04	16	3/4" X 8' FLEXSTEEL WHIP HOSE	GY34X8MMWHIP	03124652	SOURCENA	7-ELEVEN / SOURCE NA	GC
K48	12	3/4" CONVENTIONAL NOZZLE	11BP-0400	03158382	OPW	7-ELEVEN / SOURCE NA	GC
K49	4	3/4" NOZZLE FOR DIESEL	11B-0100	03158387	OPW	7-ELEVEN / SOURCE NA	GC
K50	16	3/4" CONVENTIONAL BREAKAWAY	66REC-1000	03158383	OPW	7-ELEVEN / SOURCE NA	GC
K51	12	3/4" SPLASHGUARD FOR CONVENTIONAL NOZZLE	BBL-0400	03158389	OPW	7-ELEVEN / SOURCE NA	GC
K52	4	DIESEL SPLASHGUARD	8G-0100	03158390	OPW	7-ELEVEN / SOURCE NA	GC
K119	16	CONVENTIONAL NOZZLE HOSE SWIVEL	45-5060	03126565	OPW	7-ELEVEN / SOURCE NA	GC
K121	4	3/4" X 9' BLACK HARDWALL HOSE, MALE X MALE ENDS	XXXXXX	03124635	SOURCENA	7-ELEVEN / SOURCE NA	GC

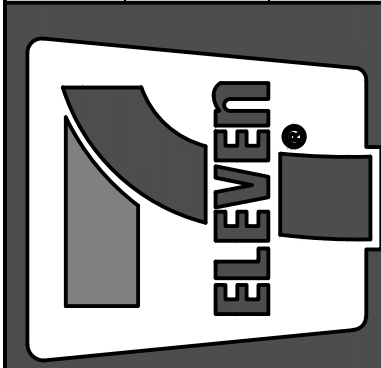
OPW SCHEDULE (CONTACT: PARRISH EVANS - PARRISH.EVANS@OPWGLOBAL.COM/706-202-7812)							
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	FURNISHED BY	INSTALLED BY
L01	1000'	4" ACCESS PIPE - 250 FT BOX	AXP-40-250	03158339	OPW	7-ELEVEN / SOURCE NA	GC
L11	2	2" PRESSURE VACUUM VENTING CAP	623V-2203	06158288	OPW	7-ELEVEN / SOURCE NA	GC
L18	3	18" MANHOLE ASSY (ANNULAR AND DIESEL VENT)	104A-1800WT	06006209	OPW	7-ELEVEN / SOURCE NA	GC
L19	2	VAPOR CAP	1711T-7085-EVR	06006180	OPW	7-ELEVEN / SOURCE NA	GC
L24	3	FILL SWIVEL ADAPTER	61SALP-1020-EVR	06006214	OPW	7-ELEVEN / SOURCE NA	GC
L26	2	VAPOR RECOVERY SWIVEL ADAPTER	61VSA-1020-EVR	06006221	OPW	7-ELEVEN / SOURCE NA	GC
L27	3	TOP SEAL CAP EVR	634TT-7085-EVR	06006226	OPW	7-ELEVEN / SOURCE NA	GC
L30	5	2" BALL VALVE	21BV-0200	03158393	OPW	7-ELEVEN / SOURCE NA	GC
L36	1	TANK TAG - INTERIOR SPILL BUCKET (REGULAR UNLEADED)	1TAG-1010	06006188	OPW	7-ELEVEN / SOURCE NA	GC
L38	1	TANK TAG - INTERIOR SPILL BUCKET (PREMIUM UNLEADED)	1TAG-3010	06006192	OPW	7-ELEVEN / SOURCE NA	GC
L39	2	EXTERIOR VAPOR RECOVERY TANK TAG	1TAG-7000	06006195	OPW	7-ELEVEN / SOURCE NA	GC
L40	-	CONCRETE TANK MARKER (TANK GAUGE #1)	106N-1100	06006170	OPW	7-ELEVEN / SOURCE NA	GC
L41	-	CONCRETE TANK MARKER (TANK GAUGE #2)	106N-2200	06006171	OPW	7-ELEVEN / SOURCE NA	GC
L42	1	CONCRETE TANK MARKER (REGULAR UNLEADED)	106U-0125	06006175	OPW	7-ELEVEN / SOURCE NA	GC
L43	1	CONCRETE TANK MARKER (PREMIUM UNLEADED)	106P-0150	06006174	OPW	7-ELEVEN / SOURCE NA	GC
L44	3	4x2 TEE EXTRACTOR FITTING	233-4420	03158332	OPW	7-ELEVEN / SOURCE NA	GC
L45	1	DIESEL ATMOSPHERIC VENT VALVE	23-0033	06005039	OPW	7-ELEVEN / SOURCE NA	GC
L54	1	TANK TAG - INTERIOR SPILL BUCKET (DIESEL)	1TAG-4010	06006194	OPW	7-ELEVEN / SOURCE NA	GC
L56	1	CONCRETE TANK MARKER (DIESEL)	106DL-0095	06006169	OPW	7-ELEVEN / SOURCE NA	GC
L57	3	4" DROP TUBE WITH DUAL OVERFLOW VALVE 5FT BURY - 10FT TANK	7ISO-410C	03158324	OPW	7-ELEVEN / SOURCE NA	GC
L58	1	DIESEL VENT PIPE CAP	116-7085	03185354	OPW	7-ELEVEN / SOURCE NA	GC
L68	3	JACK SCREW FOR CAST BASE SPILL CONTAINER	61JSK-44CB	03158161	OPW	7-ELEVEN / SOURCE NA	GC
L72	-	CONCRETE TANK MARKER (TANK GAUGE #3)	106N-3300	06006172	OPW	7-ELEVEN / SOURCE NA	GC
L76	3	DOUBLEWALL SPILL BUCKET w/ SENSOR (FILL)	1C-3132D-50	03124688	OPW	7-ELEVEN / SOURCE NA	GC
L77	2	DOUBLEWALL SPILL BUCKET (VAPOR)	1C-3112P	03115701	OPW	7-ELEVEN / SOURCE NA	GC
L115	5	MALE ADAPTER FITTING	SMA-1520	06006113	OPW	7-ELEVEN / SOURCE NA	GC
L124	1000'	1.5" DW FLEX PIPE - 250 FT BOX	C15A-250	03158338	OPW	7-ELEVEN / SOURCE NA	GC
L129	28	1.5" OPW SWIVEL DW PIPE COUPLING	DPC-2150A	03124596	OPW	7-ELEVEN / SOURCE NA	GC
L130	9	TEST JUMPER TUBE	TCT-2509	03124576	OPW	7-ELEVEN / SOURCE NA	GC
L131	10	TERMINATION TEST JUMPER TUBE	TTT-2536	03124575	OPW	7-ELEVEN / SOURCE NA	GC
L163	5	RIGID ENTRY FITTING 4 x 1.5"	REF-4015	03124570	OPW	7-ELEVEN / SOURCE NA	GC
L194	1	DISPENSER SUMP - ENCORE (3 IN/3 OUT)	DSLFR-15-1836-2R-123567	XXXXXXX	OPW	7-ELEVEN / SOURCE NA	GC
L195	3	DISPENSER SUMP - ENCORE (2 IN/2 OUT)	DSLFR-15-1836-2R-1256	XXXXXXX	OPW	7-ELEVEN / SOURCE NA	GC
L196	1	DISPENSER SUMP - ENCORE (3 IN/0 OUT)	DSLFR-15-1836-2R-567	XXXXXXX	OPW	7-ELEVEN / SOURCE NA	GC
L197	1	DISPENSER SUMP - ENCORE (2 IN/0 OUT)	DSLFR-15-1836-2R-12	XXXXXXX	OPW	7-ELEVEN / SOURCE NA	GC
L230	6	COMPLETE 4'x5'x13" STAINLESS STEEL ISLAND FORM	6013SS-SFR6W4L5	03430283	OPW	7-ELEVEN / SOURCE NA	GC

PEMCO SCHEDULE							
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	FURNISHED BY	INSTALLED BY
PM02	1	CONCRETE TANK MARKERS (#5)	031-5	06006234	PEMCO	7-ELEVEN / SOURCE NA	GC
PM03	1	CONCRETE TANK MARKERS (#6)	031-6	06006235	PEMCO	7-ELEVEN / SOURCE NA	GC
PM04	1	CONCRETE TANK MARKERS (#7)	031-7	06006236	PEMCO	7-ELEVEN / SOURCE NA	GC

Rev. #	Date	Description

Proto 2022-04

7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
 1542 ROUTE 9
 WAPPINGERS FALLS, NY 12590
 EQUIPMENT SCHEDULES

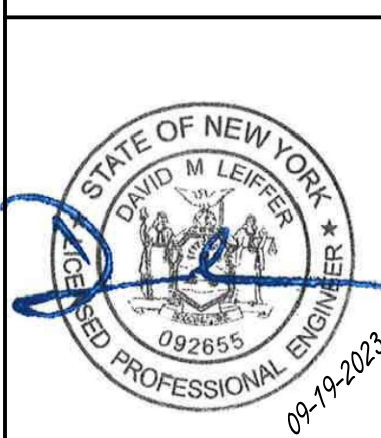


CORE STATES GROUP
 CONCRETE
 ARCHITECTURE AND ENGINEERING P.C.
 CERTIFICATE OF AUTHORIZATION
 NO. 092879

46 East Main Street
 Suite 200
 Sayreville, NJ 08876
 908.462.9700
 core-states.com

Job#: SPW-36100-SEI
 Scale: AS NOTED
 Date: 02/14/23
 Drawn By: RMC
 Checked By: CGC

Documents prepared by Core States Group are for the specific project and specific use for which they are intended. Any extension of use to any other party, without the expressed, written consent of Core States Group is prohibited. Core States Group is not responsible for any other party that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.



SHEET:
G7.0
 FUELING - USA

LIGHT FIXTURE SCHEDULE (CONTACT: GRAYBAR NATIONAL - 7-ELEVEN.NATIONAL@GRAYBAR.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
M22	-	CREE LED UNDER CANOPY LIGHTING	CPY250-B-DM-F-B-UL-WH-57K-WH-HZ	03291316	CREE	7-ELEVEN / GRAYBAR GC

MASTER LOCK SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
N01	2	SERIES 175 TUMBLER LOCK	175	03185351	MASTER LOCK	7-ELEVEN / SOURCE NA GC

MAY ADVERTISING SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
P20	6	PUMP TOPPER SIDE MOUNTED	CT-XL-SL	XXXXXXX	M&M	7-ELEVEN / SOURCE NA GC

PIPE RISER SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
Q01	2	7" THIN WALL PIPE RISER	484RISER	03185353	GENERAL PIPE MANUF.	7-ELEVEN / SOURCE NA GC

POWER INTEGRITY SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
R01	1	E-STOP SWITCH RED INCLUDES RED COVER WITH TWIST	IA-ESOCAT/RD	03158209	POWER INTEGRITY	7-ELEVEN / SOURCE NA GC
R02	1	DISPENSER DATA / LOW VOLTAGE DISCONNECT	DDS-A808E	03430287	POWER INTEGRITY	7-ELEVEN / SOURCE NA GC
R04	1	E-STOP (CASHIER CONTROL STATION WITH PROTECTIVE SHROUD)	IA-ESORS	XXXXXXX	POWER INTEGRITY	7-ELEVEN / SOURCE NA GC

S. BRAVO SYSTEM SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
S01	5	3/4" ROB ROY FITTING	F-17-RR-7-11	03115710	S. BRAVO SYSTEM INC.	7-ELEVEN / SOURCE NA GC
S03	1	VAPOR VENT RACK	RS500JP-3S	03158039	S. BRAVO SYSTEM INC.	7-ELEVEN / SOURCE NA GC
S05	1	FIBERGLASS VAPOR VENT REMOTE SUMP	B500JPF-3SB	03158049	S. BRAVO SYSTEM INC.	7-ELEVEN / SOURCE NA GC
S13	1	1" ROB ROY FITTING	F-10-RR-7-11	03158376	S. BRAVO SYSTEM INC.	7-ELEVEN / SOURCE NA GC

SMITH FIBERCAST VAPOR / VENT PIPING SCHEDULE (CONTACT: LISA BLASSENGAME - LISA.BLASSENGAME@NOV.COM/210-842-5777 FOR QUANTITY)						
ITEM NO.	LGTH	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
T01	25'	4" SECONDARY PIPING (USE 25 FT LENGTHS)	011040-069-2	06006331	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC
T03	525'	2" PRIMARY PIPING (USE 25 FT LENGTHS)	011020-069-2	06006328	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC

SMITH FIBERCAST SCHEDULE (CONTACT: LISA BLASSENGAME - LISA.BLASSENGAME@NOV.COM/210-842-5777 FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
T08	12	2" PRIMARY SLEEVE COUPLING	012020-101-8	06006255	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC
T13	17	2" PRIMARY 90 ELBOW	012020-360-4	06006261	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC
T16	6	2" BELL X M	012020-191-4	06006256	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC
T24	-	2" PRIMARY TEE	012020-410-4	06006262	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC
T28	-	2" 45 PRIMARY ELBOW	012020-310-4	06006260	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC
T29	16	DS-8069 9.03 ADHESIVE KIT	022990-033-9	06006288	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC
T31	4	4" BELL X MALE	012040-191-4	06006278	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC
T32	3	2" BONDED FITTING (SINGLE WALL)	012020-622-0	03158380	NOV (REDTHREAD IIA)	7-ELEVEN / SOURCE NA GC

FIRE EXTINGUISHER (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
U01	2	PORTABLE FIRE EXTINGUISHER	3020	03158046	POTTER ROEMER	7-ELEVEN / SOURCE NA GC
U02	2	FIRE EXTINGUISHER CABINET	105-20-RR-C-H	03185372	CATO	7-ELEVEN / SOURCE NA GC

TYPAR FILTER FABRIC SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
V01	4	FILTER FABRIC 12- 1/2" X 300'	TYPAR-3401	06006313	TYPAR	7-ELEVEN / SOURCE NA GC

U BOLT SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
W01	14	U-BOLT ENCORE	M007038002	03185374	MISCELLANEOUS PARTS	7-ELEVEN / SOURCE NA GC

UNITED SIGN SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
X01	1	EMERGENCY SHUT OFF SWITCH SIGN	U-MS-76	06005037	UNITED SIGN	7-ELEVEN / SOURCE NA GC

VEEDER ROOT SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
Z05	9	LIQUID SUMP SENSOR	794380-208	06005066	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z06	5	4" ANNULAR / PROBE CAP	330020-282	06005053	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z08	1	7-11 ISP KIT	330020-409	06005054	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z14	2	10 FT. INTERSTITIAL TANK SENSOR	794390-409	03158249	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z16	1	4" FLOAT KIT FOR DIESEL	846400-001	03158176	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z42	1	G-SITE INSTALL KIT	331063-100	03158202	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z55	2	PHASE II FLOAT KIT (GAS)	886100-000	03305136	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z58	3	10" 6" ATG PROBE	846397-110	03165574	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z106	1	TLS-450PLUS TOUCH SCREEN CONSOLE W/ PRINTER	860091-302	03430216	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z107	1	TLS-450PLUS APPLICATION SOFTWARE	333545-001	03430215	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z108	1	BIR/ACCUCART LI EDIM FACTORY INSTALLED FOR TLS-450PLUS	333149-001	03430211	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z109	2	SIXTEEN INPUT UNIVERSAL SENSOR / PROBE INTERFACE MODULE TLS-450 INSTALLED	332812-001	03430210	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z116	1	RISK MANAGEMENT LEAK DETECTION SOFTWARE FOR DPLD FOR TLS-450	332972-008	03430214	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z117	3	DIGITAL PRESSURIZED LINE LEAK DETECTOR W/O SWIFT CHECK VALVE TLS-450	859080-001	03430179	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z119	1	SINGLE RS-232 INTERFACE MODULE (COMM. SLOTS 1, 2, 3) FOR TLS-450PLUS	332866-001	03430219	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z124	1	UNIVERSAL INPUT / OUTPUT INTERFACE MODULE TLS-450 - INSTALLED	332813-001	03430212	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z132	1	CONTINUOUS STATISTICAL LEAK DETECTION TLS-450	332972-006	03430213	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z133	-	CDM SOFTWARE	349889-001	XXXXXXXX	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z137	1	HYDRX - 250D FUEL CONDITIONER KIT	342909-325	03430289	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z138	1	HYDRX - WATER INTAKE DEVICE (WID) FOR FIBERGLASS TANKS, 3 TUBES	860823-261	03430290	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z139	1	HYDRX - GUIDE TUBE, 128 INCHES, 10" DIAMETER TANK & 2.5 GAL SYSTEM	860780-128	03430292	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z140	1	HYDRX - KIT - INSTALLATION, FE PETRO	330020-874	03430284	VEEDER ROOT	7-ELEVEN / SOURCE NA GC
Z110	1	ADAPTER DB9	13852-01	03124638	VERIFONE	7-ELEVEN / SOURCE NA GC
Z141	1	10-FOOT SHIELDED RS-232 CABLE	13836-01	XXXXXXXX	VERIFONE	7-ELEVEN / SOURCE NA GC

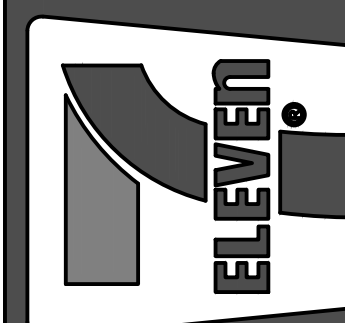


XERXES SCHEDULE (CONTACT: RICK WHATLEY - RICK.WHATLEY@SHAWCOR.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
AB30	1	XERXES TANK 10' DIA. (20K) w/ (1) STP SUMP, 4" FILL & V/V FITTINGS	645-430-01	03156196	XERXES	7-ELEVEN / XERXES GC
AB31	1	XERXES TANK 10' DIA. (12K / 8K SPLIT TANK) w/ (2) STP SUMPS, 4" FILL & V/V FITTINGS	645-431-01	03156197	XERXES	7-ELEVEN / XERXES GC

SIGNAGE SCHEDULE (CONTACT: MARTY CLARK - MCLARK@PERFORMANCE-INK.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
AJ1	12	4" X 5" EMERGENCY SHUT OFF SIGN (OUTSIDE)	NG-2402	XXXXXXX	PERFORMANCE INK	GC GC
AJ2	1	4" X 4" PUMP NUMBERS 1-6 - WHITE NUMBERS/BLACK BACKGROUND	1-6 NG-28	XXXXXXX	PERFORMANCE INK	GC GC
AJ5	4	3.5" X 3.25" ULTRA LOW SULFUR HIGHWAY DECAL	XXXXXXX	XXXXXXX	PERFORMANCE INK	GC GC
AJ6	12	2.76" X 4.75" CONTAINS 10% ETHANOL DECAL	NG-80R	XXXXXXX	PERFORMANCE INK	GC GC
AJ7	12	2.75" X 2.75" GAS PUMPS ARE VIDEO MONITORED DECAL	NG41	XXXXXXX	PERFORMANCE INK	GC GC
AJ8	6	20" X 6.5" WARNING - NO SMOKING	NG193	XXXXXXX	PERFORMANCE INK	GC GC
AJ9	1	4" X 4" PUMP NUMBERS 7-12 - WHITE NUMBERS/BLACK BACKGROUND	NG-NG-245EI	XXXXXXX	PERFORMANCE INK	GC GC
AJ10	4	4"X24" ALUMINUM FIRE EXTINGUISHER SIGN	NG-97SEI	XXXXXXX	PERFORMANCE INK	GC GC
AJ11	-	8"X12" ALUMINUM OVERFILL SIGN	M-58	00330547	NATIONAL GAS	7-ELEVEN GC
AJ12	12	OUTDOOR LITERATURE HOLDER (2 PER DISP)	XXXXXXX	03304838	HICORP	7-ELEVEN/SOURCE GC
AJ13	-	4"X 4" PUMP NUMBERS 13-18	NG-25SEI	XXXXXXX	PERFORMANCE INK	GC GC

UNIVERSAL VALVE COMPANY SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
H01	13	4' X 72" U-SHAPED BUMPER	1983-404972-7E	03430180	UNIVERSAL VALVE	7-ELEVEN / SOURCE NA GC

TRANS-SORB SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
TS1	6	DESICCANT BAG WITH HANGER (2 PER SUMP)	XXXXXXX	03430194	TRANS-SORB	7-ELEVEN / SOURCE NA GC

WINDY CITY WIRE SCHEDULE (CONTACT: SOURCE NORTH AMERICA - 7-ELEVEN SUPPORT TEAM - SNA711@SOURCENA.COM FOR QUANTITY)						
ITEM NO.	QTY.	DESCRIPTION	PART NO.	ORACLE NO.	MANUFACTURER	INSTALLED BY
WC1	2000'	GILBARCO DISPENSER COMMUNICATION CABLE (CAT6)	WCW7931AFEQ	03430209	WINDY CITY WIRE	7-ELEVEN / SOURCE NA GC

Job#: SPW-36100-SEI	Scale: AS NOTED	Date: 02/14/23	Drawn By: RMC	Checked By: CGC
				
7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING TEXAS 75063 7-ELEVEN #46895 - SPEEDWAY #7645 1542 ROUTE 9 WAPPINGERS FALLS, NY 12590 EQUIPMENT SCHEDULE				
				
Documents prepared by Core States Group are for informational purposes only and are not intended for use in any legal proceeding. Any extension of use beyond the intended use is at the user's own risk. Core States Group is not responsible for any errors or omissions in this document.				
				
SHEET: G7.1 FUELING - USA				

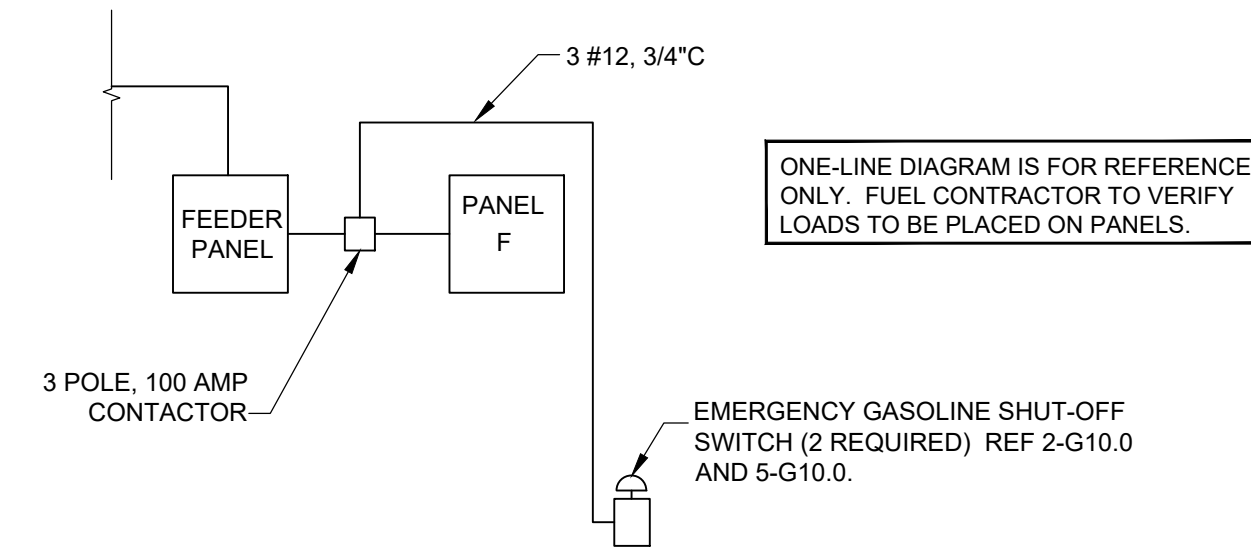
NEW PANELBOARD											
SERVES: TENANT SPACE		100A MAIN LUG ONLY		1PH 3WIRE 208/120V		GROUND BAR					
LOCATION: STOCKROOM											
MOUNTING: SURFACE											
CK	LOAD SERVED	WIRE	BRKR	PL	PHASE C	PHASE A	PL	BRKR	WIRE	LOAD SERVED	CK
1	SWITCHED NEUTRAL	--	--		0.00	0.00	--	--		SPACE	2
3	DISPENSER #1	12	20	1		1.08	1.08	1	20	DISPENSER #2	4
5	SWITCHED NEUTRAL	--	--		0.00	0.00	--	--		SWITCHED NEUTRAL	6
7	DISPENSER #3	12	20	1		1.08	1.08	1	20	DISPENSER #4	8
9	SWITCHED NEUTRAL	--	--		0.00	0.00	--	--		SWITCHED NEUTRAL	10
11	DISPENSER #5	12	20	1		1.08	1.08	1	20	DISPENSER #6	12
13	SPARE	--	--		0.00	0.00	--	--		SWITCHED NEUTRAL	14
15	SPARE	--	--		0.00	0.00	--	--		SPARE	16
17	RUL STP	12	20	2	1.21	1.21	2	20	12	PUL STP	18
19	-----	--	--							-----	20
21	D-BOX CONTROLLER	12	20	1	0.11	1.09	2	20	12	DSL STP	22
23	SWITCHED NEUTRAL	--	--		0.00	1.09	--	--		-----	24
25	DSL DHI BOX	12	20	1	0.12	0.12	1	20	12	RUL DHI BOX	26
27	LOW VOLTAGE DISC	12	20	1		0.36	0.12	1	20	PUL DHI BOX	28
29	SPACE	--	--		0.00	0.00	--	--		SPACE	30
TOTAL		3.86		10.47		KVA					
TOTAL LOAD		32.17		87.25		KVA					
PER NEC ARTICLE 220		14.33		68.89		KVA				AMPS	
FEEDER LOAD		14.33		68.89		KVA				AMPS	

NOTE:
NEW PANEL 'F' TO MATCH MANUFACTURER AND AIC RATING OF EXISTING PANELS. ALL OVERCURRENT DEVICES INSTALLED SHALL MATCH THE MAKE, MODEL, AND INTERRUPTING CAPACITY OF THE EXISTING OVERCURRENT DEVICES.
CONTRACTOR TO REMOVE EXISTING DISPENSERS, STPs AND D-BOX FROM EXISTING PANELS, AND PROVIDE A NEW 100A BREAKER TO FEED PANEL 'F'.
PANEL 'F' IS BEING ADDED TO MEET 7-ELEVEN STANDARDS FOR EMERGENCY STOP PROTOCOL. ALL EQUIPMENT IS BEING REPLACED LIKE FOR LIKE, NO NEW LOAD IS BEING ADDED TO THE SERVICE.
COORDINATE PANEL F AND FUELING AREA CIRCUIT LOAD INFORMATION WITH FUEL CONTRACTOR. FUEL CONTRACTOR TO SUPPLY AND INSTALL NEW PANELS AND VERIFY ELECTRICAL PANEL CAN MEET LOAD REQUIREMENTS.

COORDINATE RECONFIGURATION OF EXISTING FUELING PANEL AND FUELING AREA CIRCUIT LOAD INFORMATION WITH ALL EXISTING PANELS. DISCONNECT ALL NON-FUELING CIRCUITS IN EXISTING FUEL PANEL AND RECONNECT TO OTHER AVAILABLE PANELS IF POSSIBLE.
FUELING CONTRACTOR TO SUPPLY AND INSTALL BREAKERS AS REQUIRED AND VERIFY EXISTING ELECTRICAL PANELS CAN MEET LOAD REQUIREMENTS. ALL NEW BREAKERS SHALL BE OF THE SAME MAKE, MODEL AND AIC RATING AS EXISTING.
IT IS CRUCIAL THAT THE INSTALLER FOLLOWS NEC, ARTICLE 501 AND/OR OTHER APPLICABLE REQUIREMENTS. BECAUSE CAT-5/CAT-6 JACKET CAN TRANSPORT FUEL VAPORS, NEC REQUIRES THAT THE INSTALLER REMOVES THE OUTER JACKET, THEN SPREADS THE WIRE PAIRS AT THE SEAL-OFF POINTS, SO THAT A GOOD VAPOR SEAL IS ACHIEVED.
FUEL GC TO PROVIDE SINGLE PHASE POWER TO THE MAG-VFC. THREE PHASE POWER TO RUN FROM MAG-VFC TO 2 HP VARIABLE SPEED STP'S.

CONDUIT SCHEDULE					
NAME	DESCRIPTION	CONDUIT SIZE	QTY	WIRE SIZE / MFR #	WIRE QTY
101	DISPENSER POWER - NON DIESEL**	3/4"	4	#12 THWN-2	1#12 HOT, 1#12 NEUT, 1#12 GR***
102	DISPENSER SUMP SENSOR	3/4"	6	BELDEN #88760	1
103	DISPENSER DATA *	3/4"	6	2-WIRE TWISTED PAIR CAT6 FEP/FEP (WCW7931AFEQ)	2 PAIR 1
104	2HP STP POWER**	3/4"	2	#12 THWN-2	3#12 HOTS, 1#12 GR
105	RUL TANK ATG/SUMP/DPLLD, INTERSTITIAL, FILL SENSORS	3/4"	1	BELDEN #88760	5 #88760
106	PUL/DSL TANK ATG/SUMP/DPLLD/HYDRX MAG PROBE/HYDRX PRESSURE SENSOR, INTERSTITIAL, FILL SENSORS	3/4"	1	BELDEN #88760	11 #88760
107	FILL BUCKET SENSORS	3/4"	3	BELDEN #88760	1
108	STP SUMP SENSOR/DPLLD/ATG PROBE	3/4"	2	BELDEN #88760	3
109	INTERCOM	3/4"	6	BELDEN #88723	2 PER DISPENSER
110	DISPENSER POWER - DIESEL**	3/4"	2	#12 THWN-2	1#12 HOT, 1#12 NEUT, 1#12 GR***
111	DIESEL-1.5HP STP POWER DIESEL-HYDRX SYSTEM	1"	1	#12 THWN-2 #14 THWN-2	2#12 HOTS, 1#12 GR 2#14 HOTS, 2#14 NEUT, 1 #14 GR
112	DSL STP SUMP SENSOR/DPLLD/ATG PROBE/HYDRX MAG PROBE/HYDRX PRESSURE SENSOR	3/4"	1	BELDEN #88760	5

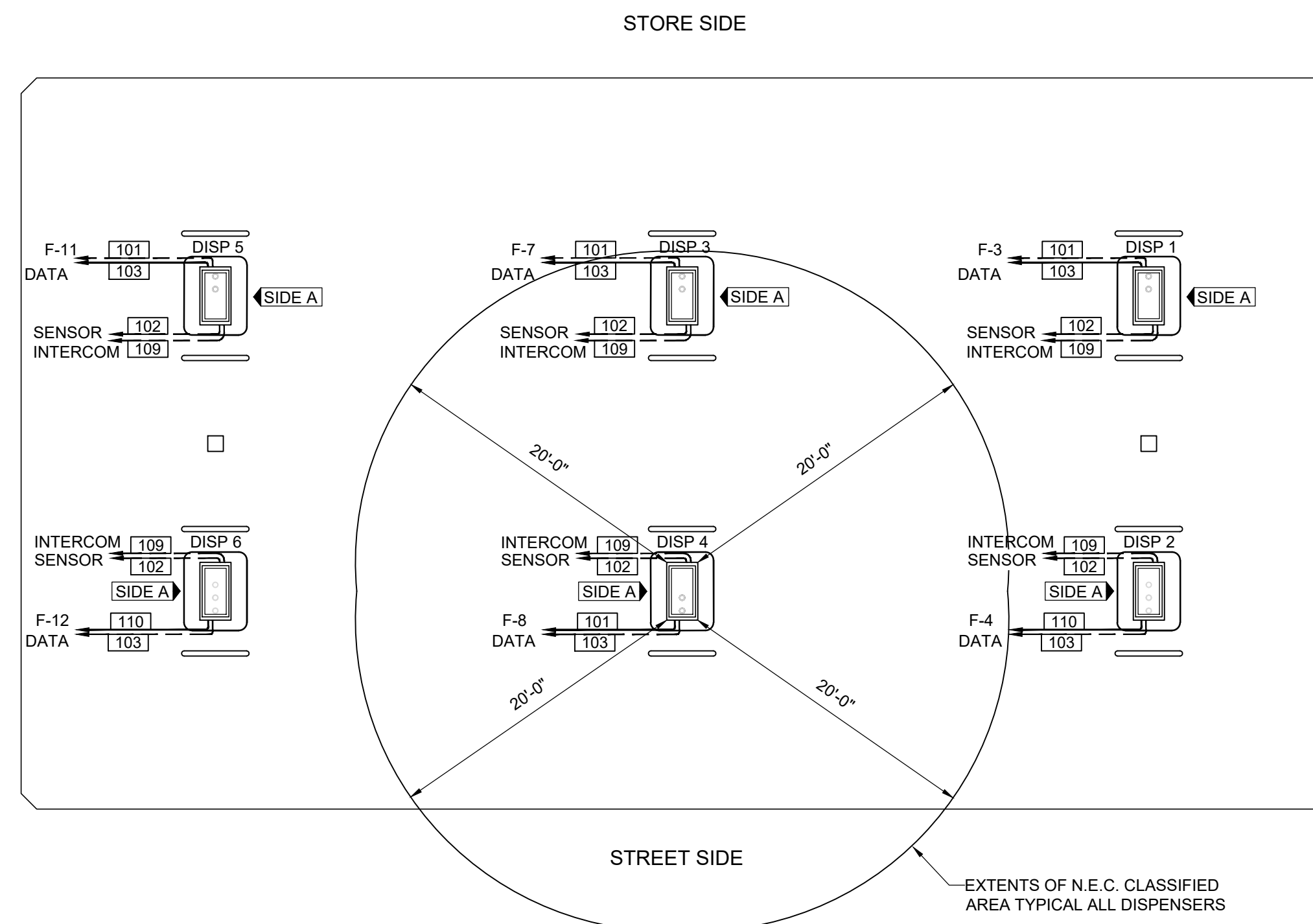
* REFERENCE GILBARCO FIELD WIRING DIAGRAM FOR COMPLETE SPECIFICATIONS
** CONTRACTOR TO UPSIZE CONDUCTORS FOR VOLTAGE DROPS AS REQUIRED
*** REFERENCE SHEET G11.0 FOR DISPENSER HOOK ISOLATION WIRING DIAGRAM. RUN ISOLATION WIRING AS REQUIRED WITHIN DISPENSER POWER CONDUITS.



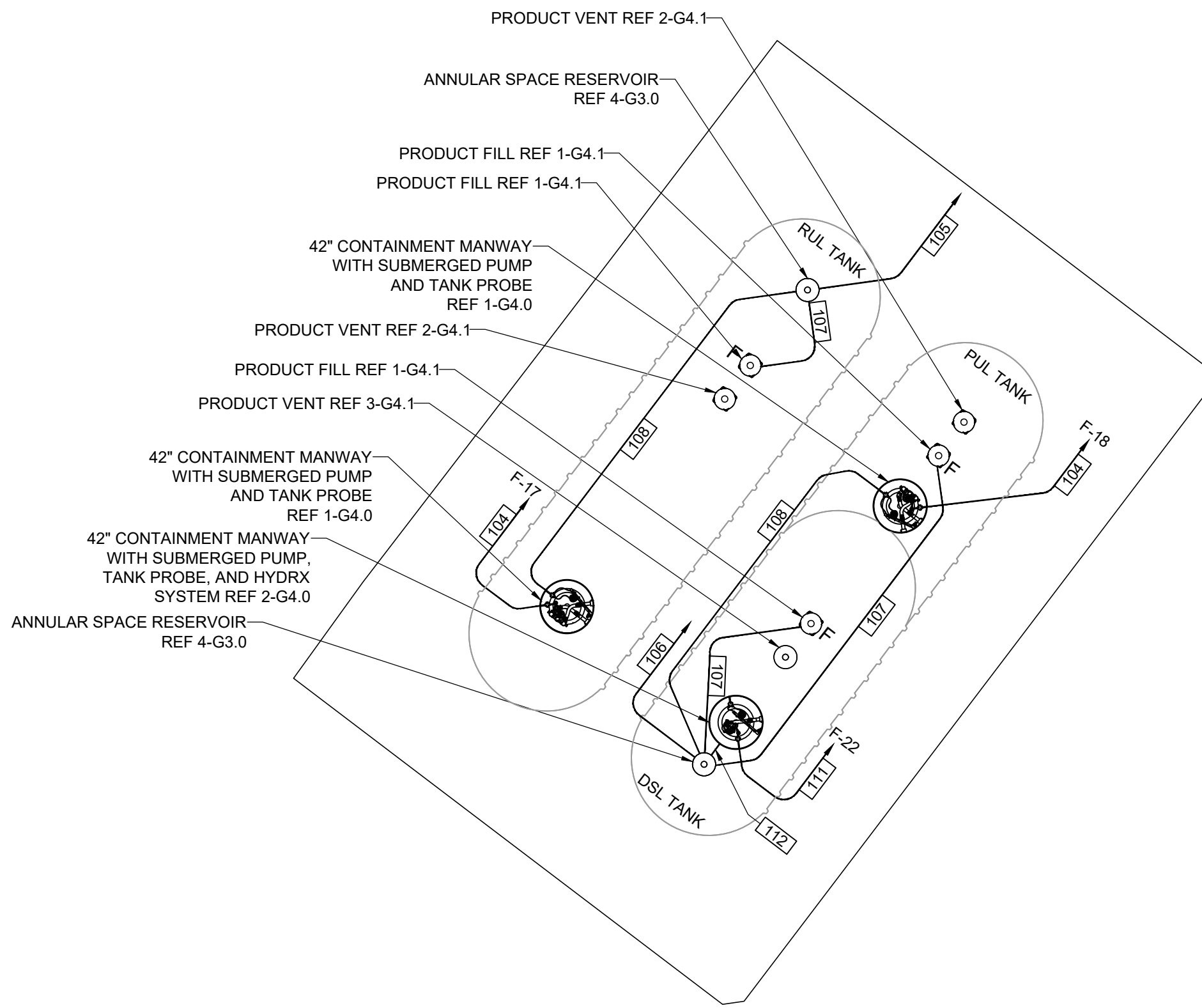
NOTE:
(1) GENERAL CONTRACTOR TO INSTALL PANELS CIRCUIT BREAKERS AND CONDUIT.
(2) FUEL CONTRACTOR SHALL INSTALL WIRING (FROM CIRCUIT BREAKERS TO EQUIPMENT), RELAYS, ETC. MAKE ALL CONNECTIONS AND COMPLETE SEAL OFF.

3 PARTIAL ELECTRICAL ONE-LINE DIAGRAM 1/8"=1'-0"

NOTE: TIE NEW DISPENSER AND SUMP CONDUIT INTO EXISTING ELECTRICAL ROOM AS REQUIRED. FIELD VERIFY EXISTING CONDITIONS.
NOTE: PVC CONDUIT (WHERE ALLOWED BY AHJ), MAY BE USED. SEE SPECIFICATION SHEET G16.0, SECTION 2.3.1 FOR LOCATIONS WHERE PVC CONDUIT MAY BE USED.
NOTE: ROUTE ALL CONDUITS UNDERGROUND TO C-STORE ELEC ROOM. DATA/COM CABLE EXCESS TO BE COILED IN ELEC RM FOR ROUTING ABOVE CEILING IN C-STORE TO FINAL TERMINATION POINT.
FUELING CONTRACTOR: EXTEND CONDUITS AS REQUIRED TO NEW DISPENSERS AND NEW FUEL TANKS. TIE TO EXISTING WHERE IT IS POSSIBLE. NEW CONDUITS AS REQUIRED. SEE SPECIFICATION SHEET G16.0, SECTION VII, 2.3.1 FOR CONDUIT TYPES.
NOTE: PULL ALL NEW WIRES AND PULL STRINGS AS REQUIRED.



1 UNDERGROUND CONDUIT SCHEMATIC 1/8"=1'-0"



2 NOT USED NTS

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
JUST ELECTRICAL PLAN, ONE-LINE DIAGRAM AND PANEL SCHEDULE
Proto 2022-04

CORE STATES GROUP
CONCRETE ARCHITECTURE AND ENGINEERING P.C.
46 East Main Street
Suite 200A, NY 10804
908.462.9700
core-states.com
NO. 00079

Job#: SPW-36100-SEI
Scale: AS NOTED
Date: 02/14/23
Drawn By: RMC
Checked By: CGC

Documents prepared by Core States Group are for the specific project and only for the specific project and intended use. Any extension of use beyond the intended use without the expressed, written consent of Core States Group is prohibited. Core States Group is not responsible for any other party that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.

STATE OF NEW YORK
Professional Engineer
08587
09-19-2023

SHEET:
G9.0
FUELING - USA

N.E.C. HAZARDOUS AREA NOTES

- A** TYPICAL N.E.C. ARTICLE 514 CLASS 1 LOCATION (UNDERGROUND TANK - FILL OPENING)

EXTENT OF CLASS 1, GROUP D, DIVISION 1 LOCATION:
ANY PIT, BOX, OR SPACE BELOW GRADE LEVEL, ANY PART OF WHICH IS WITHIN THE DIVISION 1 OR 2 CLASSIFIED LOCATION.

EXTENT OF CLASS 1, GROUP D, DIVISION 2 LOCATION:
UP TO 18 INCHES ABOVE GRADE LEVEL WITHIN A HORIZONTAL RADIUS OF 10 FEET FROM A LOOSE FILL CONNECTION AND WITHIN A HORIZONTAL RADIUS OF 5 FEET FROM A TIGHT FILL CONNECTION.
- B** TYPICAL N.E.C. ARTICLE 514 CLASS 1 LOCATION (UNDERGROUND TANK - VENT DISCHARGING UPWARD)

EXTENT OF CLASS 1, GROUP D, DIVISION 1 LOCATION:
WITHIN 5 FEET OF OPEN END OF VENT, EXTENDING IN ALL DIRECTIONS.

EXTENT OF CLASS 1, GROUP D, DIVISION 2 LOCATION:
SPACE BETWEEN 5 FEET AND 10 FEET OF OPEN END OF VENT, EXTENDING IN ALL DIRECTIONS.
- C** TYPICAL N.E.C. ARTICLE 514 CLASS 1 LOCATION (REMOTE PUMP - OUTDOOR)

EXTENT OF CLASS 1, GROUP D, DIVISION 1 LOCATION:
ANY PIT, BOX, OR SPACE BELOW GRADE LEVEL IF ANY PART IS WITHIN A HORIZONTAL DISTANCE OF 10 FEET FROM ANY EDGE OF PUMP.

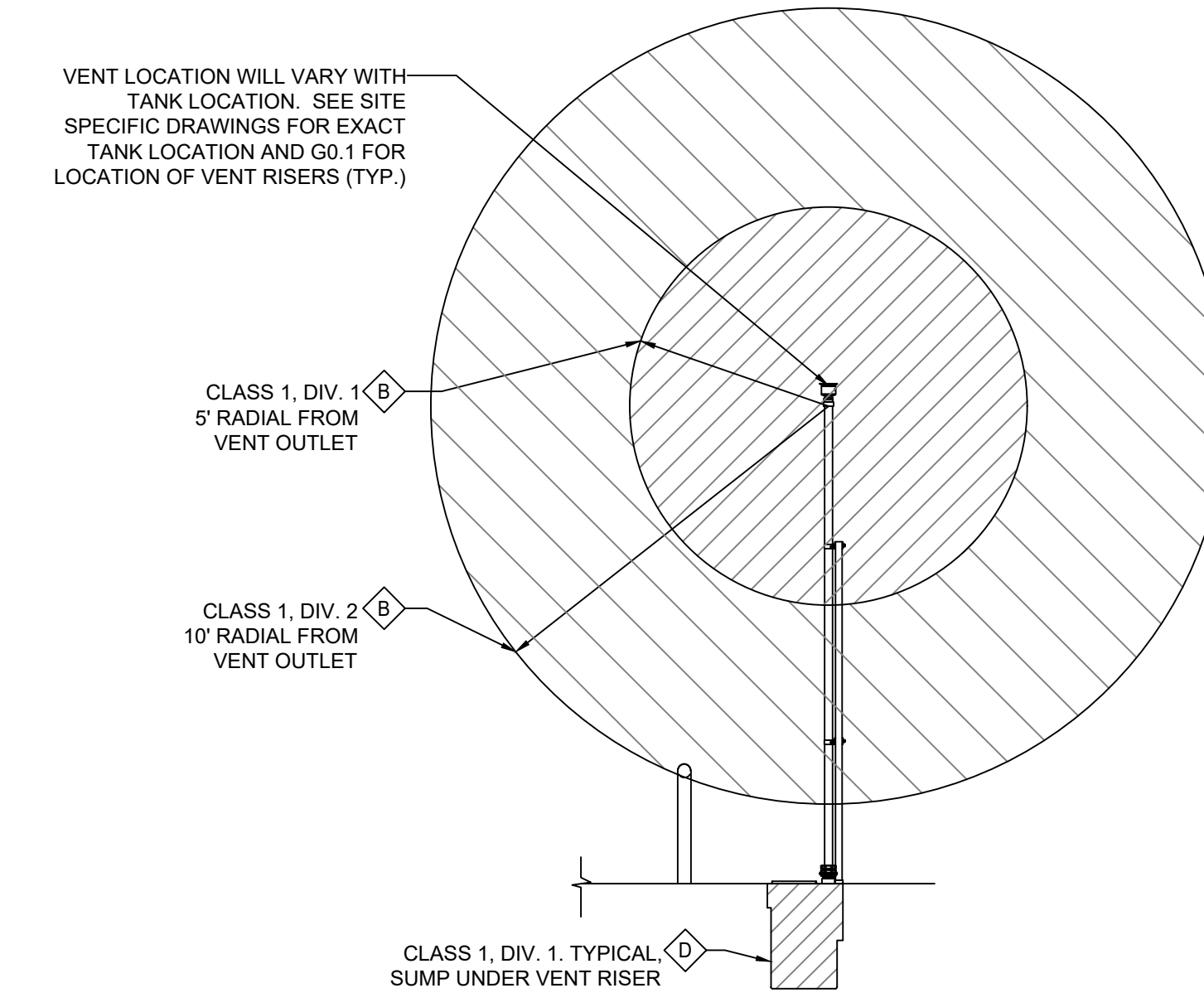
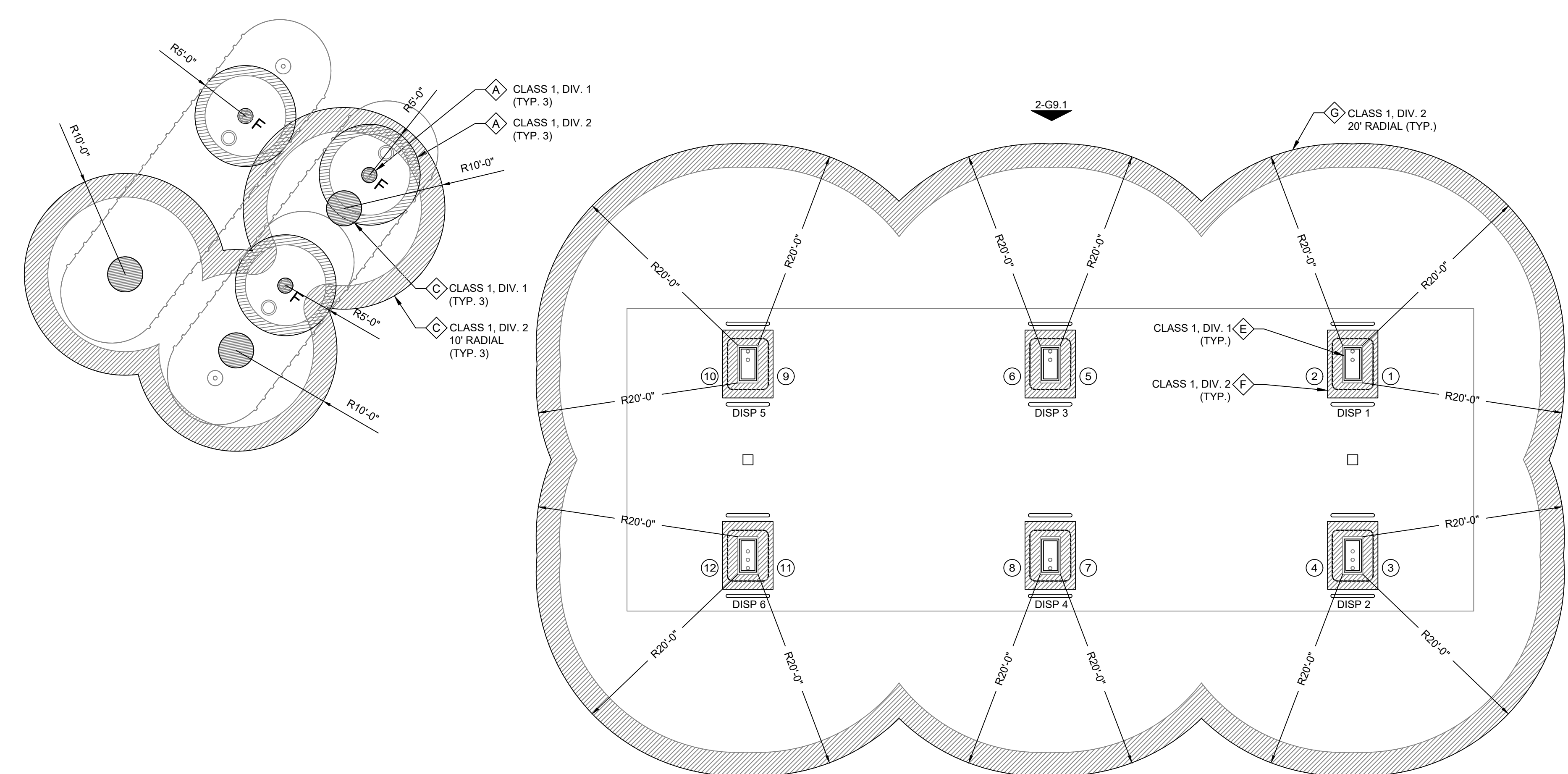
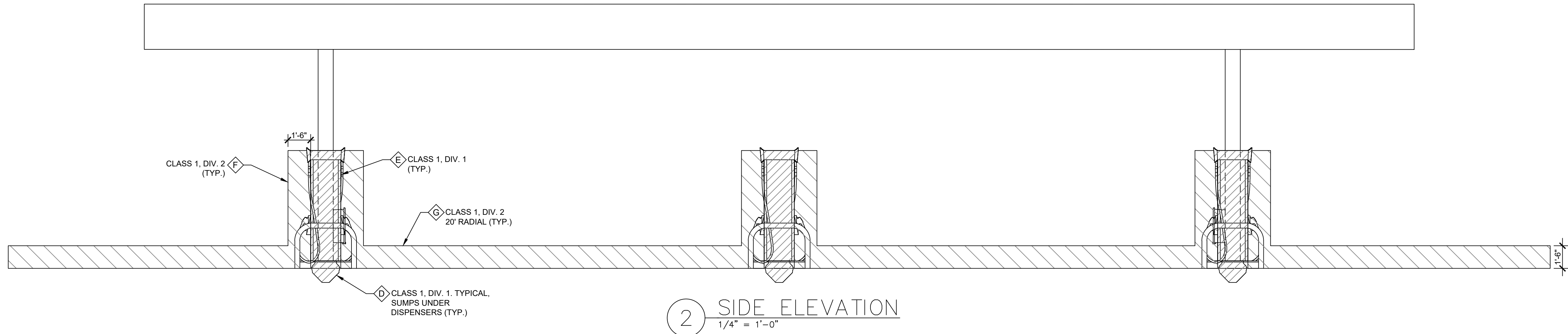
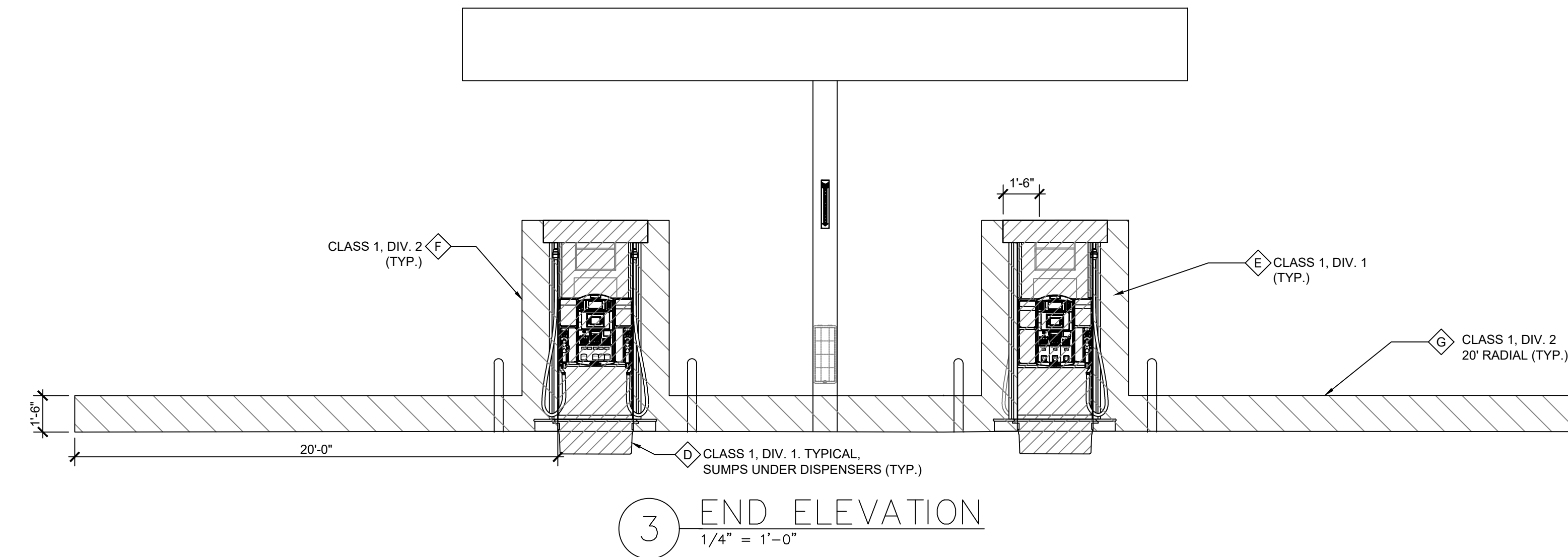
EXTENT OF CLASS 1, GROUP D, DIVISION 2 LOCATION:
WITHIN 3 FEET OF ANY EDGE OF PUMP, EXTENDING IN ALL DIRECTION. ALSO UP TO 18 INCHES ABOVE GRADE LEVEL WITHIN 10 FEET HORIZONTALLY FROM ANY EDGE OF PUMP.
- D** TYPICAL N.E.C. ARTICLE 514 CLASS 1 LOCATION (DISPENSING DEVICE AND REMOTE VENT - PITS)

EXTENT OF CLASS 1, GROUP D, DIVISION 1 LOCATION:
ANY PIT, BOX, OR SPACE BELOW GRADE LEVEL, ANY PART OF WHICH IS WITHIN THE DIVISION 1 OR 2 CLASSIFIED LOCATION.
- E** TYPICAL N.E.C. ARTICLE 514 CLASS 1 LOCATION (DISPENSING DEVICE - DISPENSER)

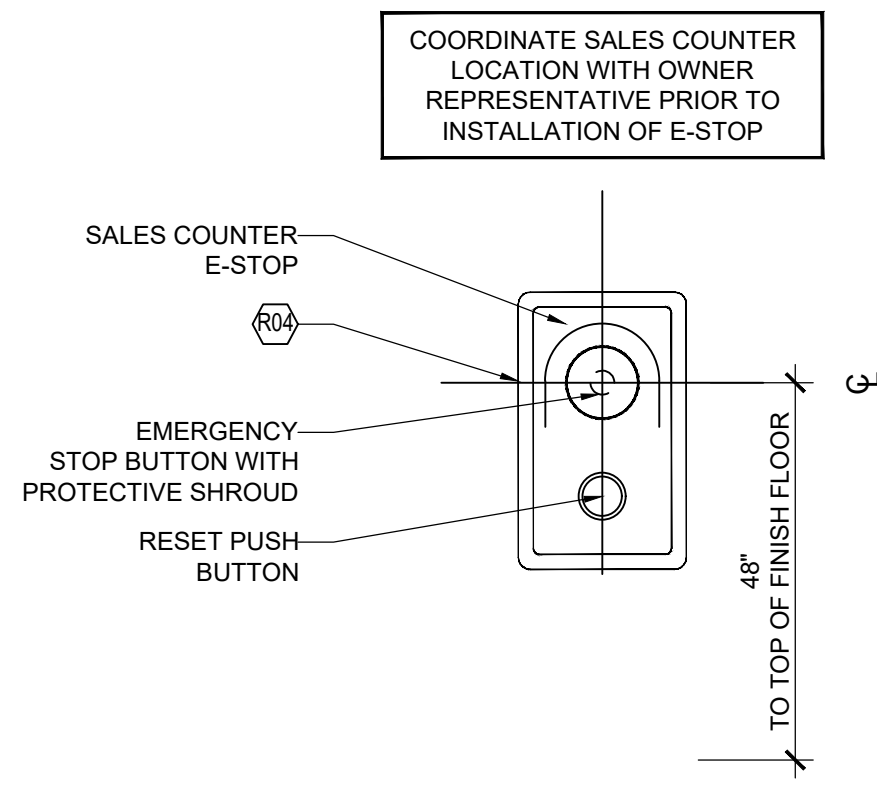
EXTENT OF CLASS 1, GROUP D, DIVISION 1 LOCATION:
SPACE CLASSIFICATION INSIDE THE DISPENSER ENCLOSURE IS COVERED IN ANSIUL 87, "POWER OPERATED DISPENSING DEVICES FOR PETROLEUM PRODUCTS."
- F** TYPICAL N.E.C. ARTICLE 514 CLASS 1 LOCATION (DISPENSING DEVICE - DISPENSER)

EXTENT OF CLASS 1, GROUP D, DIVISION 2 LOCATION:
WITHIN 18 INCHES HORIZONTALLY IN ALL DIRECTIONS EXTENDING TO GRADE FROM (1) THE DISPENSER ENCLOSURE OR (2) THAT PORTION OF THE DISPENSER ENCLOSURE CONTAINING LIQUID HANDLING COMPONENTS. SPACE CLASSIFICATION INSIDE THE DISPENSER ENCLOSURE IS COVERED IN ANSIUL 87, "POWER OPERATED DISPENSING DEVICES FOR PETROLEUM PRODUCTS."
- G** TYPICAL N.E.C. ARTICLE 514 CLASS 1 LOCATION (DISPENSING DEVICE - OUTDOOR)

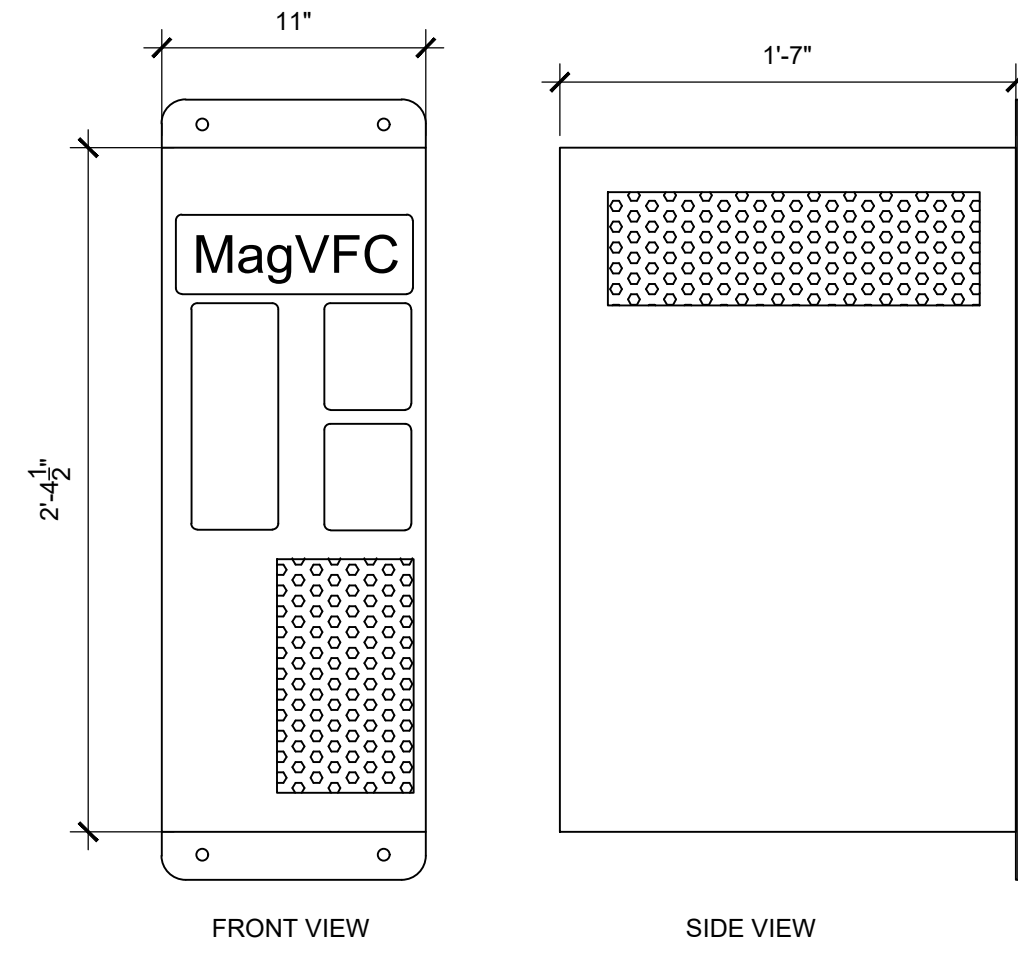
EXTENT OF CLASS 1, GROUP D, DIVISION 2 LOCATION:
UP TO 18 INCHES ABOVE GRADE LEVEL WITHIN 20 FEET HORIZONTALLY OF ANY EDGE OF ENCLOSURE.



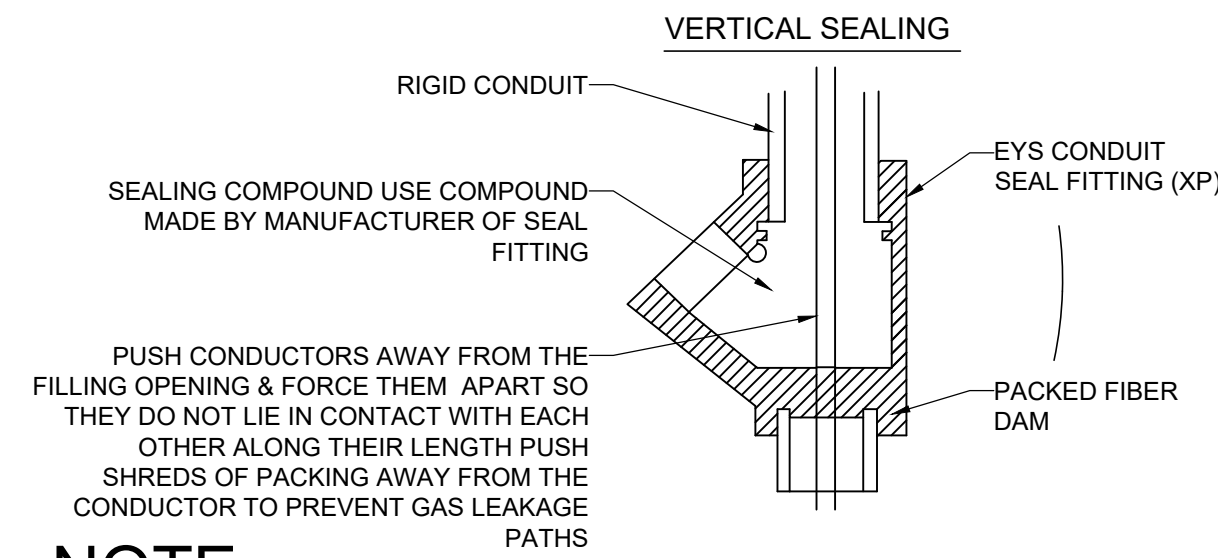
Job#:	SPW-36100-SEI	Scale:	AS NOTED	Date:	02/14/23	Drawn By:	RMC	Checked By:	CGC
Documents prepared by Core States for the specific project and only for the specific project and intended. Any extension of use without the written consent of Core States Group is done at the user's risk. Core States Group will not be held responsible for any way other than that specifically intended, user will hold Core States Group harmless from all claims and losses.	<p>CORE STATES GROUP CONCRETE ARCHITECTURE AND ENGINEERING P.C. CERTIFICATE OF AUTHORIZATION NO. 007879</p> <p>46 East Main Street New York, NY 10014 908.462.9700 core-states.com</p>								
<p>7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING TEXAS 75063 7-ELEVEN #46895 - SPEEDWAY #7645 1542 ROUTE 9 WAPPINGERS FALLS, NY 12590 N.E.C. CLASSIFIED AREA</p>									
<p>Proto 2022-04</p>									
<p>PRINTED BY: CDARR DRAWING NAME: 46895 - G9.1 N.E.C. CLASSIFIED AREAS PRINT DATE: Sep 19, 2023 - 11:01 am</p>									
<p>STATE OF NEW YORK REGISTERED PROFESSIONAL ENGINEER 085877 09-19-2023</p>									
<p>SHEET: G9.1 FUELING - USA</p>									



5 INTERIOR E-STOP DETAIL
NTS



4 MAG VFC DETAIL
NTS

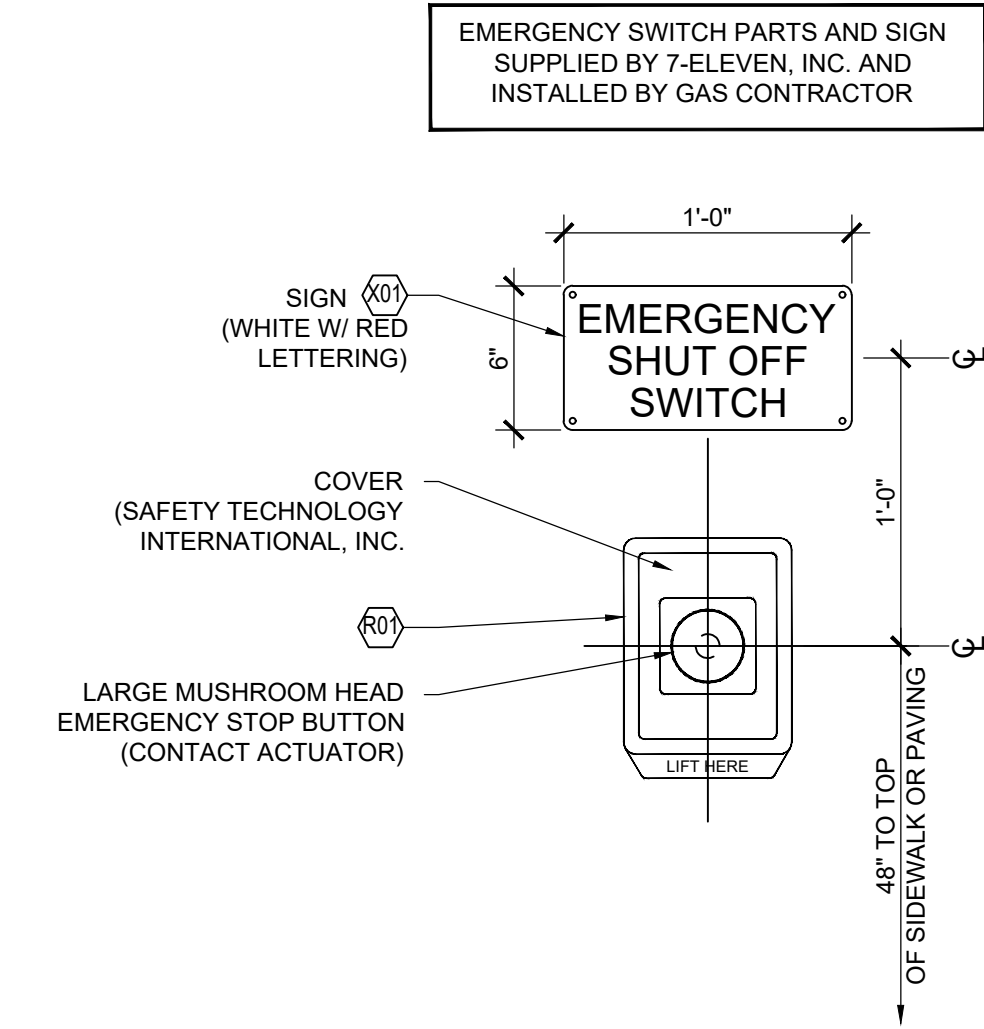


NOTE:
PUSH CONDUCTORS AWAY FROM THE FILLING OPENING & FORCE THEM APART SO THEY DO NOT LIE IN CONTACT WITH EACH OTHER ALONG THEIR LENGTH PUSH SHREDS OF PACKING AWAY FROM THE CONDUCTOR TO PREVENT GAS LEAKAGE PATHS

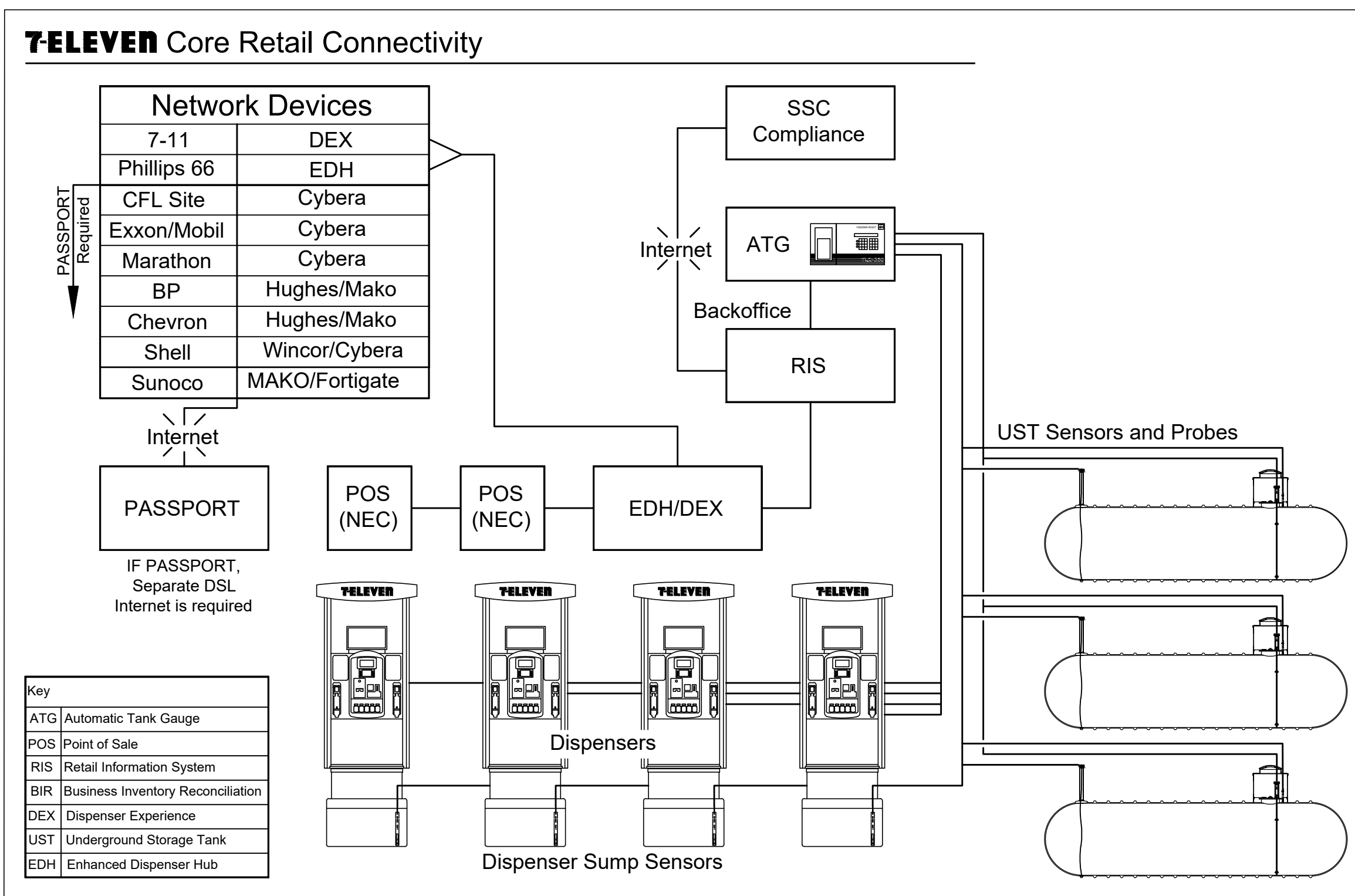
PROVIDE EXPLOSION PROOF SEALS. IN ACCORDANCE WITH ARTICLE 501, CLASS 1, DIVISION 2 OF THE LATEST NATIONAL ELECTRICAL CODE TYPICAL FOR ALL UNDERGROUND CONDUIT STUB-UPS INTO EQUIPMENT

SEAL OFF ALL CONDUIT ENTERING OR LEAVING CAVITIES OR ENCLOSURES OF DISPENSERS AND ASSOCIATED EQUIPMENT. IN ADDITION, ALL CONDUITS COMING FROM THE BUILDING THROUGH A HAZARDOUS LOCATION ALSO REQUIRE SEAL-OFFS AT BOTH ENDS.

3 SEAL FITTING INSTALLATION
NTS



2 EMERGENCY SHUT OFF W/ COVER
NTS



6 CORE RETAIL CONNECTIVITY DIAGRAM
NTS

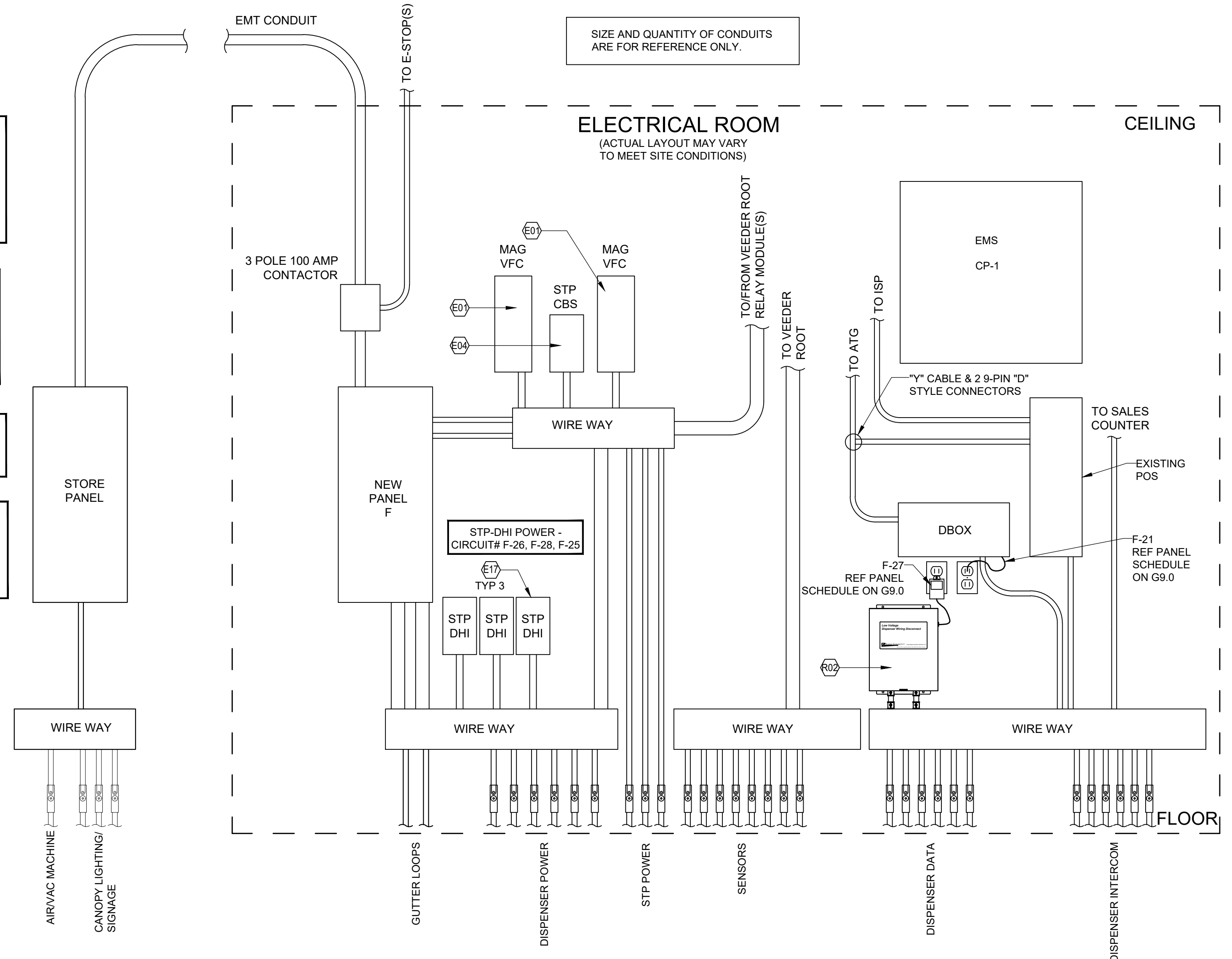
FUELING CONTRACTOR:
EXTEND CONDUITS AS REQUIRED TO NEW DISPENSERS AND FUEL TANKS. TIE TO EXISTING WHERE IT IS POSSIBLE. SEE SPECIFICATION SHEET G16.0, SECTION VII, 2.3.1 FOR CONDUIT TYPES.

NOTE: PULL ALL NEW WIRES AND PULL STRINGS AS REQUIRED.

NOTE: REARRANGE LAYOUT OF EQUIPMENT AS REQUIRED TO FIT NEW PANEL, ISOLATION RELAY BOXES, CONTROL BOXES, NEW CONDUITS, DBOX AND LOW-VOLTAGE DISCONNECT IN EXISTING ELECTRICAL ROOM. REMOVE OLD UNUSED PANELS AND BOXES AS REQUIRED TO MAKE ROOM FOR NEW EQUIPMENT.

NOTE: TIE NEW DISPENSER AND SUMP CONDUIT INTO EXISTING ELECTRICAL ROOM AS REQUIRED. FIELD VERIFY EXISTING CONDITIONS.

NOTE: REFERENCE SHEET G11.0 FOR DISPENSER HOOK ISOLATION WIRING DIAGRAMS, STP CONTROLLER, AND VEEDER ROOT RELAY MODULE WIRING DIAGRAMS.



1 POWER/DATA EQUIPMENT DETAILS
NTS

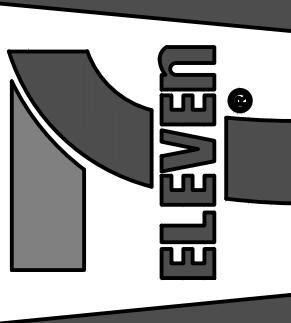
Description

Date

Rev. #

Proto 2022-04

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
MISCELLANEOUS ELECTRICAL
DETAILS



CORE STATES GROUP
CORE STATES ARCHITECTURE AND ENGINEERING P.C.
CERTIFICATE OF AUTHORIZATION NO. 020379
46 East Main Street
Suffolk, VA 23086
757-462-9700
core-states.com

Job#: SPW-36100-SEI
Scale: AS NOTED
Date: 02/14/23
Drawn By: RMC
Checked By: CGC

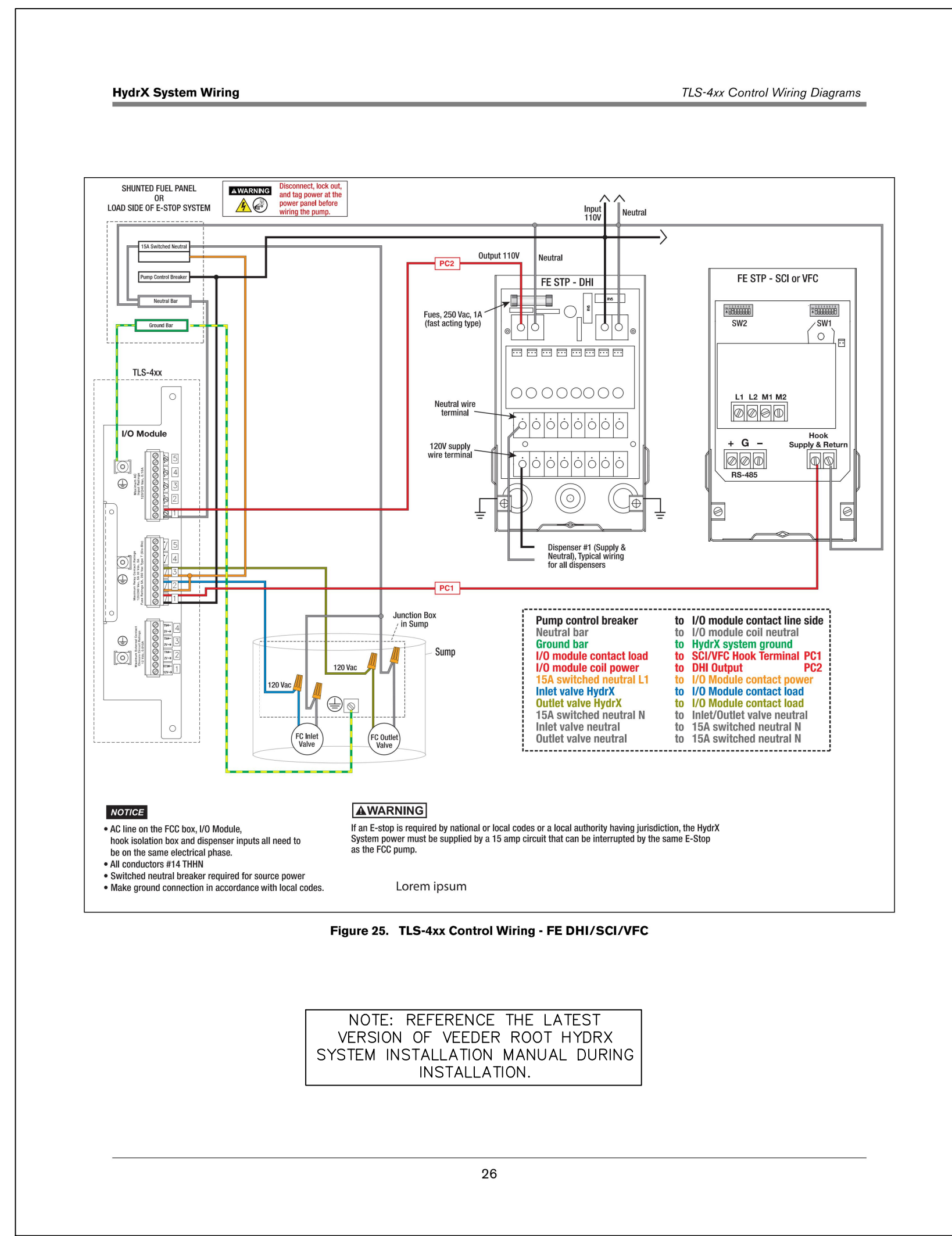
Documents prepared by Core States Group are for the specific project and site only for the specific project and site. Any extension of use beyond the project and site without the expressed, written consent of Core States Group is prohibited. Core States Group is not responsible for any other party's use of this information. User will hold Core States Group harmless from all claims and damages.



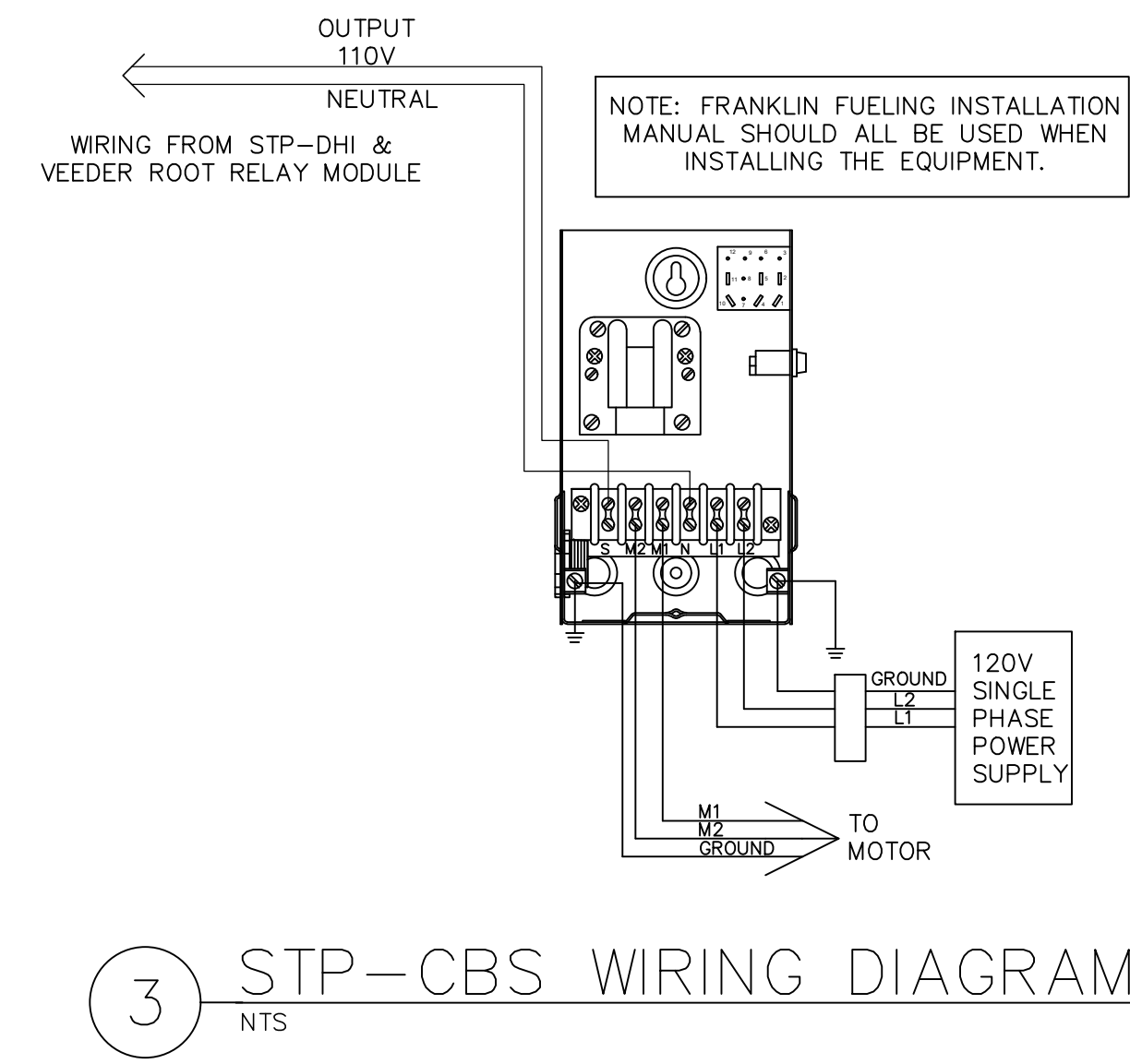
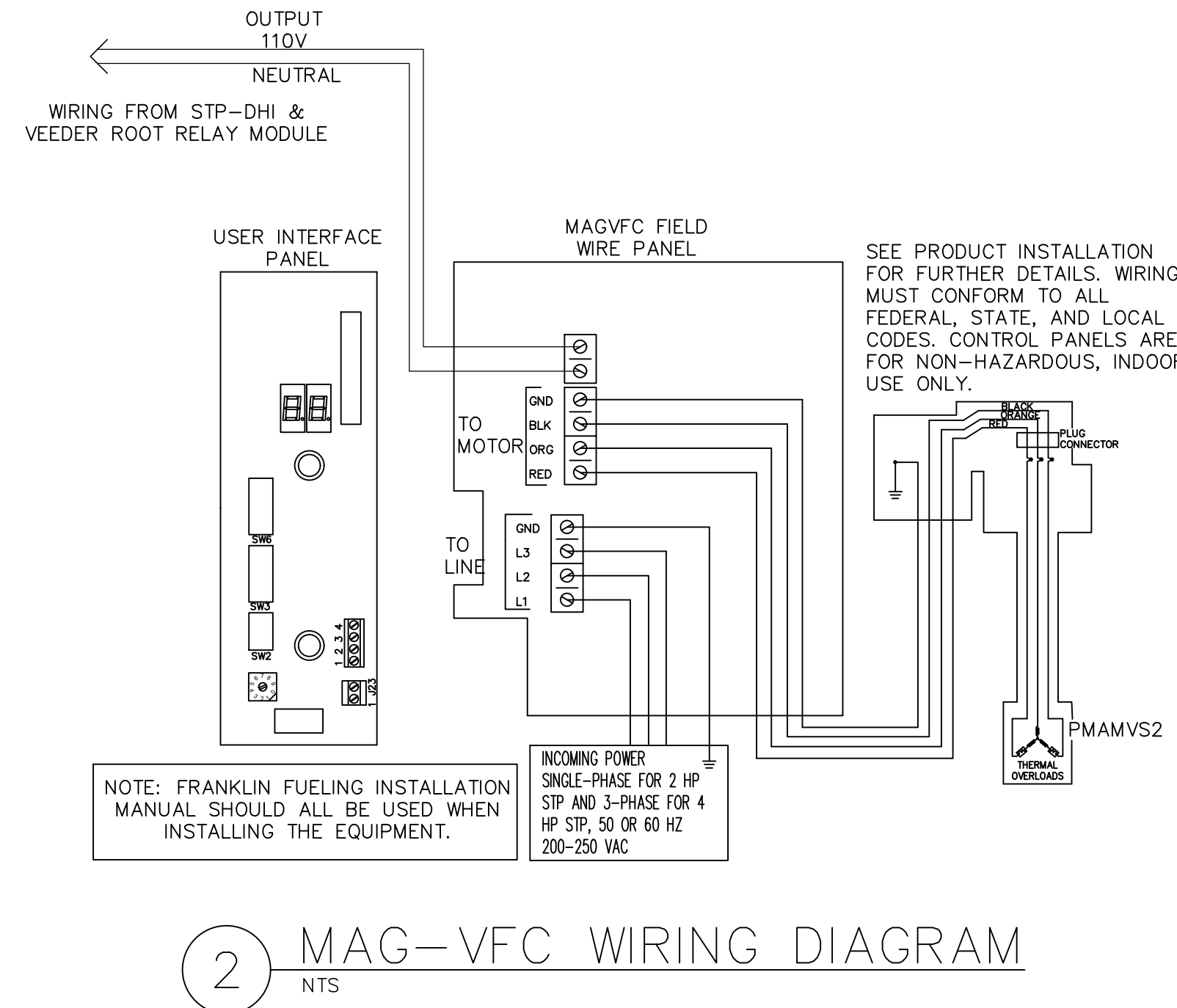
SHEET:

G10.0

FUELING - USA



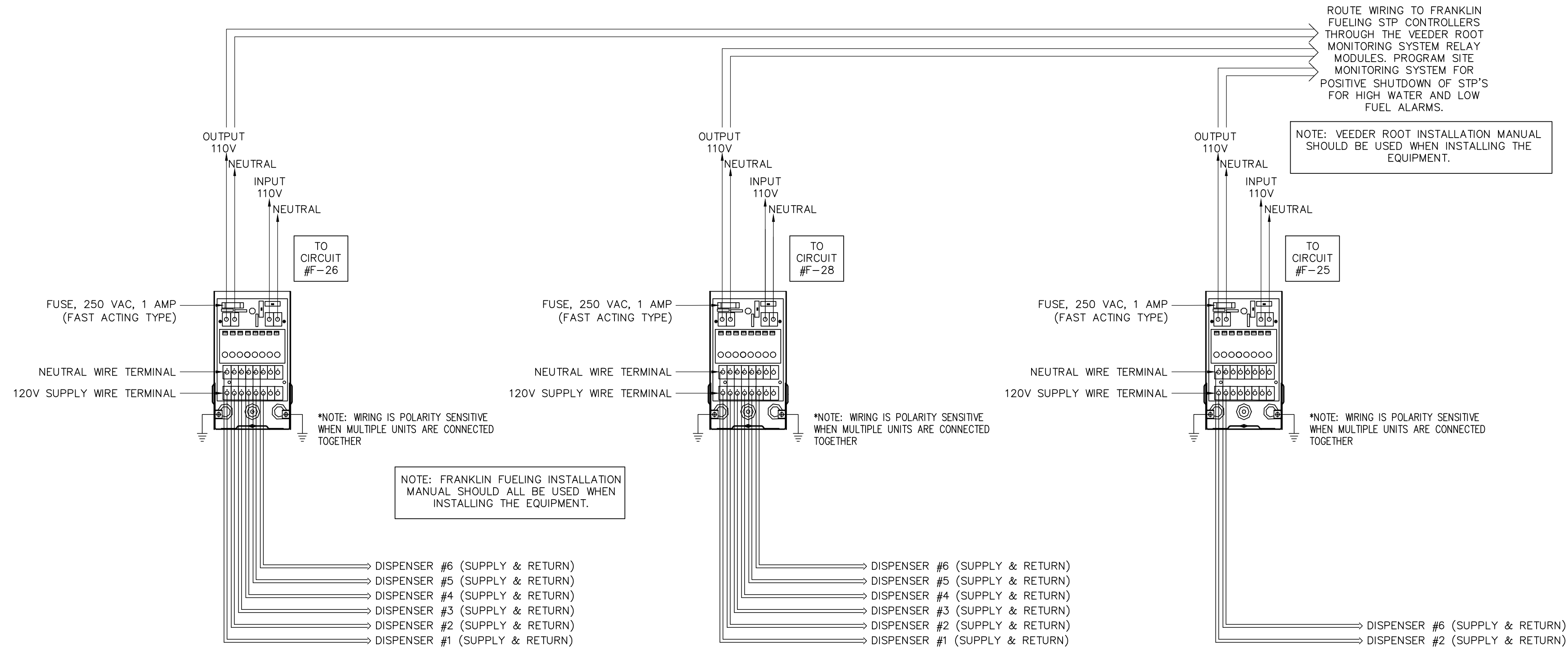
4 HYDRX SYSTEM WIRING DIAGRAM
NTS



REGULAR UNLEADED DISPENSER HOOK ISOLATION

PREMIUM UNLEADED DISPENSER HOOK ISOLATION

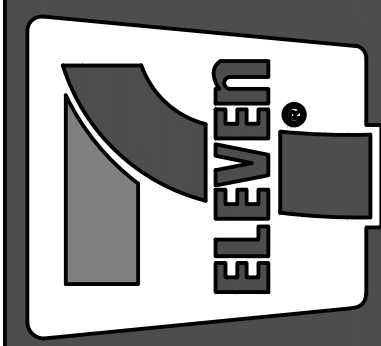
DIESEL DISPENSER HOOK ISOLATION



- GENERAL NOTES
- INSTALL POWER BREAKERS TO EACH CIRCUIT LEADING TO THE DISPENSING UNIT AND STP. THEY MUST BE CAPABLE OF SIMULTANEOUSLY DISCONNECTING HOT AND NEUTRAL CONDUCTORS.
 - INSTALL CONDUIT PER NEC FOR HAZARDOUS LOCATIONS.
 - WIRES - ALL WIRES ARE 14AWG (STANDARD) UNLESS OTHERWISE NOTED. PUMP / DISP. GROUND - WIRE IS 12 AWG (STANDARD). POWER LOADING AND DISTANCE RUN MAY REQUIRE LARGER WIRE SIZE.
 - INSTALL A SINGLE EMERGENCY POWER CUTOFF CONTROL TO REMOVE AC POWER FROM SITE DISPENSING EQUIPMENT. (THE CONTROL IS AN ADDITION SAFETY FEATURE AND NOT A SUBSTITUTE FOR NEC/FPA30 CIRCUIT BREAKER REQUIREMENTS).
 - * LABEL THE EMERGENCY POWER CUTOFF SWITCH AND INSTRUCT OWNER TO KEEP AREA CLEAR OF OBSTACLES.
 - CONNECT INSULATED GROUNDING CONDUCTOR FROM THE DISPENSER POWER PANEL TO THE SITE GROUNDING ELECTRODE. SIZE PER NEC.
 - REFER TO INSTALLATION ADDENDA FOR SPECIFIC PRODUCT FIELD WIRING CONNECTIONS. CAP ALL UNUSED WIRES. LOCAL AND NEC MAY APPLY.
 - STP ISOLATION RELAY BOXES ARE MANDATED BY THE NEC (ARTICLE 514.13 - PROVISIONS FOR MAINTENANCE AND SERVICE OF DISPENSING EQUIPMENT) AND ARE REQUIRED TO:
 - A. ALLOW SERVICE OF ONE UNIT SAFELY WITHOUT REMOVING POWER FROM ALL DISPENSING EQUIPMENT.
 - B. PREVENT DAMAGE TO EQUIPMENT FROM CROSS-PHASING.
 DAMAGE CAUSED BY CROSS-PHASING IS NOT COVERED BY WARRANTY.

Rev. #	Date	Description
Proto 2022-04		

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
ISOLATION RELAY BOX DETAIL



CORE STATES GROUP
CONCRETE ARCHITECTURE AND ENGINEERING P.C.
CERTIFICATE OF AUTHORIZATION NO. 001079

46 East Main Street
Suite 200A, NJ 08876
908.462.9700
core-states.com

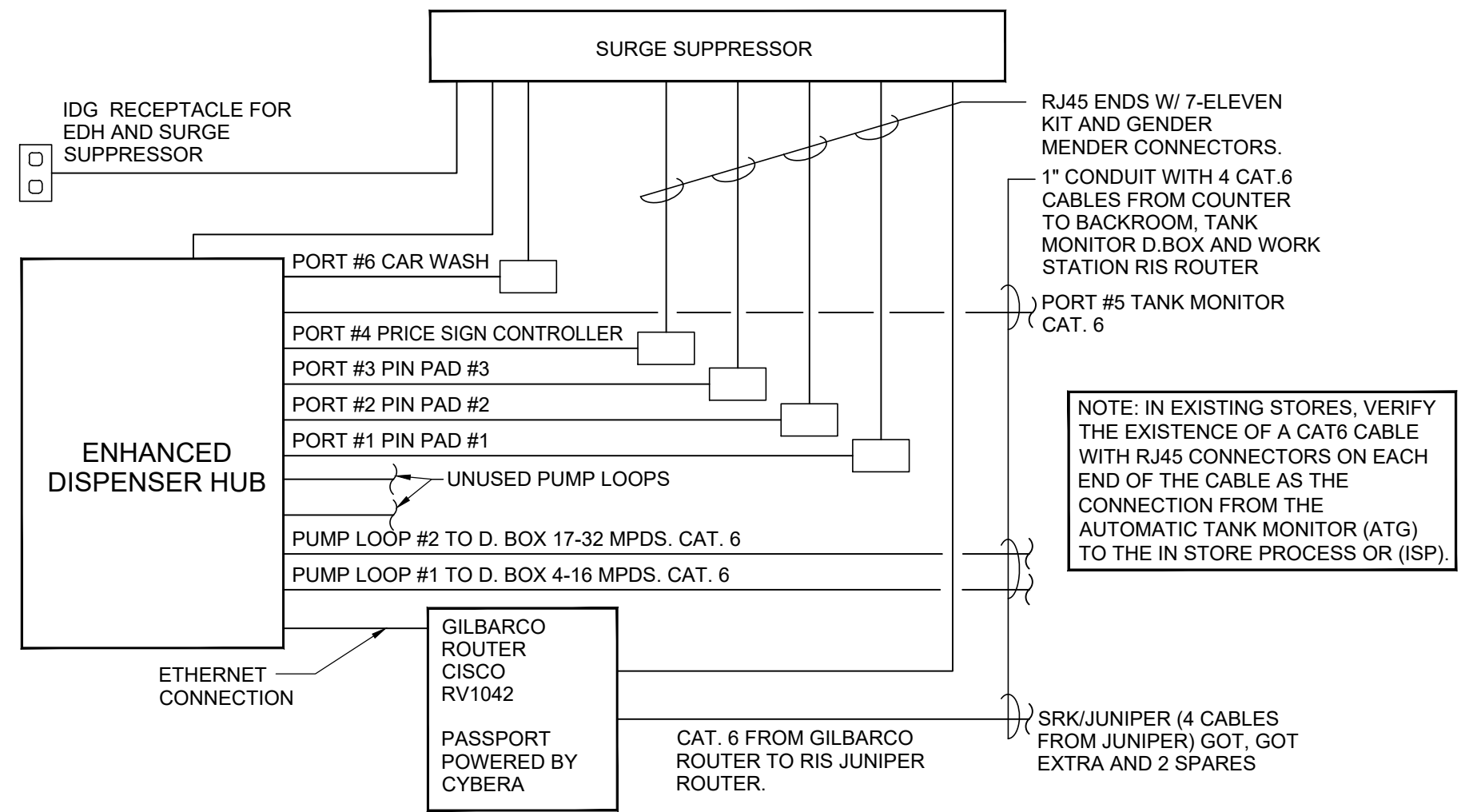
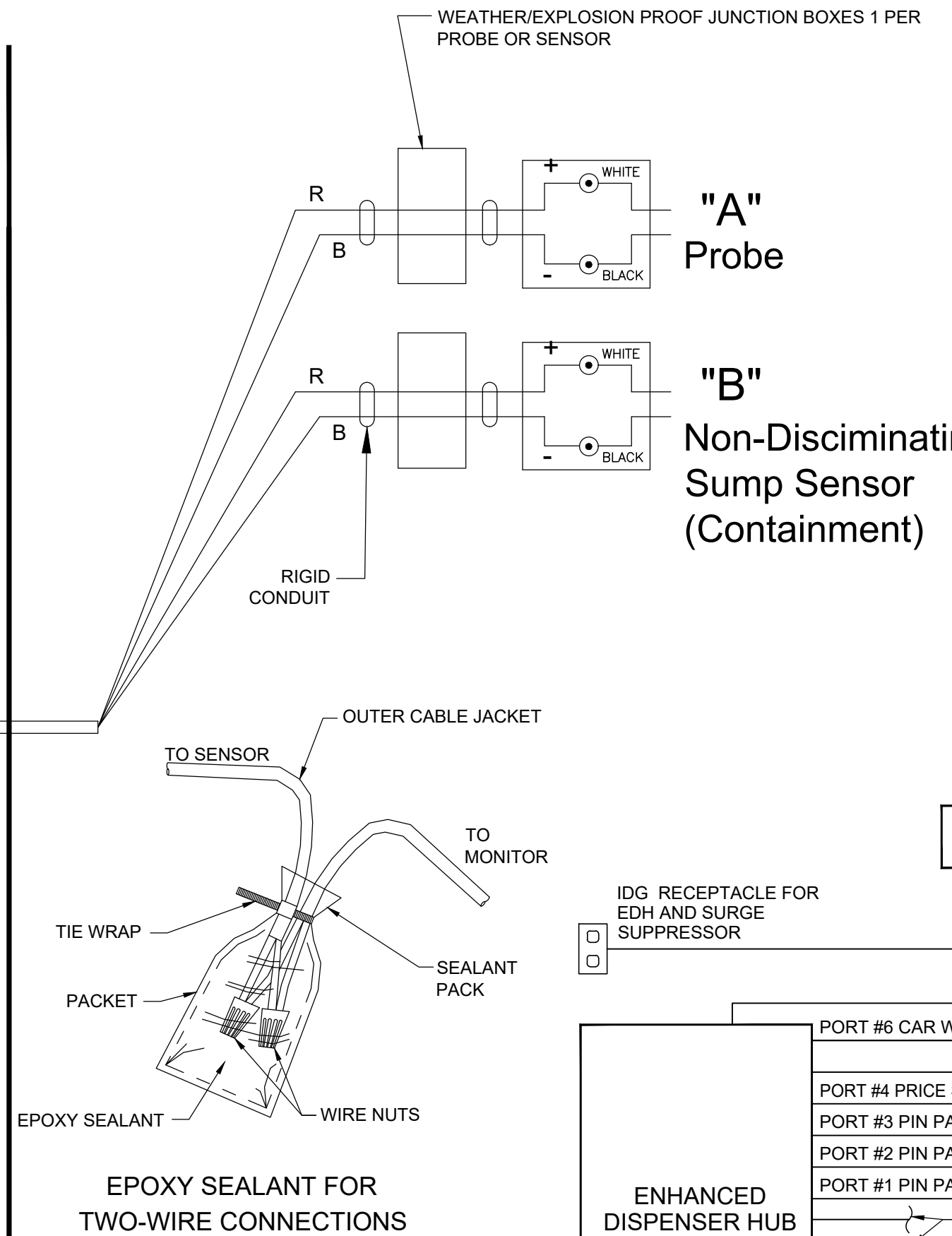
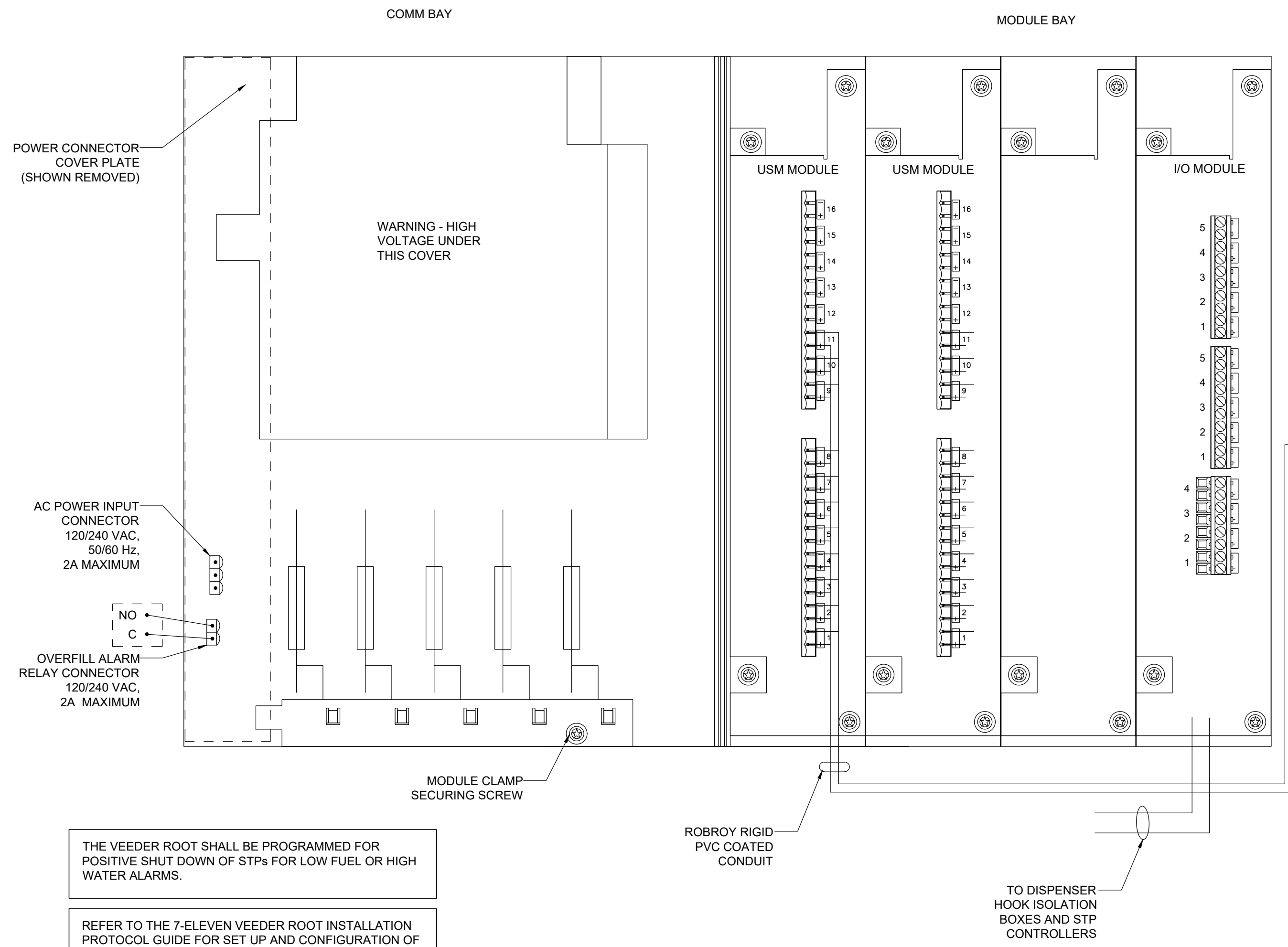
Job#: SPW-36100-SEI	Scale: AS NOTED	Date: 02/14/23	Drawn By: RMC	Checked By: CGC
---------------------	-----------------	----------------	---------------	-----------------

Documents prepared by Core States Group are intended only for the specific project and use for which they are intended. Any extension of use beyond the project or to any other party, without the expressed, written consent of Core States Group is prohibited. Core States Group is not responsible for any other party's use of the information provided in any way other than that specifically intended, user will hold Core States Group harmless from all claims and damages.

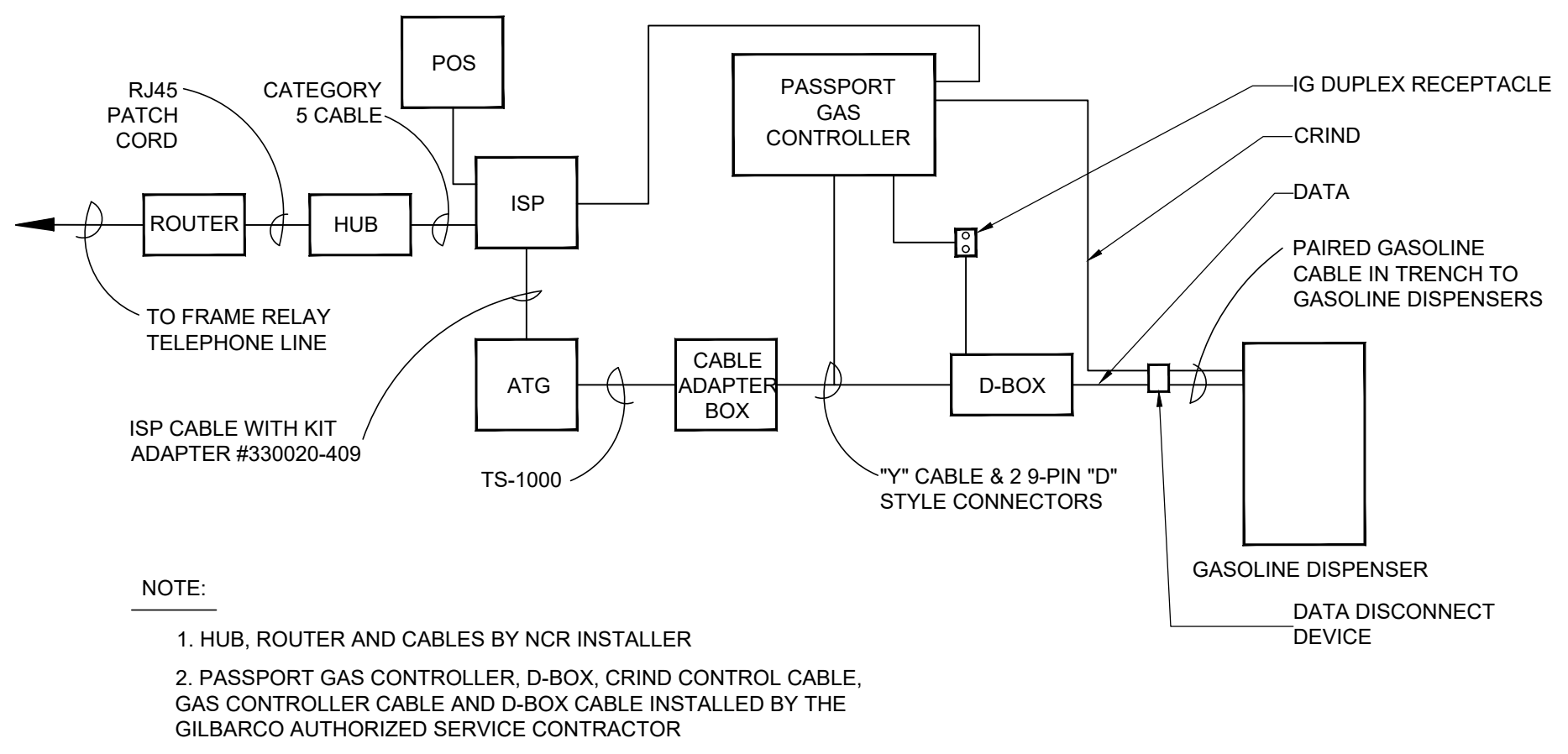


NON-HAZARDOUS AREA

HAZARDOUS AREA



3 ENHANCED DISPENSER HUB
NTS



2 POS GAS CONTROLLER DIAGRAM
NTS

TABLE 1 • WIRE TYPES AND SIZES

CABLE TYPE	PROBE OR SENSOR
BELDEN 88760	PROBE, SUMP, LIQUID, AND VACUUM SENSOR
12 AWG THWN	AC POWER TO CONSOLE

1 SITE MONITORING WIRING SCHEMATIC
1 1/2" = 1'-0"

CONTRACTOR NOTE:
PLEASE COMPLETE THE FOLLOWING ITEMS WHEN REPLACING AN EXISTING ATG WITH A NEW TLS-450 PLUS CONSOLE:

- WRACO MUST BE COMPLETED ONLINE FOR THE TLS-450 PLUS (WARRANTY REGISTRATION AND CHECKOUT). COPY TO BE PROVIDED TO SOURCE.
- SERIAL NUMBER OF EXISTING TLS UNIT, OR COMPETITIVE UNIT, THAT IS BEING REPLACED.
- PHOTO OF UNIT BEING DESTROYED IN THE FIELD.

SUBMIT ALL 3 COMPONENTS TO SOURCE

GENERAL NOTES

IMPORTANT: THIS IS A CONTROL DRAWING ONLY AND DOES NOT REFLECT THE ACTUAL LOCATIONS OF CONDUIT ENTRY (SEE NOTE 7 BELOW).

VEEDER-ROOT REQUIRES THAT ANYONE INSTALLING OUR EQUIPMENT MUST BE LEVEL I CERTIFIED. FOR MORE INFORMATION REGARDING THE HOME STUDY INSTALLERS COURSE CONTACT JOHN HOWELL 951-532-8599.

WARNING: IN INSTALLATION AND USE OF THIS PRODUCT, COMPLY WITH THE NATIONAL ELECTRICAL CODE, FEDERAL, STATE AND LOCAL CODES. IN ADDITION, TURN OFF POWER AND TAKE OTHER NECESSARY PRECAUTIONS DURING INSTALLATION, SERVICE AND REPAIR TO PREVENT PERSONAL INJURY, PROPERTY LOSS AND EQUIPMENT DAMAGE.

WARNING: DISCONNECT ALL POWER BEFORE MAKING ANY CONNECTIONS TO PREVENT DEATH, SERIOUS INJURY, EXPLOSION, OR ELECTRICAL SHOCK. MONITOR MUST NEVER BE OPERATED UNLESS THE FRONT COVER IS CLOSED OVER THE BARRIER TERMINALS IN THE INTRINSICALLY SAFE AREA.

1. INTRINSICALLY SAFE WIRING

BONDED CONDUIT MEANS THAT THE METALLIC SECTIONS OF CONDUIT ARE PERMANENTLY JOINED TO FORM AN ELECTRICALLY CONDUCTIVE PATH THAT WILL ASSURE ELECTRICAL CONTINUITY, AND THAT THE CONDUIT HAS THE CAPACITY TO CONDUCT SAFELY, ANY CURRENT LIKELY TO BE IMPOSED.

a) BONDED & NON-BONDED CONDUIT - THE WIRES BETWEEN THE MONITOR AND EACH PROBE/SENSOR LOCATION MUST BE #14, #16 OR #18 AWG STRANDED COPPER WIRES WITHIN A SHIELDED CABLE. SHIELDED CABLE MUST BE RATED AT LESS THAN 100 PICOFARAD PER FOOT AND MUST BE MANUFACTURED WITH A MATERIAL SUITABLE FOR THE ENVIRONMENT, SUCH AS BELDEN™ 88760.

2. CONNECT THE BARRIER GROUND TO THE EARTH GROUND BUS AT THE POWER DISTRIBUTION PANEL WITH #12 AWG (OR LARGER) CONDUCTOR.

3. DENOTES FIELD WIRING CONNECTION USING WATERPROOF CONNECTORS SUPPLIED WITH THE PROBE(S) AND SENSOR(S).

4. INTRINSICALLY SAFE WIRING SHALL BE INSTALLED IN ACCORDANCE WITH ARTICLE 504-20 OF THE NEC, ANSINFPFA 70.

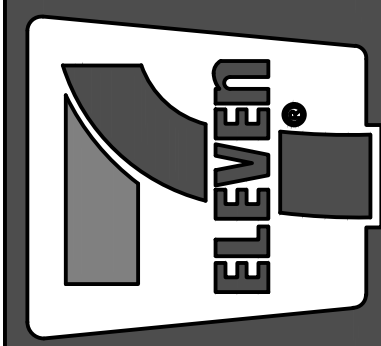
5. TO MAINTAIN INTRINSIC SAFETY, PROBE/SENSOR WIRING MUST BE INSTALLED WITH EITHER SEALED CONDUIT OR DIRECT BURIAL METHODS. REFER TO "DIRECT BURIAL CABLE INSTALLATION", MANUAL NO. 576013-858.

6. ELECTRICAL RATING POWER INPUT 120 VAC, 50/60 HZ, 100 VA MAXIMUM.

7. THIS DOCUMENT IS NOT TO BE USED AS A SUBSTITUTE FOR SPECIFIC EQUIPMENT INSTALLATION MANUALS. FOR INSTALLATION DETAILS USE THE RESPECTIVE MANUAL. TLS-450 PLUS 577014-073

8. ALL CABINET PENETRATIONS MUST ENTER THROUGH A PRE-DRILLED CONDUIT KNOCKOUT.

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
SITE MONITORING EQUIPMENT
DIAGRAM



CORE STATES GROUP
CONCRETE
ARCHITECTURE AND ENGINEERING P.C.
CERTIFICATE OF AUTHORIZATION
NO. 000079
46 East Main Street
Suite 200
Sayreville, NJ 08876
908.462.9700
core-states.com

Job#: SPW-36100-SEI
Scale: AS NOTED
Date: 02/14/23
Drawn By: RMC
Checked By: CGC

Documents prepared by Core States Group are for use only for the specific project and intended. Any extension of use by any other party, without the expressed, written consent of Core States Group is prohibited. Core States Group will hold Core States Group harmless from all claims and lawsuits.



PERFORMANCE SPECIFICATION

SECTION I GENERAL CONDITIONS

PART 1 - GENERAL

- 1.1 SCOPE OF WORK: THE WORK INCLUDED IN THE CONTRACT FOR THIS PROJECT CONSISTS OF THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED IN CONJUNCTION WITH OR PROPERLY INCIDENTAL TO THE COMPLETE CONSTRUCTION OF A GASOLINE INSTALLATION FOR 7-ELEVEN, INC.

PART 2 - AGREEMENT

- 2.1 CONTRACTOR SHALL NOT START WORK WITHOUT CONTRACT AND APPROVED SEALED PLANS.

PART 3 - INTENT OF DRAWING AND SPECIFICATIONS

- 3.1 THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PRESCRIBE A COMPLETE WORK OR IMPROVEMENT WHICH THE CONTRACTOR SHALL PERFORM IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE WORK IN A SATISFACTORY AND ACCEPTABLE MANNER.
- 3.2 THE CONTRACTOR SHALL, UPON DISCOVERY, REPORT ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS TO THE OWNER'S CONSTRUCTION MANAGER.
- 3.3 THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. ANYTHING MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH. GENERALLY, THE SPECIFICATIONS DESCRIBE WORK WHICH CANNOT BE READILY IDENTIFIED ON THE DRAWINGS AND INDICATED TYPES, QUALITIES AND METHODS OF INSTALLATION OF THE VARIOUS MATERIALS AND EQUIPMENT REQUIRED FOR THE WORK. IT IS NOT INTENDED TO MENTION EVERY ITEM OF WORK IN THE SPECIFICATIONS WHICH CAN BE ADEQUATELY SHOWN ON THE DRAWINGS NOR TO SHOW ON THE DRAWINGS ALL ITEMS OF WORK DESCRIBED OR REQUIRED BY THE SPECIFICATIONS EVEN IF THEY ARE OF SUCH NATURE THAT THEY COULD HAVE BEEN SHOWN THEREON. ALL MATERIALS OR LABOR FOR WORK WHICH IS SHOWN ON THE DRAWINGS OR IS REASONABLY INFERABLE AS BEING NECESSARY TO PRODUCE A FINISHED JOB SHALL BE PROVIDED BY THE CONTRACTOR WHETHER OR NOT THE WORK IS EXPRESSLY COVERED IN THE SPECIFICATIONS.
- 3.4 THE CONTRACTOR, SUBCONTRACTORS AND ALL TRADES SHALL EXAMINE THE SITE AND ASCERTAIN EXISTING CONDITIONS PRIOR TO THE START OF THEIR PORTIONS OF THE WORK. BEFORE ORDERING MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR THE CORRECTNESS OF ALL MEASUREMENTS AT THE SITE. ANY DIFFERENCES WHICH MAY BE FOUND BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE DRAWINGS OR SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER'S CONSTRUCTION MANAGER FOR CONSIDERATION BEFORE PROCEEDING WITH THE ACTUAL DIMENSIONS AND MEASUREMENTS INDICATED ON THE DRAWINGS UNLESS A SUBSTANTIAL ERROR HAS BEEN MADE. IF SUCH AN ERROR SHOULD OCCUR, IT SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S CONSTRUCTION MANAGER AND RESOLVED BEFORE PROCEEDING WITH WORK.
- 3.5 THE ORGANIZATION OF SPECIFICATIONS INTO DIVISIONS, SECTIONS AND PARAGRAPHS, AND THE ARRANGEMENT OF THE DRAWINGS ARE NOT INTENDED TO CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN THE ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
- 3.6 DRAWINGS AND SPECIFICATIONS: DRAWINGS INDICATE GENERAL DESIGN AND ARRANGEMENTS DRAWINGS ARE DIAGRAMMATIC AND ARE NOT SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM ARCHITECTURAL PLANS AND EQUIPMENT TO BE FURNISHED. VERIFY DIMENSIONS IN THE FIELD.

PART 4 - RESPONSIBILITY OF THE CONTRACTOR

- 4.1 CONTRACTOR HEREBY DECLARES HE HAS READ ALL SPECIFICATIONS AND EXAMINED THE DRAWINGS AND THAT HE UNDERSTANDS ALL CONDITIONS.
- 4.2 CONTRACTOR HEREBY DECLARES HE HAS VISITED THE SITE AND IS FAMILIAR WITH THE CONDITIONS AFFECTING THE WORK. NO ALLOWANCES SHALL BE MADE SUBSEQUENTLY ON BEHALF OF THE CONTRACTOR FOR ANY ERROR NEGLIGENCE ON HIS PART. IF IN THE PERFORMANCE OF THE CONTRACT, LATENT CONDITIONS AT THE SITE ARE FOUND TO BE MATERIALLY DIFFERENT FROM THOSE INDICATED BY THE DRAWINGS AND SPECIFICATIONS, OR UNKNOWN CONDITIONS UNUSUALLY INHERENT IN WORK OF THIS CHARACTER SHOWN AND SPECIFIED, THE ATTENTION OF THE OWNER'S CONSTRUCTION MANAGER SHALL BE CALLED IMMEDIATELY TO SUCH CONDITIONS BEFORE THEY ARE DISTURBED.
- 4.3 CONTRACTOR HEREBY DECLARES THAT HE HAS READ AND IS FAMILIAR WITH THE APPLICABLE SOILS REPORT.
CONTRACTOR SHALL BE RESPONSIBLE FOR STRICTLY ADHERING TO THE RECOMMENDATIONS OF SAID SOILS REPORT FOLLOWING ALL APPLICABLE PROCEDURES NOTED THEREIN. EXISTING WATER TABLE SHALL POSSIBLY DETERMINE A DIFFERENT UTILIZATION OF THE TANK STRAPS AND TYPE OF BACK FILL MATERIAL. SHOULD GROUND WATER OR CONTAMINATION BE DISCOVERED DURING TANK EXCAVATION, WORK SHALL BE SUSPENDED PENDING REVIEW BY 7-ELEVEN CONSTRUCTION MANAGER.
- 4.4 CONTRACTOR SHALL REPORT ANY OBJECTION TO MATERIALS, APPLIANCES, OR METHODS OF CONSTRUCTION SHOWN OR SPECIFIED TO THE OWNER'S CONSTRUCTION MANAGER AND OBTAIN A DECISION BEFORE PROCEEDING.
- 4.5 PROPOSALS: CONTRACTOR SHALL SUBMIT BID ONLY ON 7-ELEVEN'S FORM THAT WILL BE PROVIDED BY 7-ELEVEN'S LOCAL CONSTRUCTION MANAGER. "COST OF CONSTRUCTION" PROPOSALS SUBMITTED ON ANY OTHER FORM SHALL BE REJECTED AND RETURNED. PROPOSALS NOT COMPLETELY AND PROPERLY FILLED OUT SHALL BE REJECTED. PROPOSALS SHALL INCLUDE MONEYS FOR REMOVAL OF ALL EXISTING IMPROVEMENTS AS REQUIRED FOR GASOLINE INSTALLATION.
- 4.6 PERMITS: CONTRACTOR SHALL, AS DIRECTED BY 7-ELEVEN, PAY FOR ALL APPLICABLE PERMITS AND AN FEES. COPIES OF PERMITS AND CERTIFICATES SHALL BE FORWARDED TO LOCAL 7-ELEVEN CONSTRUCTION MANAGER'S OFFICE OR SITE MANAGER PRIOR TO COMMENCEMENT OF WORK. FINAL CERTIFICATION OF ACCEPTANCE BY GOVERNING AUTHORITIES SHALL ALSO BE ON FILE WITH LOCAL CONSTRUCTION OFFICE OR SITE MANAGER PRIOR TO THE PROCESSING OF FINAL PAYMENT REQUEST.
- 4.7 INSPECTIONS: CONTRACTOR SHALL BE REQUIRED TO ADHERE TO ALL REQUIREMENTS OF OWNER'S INSPECTION PROGRAM. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS FOR NOTIFICATION, SITE PREPARATION REQUIREMENTS, COMPLIANCE, ON-SITE PRESENCE DURING INSPECTION AND CORRECTION OF ANY DEFECTS OR RELATED PROBLEMS AS DIRECTED BY INSPECTING REPRESENTATIVE CONTRACTOR SHALL PROVIDE NO LESS THAN 48 HOURS NOTICE PRIOR TO INSPECTION.
- 4.8 COORDINATION: FUEL CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL PHASES OF THE GASOLINE INSTALLATION WITH THE GENERAL CONTRACTOR IN CHARGE OF THE BUILDING OR MAJOR PORTION OF THE PROJECT. THE BUILDING GENERAL CONTRACTOR AND THE FUEL CONTRACTOR SHALL JOINTLY DEVELOP A MUTUALLY AGREEABLE SCHEDULE AND TIMETABLE FOR COMPLETION ON THE GASOLINE INSTALLATION. TIMETABLE FOR BUILDING AND GASOLINE SHALL COINCIDE AND COMPLIMENT EACH OTHER SO THAT ONE DOES NOT DELAY THE OTHER.
SHOULD FUEL CONTRACTOR FAIL TO MEET DEADLINES AS ESTABLISHED BY THE SCHEDULE AND/OR HOLD UP THE COMPLETION OF THE OVERALL BUILDING PROJECT, 7-ELEVEN, INC. RESERVES THE RIGHT TO RECTIFY THE SITUATION ACCORDINGLY.
- 4.9 CONTRACTOR SHALL PROVIDE OWNER WRITTEN CERTIFICATION AS TO THE FOLLOWING:
 - 4.9.1 CERTIFICATION FROM LOCAL/STATE GOVERNING AUTHORITIES AS APPLICABLE FOR CONTRACTOR CERTIFICATION/LICENSING FOR INSTALLATION OF GASOLINE STORAGE TANK SYSTEM.
 - 4.9.2 CERTIFICATION FROM EQUIPMENT MANUFACTURERS AND SUPPLIERS (TANKS, PRODUCT LINES, ATG'S, ETC.) AS TO ATTENDING AND ACHIEVING CERTIFICATION FROM APPROPRIATE COMPANY FOR INSTALLATION OF EQUIPMENT.
 - 4.9.3 CERTIFICATION ON APPROPRIATE FORMAT AS TO INSTALLATION OF COMPLETE SYSTEM BEING PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
 - 4.9.4 CERTIFICATION THAT ALL EQUIPMENT EITHER SUPPLIED BY OWNER OR CONTRACTOR HAS BEEN INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS BY PERSONNEL TRAINED AND QUALIFIED FOR THAT SPECIFIC ITEM.

SECTION I GENERAL CONDITIONS - CONTINUED

PART 4 - CONTINUED

- 4.11 LIENS: CONTRACTOR SHALL PERMIT NO LIENS OF ANY KIND TO BE FIXED UPON OR AGAINST THE PROPERTY BY ITS SUBCONTRACTORS, LABORERS, MECHANICS OR MATERIAL MEN, AND SHALL INDEMNIFY, PROTECT AND SAVE OWNER HARMLESS FROM AND AGAINST ALL SUCH CLAIMS AND LIENS.
- 4.12 EQUIPMENT RESPONSIBILITY: CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING, RECEIVING, UNLOADING, HANDLING AND PROVIDING PROTECTED INSIDE STORAGE FOR ALL OWNER SUPPLIED EQUIPMENT AND MATERIAL. CONTRACTOR SHALL INSPECT EQUIPMENT UPON RECEIPT AND IMMEDIATELY REPORT ANY DAMAGE DUE TO SHIPPING TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS. DISPENSERS SHALL BE PROTECTED WITH SHIPPING BOXES UNTIL STORE IS TURNED OVER FOR OPENING. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADEQUATE AND LOCKED STORAGE OF OWNER'S MISCELLANEOUS EQUIPMENT, TO INCLUDE GASOLINE CONSOLE, PRIOR TO OPENING OF THE STORE.
- 4.13 FUEL CONTRACTOR SHALL BE RESPONSIBLE FOR FILING OF RECEIVING FORMS AND MISCELLANEOUS CONFIRMATION OF EQUIPMENT RECEIVING INFORMATION AS REQUIRED BY LOCAL CONSTRUCTION OFFICE.
- 4.14 FUEL CONTRACTOR SHALL PROVIDE ALL PIPING, WIRING, MATERIAL AND LABOR AS REQUIRED TO INSTALL OWNER SUPPLIED EQUIPMENT. INCLUDE MONEY IN BID PROPOSAL FOR INSTALLATION OF OWNER SUPPLIED EQUIPMENT UNLESS NOTED OTHERWISE.

PART 5 - PROTECTION

- 5.1 CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY LOSS OR DAMAGE CAUSED BY HIM OR HIS WORKMEN TO THE PROPERTY OR EQUIPMENT OF THE OWNER, OR TO THE WORK OR MATERIALS OF OTHER CONTRACTORS. CONTRACTOR SHALL MAKE GOOD ANY LOSS, DAMAGE OR INJURY WITHOUT COST TO OWNER FOR SUCH LOSS OR DAMAGE.
- 5.2 CONTRACTOR SHALL PROVIDE AND MAINTAIN SUITABLE TEMPORARY SIDEWALKS, FENCES, LIGHTS, SIGNS OR OTHER STRUCTURES AND DEVICES AS REQUIRED BY LAW, DO NOT OBSTRUCT OR INTERFERE WITH TRAFFIC IN PUBLIC STREETS, ALLEYS OR PRIVATE RIGHT-OF-WAYS. IF WORK IS SUSPENDED, KEEP ALL ROADWAYS AND SIDEWALKS IN PROPER CONDITION AND PUT AND LEAVE THEM IN PROPER CONDITION AT TERMINATION OF WORK.
- 5.3 CONTRACTOR SHALL SEND PROPER NOTICES, MAKE NECESSARY ARRANGEMENTS AND PERFORM ALL WORK REQUIRED FOR THE CARE, PROTECTION AND MAINTENANCE OF PUBLIC UTILITIES ON AND AROUND THE BUILDING SITE, ASSUMING ALL RESPONSIBILITY AND PAYING ALL COSTS FOR WHICH THE OWNER MAY BE LIABLE. CONTRACTOR HEREBY DECLARES HE HAS VERIFIED THE LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ON SITE PRIOR TO THE START OF WORK. CONTRACTOR HEREBY AGREES TO MAKE ARRANGEMENTS FOR AND TO PAY ALL CHARGES IN CONJUNCTION WITH THE RELOCATIONS OF EXISTING UTILITIES AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL UTILITY EASEMENTS, HOOKUP CHARGES, TAP FEES & SYSTEM DEVELOPMENT FEES OR BONDS AS NECESSARY FOR COMPLETION OF THIS PROJECT.
- 5.4 IF ALL OR PART OF THE WORK IS SUSPENDED FOR ANY REASON, CONTRACTOR SHALL PROPERLY COVER OVER, SECURE AND PROTECT ANY PORTION LIABLE TO SUSTAIN INJURY FROM ANY CAUSE.
- 5.5 PRODUCT PROTECTION: CONTRACTOR SHALL PROVIDE ADEQUATE AND SECURE PROTECTION OF PRODUCT IN TANKS UPON DELIVERY UNTIL TURNED OVER FOR OPERATION. ALL FILL, VENT AND GAUGING CAPS AND/OR OPENINGS SHALL BE SECURED AND PADLOCKED TO PREVENT VANDALISM OR THEFT.

PART 6 - SUBSTITUTION OF MATERIALS

- 6.1 MATERIALS AS SPECIFIED REPRESENT REQUIRED STANDARDS. SUBSTITUTION MAY BE PROPOSED IN WRITING WITH ADEQUATE SUPPORTING DATA FURNISHED. USE OF SUBSTITUTE MATERIALS IS DEPENDENT ON RECEIPT OF WRITTEN APPROVAL FROM OWNER'S APPROVED REPRESENTATIVE.

PART 7 - COMPLETION OF CONTRACT

- 7.1 THE CONTRACT SHALL BE CONSIDERED FULFILLED, SAVE AS PROVIDED IN ANY MAINTENANCE STIPULATIONS, BOND OR BY LAW, WHEN ALL THE WORK HAS BEEN COMPLETED WITH FINAL INSPECTION AND ACCEPTANCE MADE BY ALL APPLICABLE GOVERNING BUILDING DEPARTMENTS, FIRE MARSHAL'S OR OTHER JURISDICTIONS.
- 7.2 NOT USED
- 7.3 CLEANING:
 - 7.3.1 ALL WORK SHALL BE CLEAN AND READY FOR USE UPON COMPLETION. REMOVE TEMPORARY TAPES, WRAPPING, COATING, PAPER LABELS AND OTHER ITEMS.
 - 7.3.2 CLEANING METHODS FOR PROPRIETARY MATERIALS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CLEANING SOLUTIONS, AGENTS, SOLVENTS, WAXES OR OTHER MATERIALS SHALL BE ONLY AS APPROVED BY THE MANUFACTURER OF THE MATERIAL INSTALLED IN THE WORK.
 - 7.3.3 CLEANUP: CONTRACTOR SHALL CLEAN UP ALL DEBRIS CAUSED BY THE WORK OF THIS SECTION, KEEPING THE PREMISES NEAT AT ALL TIMES.

PART 8 - CODES

- 8.1 THE FOLLOWING CODES ARE MADE A PART OF THIS SPECIFICATION. SAID CODES SHALL DICTATE MINIMAL ACCEPTABLE STANDARDS. CODE SHALL BE ADHERED TO UNLESS LOCAL GOVERNING AUTHORITIES DICTATE HIGHER OR MORE STRINGENT REQUIREMENTS WHICH SHALL TAKE PRECEDENCE:
 - 8.1.1 NFPA 30 FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE
 - 8.1.2 PEI MANUAL "RECOMMENDED PRACTICES FOR INSTALLATION OF UNDERGROUND LIQUID STORAGE SYSTEMS." #RP-100-96 (OR LATEST EDITION)
 - 8.1.3 OSHA AND LOCAL MUNICIPALITIES

PART 9 - WARRANTY / GUARANTEE

- 9.1 EXCEPT WHERE SPECIAL GUARANTEES ARE REQUIRED IN EXCESS OF ONE (1) YEAR, THE CONTRACTOR AGREES TO REPAIR AND RE-CERTIFY OR REPLACE THE DEFECTIVE COMPONENT OR ANY DEFECT IN MATERIAL OR WORKMANSHIP (BEYOND ORDINARY WEAR AND TEAR) TO THE SATISFACTION OF THE OWNER'S CONSTRUCTION MANAGER FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF ACCEPTANCE, WHETHER IN HIS WORK OR IN THAT OF SUBCONTRACTOR'S, WITHOUT COST TO THE OWNER.
- 9.2 ALL PAVING WILL HAVE A TWO YEAR WARRANTY.

PART 10 - AS BUILT PLAN AND DOCUMENTATION

- 10.1 UPON COMPLETION OF PROJECT, CONTRACTOR SHALL PROVIDE "AS-BUILT SITE PLAN" VERIFYING FINAL LOCATION OF IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, PIPING, PLUMBING AND ELECTRICAL.
- 10.2 CONTRACTOR SHALL KEEP PHOTOGRAPHIC JOURNAL OF ALL PHASES OF THE COMPLETE INSTALLATION. PHOTOGRAPHS ARE TO BE PROPERLY DATED, IDENTIFIED AND FORWARDED TO LOCAL 7-ELEVEN, INC. CONSTRUCTION OFFICE, WITH FINAL INVOICE PACKAGE.

SECTION II INSPECTIONS / TESTING

TEST BEFORE PLACING THE SYSTEM IN SERVICE			
COMPONENT	MANUFACTURER	INSTALLATION MANUAL	TESTING PROCEDURE
DOUBLE-WALLED STORAGE TANK	XERXES "A ZCL COMPANY"	http://www.zcl.com/assets/documents/library/Installation%20manual%20and%20operating%20guidelines%20(mog)%20for%20xerxes%20tanks.pdf	Table below lists current Manufacturer's Installation and Testing Guidelines that may be applied to the fuel system components after assembly but before backfilling. Before the beginning of fuel system installation, fuel contractor is to be responsible for reading through the entire Installation Manual and Operating Guidelines as well as any applicable supplemental materials. It is the responsibility of the fuel contractor and fuel operator to understand and follow all requirements contained in the installation and testing manuals. Work must be performed according to standard industry practices applicable to tank installations and operations. Work must also comply with all applicable codes, regulations and standards of appropriate governmental agencies.
DOUBLE-WALLED PIPING	NOV	http://www.nov.com/Segments/Completion_and_Production_Solutions/Fiber_Glass_Systems/Fuel_Handling/Red_Thread_IA.aspx	
LEAK DETECTION SENSOR	VEEDER ROOT	http://www.gilbarco.com/gold/gold_public_access.cfm?section_id=361	
AUTOMATIC TANK GUAGES	VEEDER ROOT	https://www.veeder.com/us/sites/veeder.com.us/files/2020-09/577014-073%20TLS-450PLUS%20Console%20Site%20Prep%20and%20Installation%20Manual.pdf	
OVERFILL PREVENTION DEVICES	OPW	https://www.veeder.com/us/automatic-tank-gauging-products/tis-450plus-automatic-tank-gauge	
SPILL-CONTAINMENT MANHOLES	OPW	http://www.opwglobal.com/docs/libraries/manuals/retail-fuel-ng/below-ground/opw-fcs-manuals/71so-testable-(h15524pa)-1-30-14.pdf?sfvrsn=4	
IMPACT VALVES	OPW	http://www.opwglobal.com/docs/libraries/manuals/retail-fuel-ng/below-ground/opw-fcs-manuals/10_Series_Emergency_Sheer_Valve_Installation_Instructions_-_English_H11374PA.pdf?status=Master&sfvrsn=0	
MECHANICAL LINE LEAK DETECTORS	VAPORLESS MANUFACTURING	http://www.vaporless.com/installation/installpdf/install_id2000.pdf	
ELECTRONIC LINE LEAK DETECTORS	VEEDER ROOT	http://www.veeder.com/gold/download.cfm?doc_id=6414	
FLEXIBLE CONNECTORS	FRANKLIN FUELING	http://www.franklinfueling.com/media/468560/407293001-1-flex-connector-install.pdf	

PART 1 - GENERAL

- 1.1 SCOPE: THIS SECTION COVERS THE FURNISHING OF ALL LABOR, SERVICES AND EQUIPMENT AS REQUIRED TO PROVIDE INSPECTION SERVICES OF THE FUELING INSTALLATION.

PART 2 - INSPECTIONS

- 2.1 INSPECTOR: 7-ELEVEN, INC. LOCAL CONSTRUCTION DEPARTMENT AND/OR APPOINTED REPRESENTATIVE SHOULD BE NOTIFIED TO OBSERVE TIGHTNESS TESTING OF PRODUCT PIPING, STAGE I & STAGE II PIPING PRIOR TO BACKFILL.
- 2.2 NOTIFICATION: CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING 7-ELEVEN'S CONSTRUCTION DEPARTMENT 48 HOURS PRIOR TO REQUESTED INSPECTION
- 2.3 SPILLAGE: SHOULD SPILLAGE OF PRODUCT OCCUR AT ANY PHASE OF INSTALLATION OR TESTING, LOCAL 7-ELEVEN CONSTRUCTION DEPARTMENT AND ENVIRONMENTAL DEPARTMENT ARE TO BE NOTIFIED IMMEDIATELY, ESTIMATED LOSS OF PRODUCT AS WELL AS ACTION TO BE TAKEN BY CONTRACTOR TO SAFEGUARD THE EVENT FROM FURTHER MISHAP AND TO PROTECT THE GENERAL PUBLIC IS TO BE NOTED AND RECORDED.
- 2.4 REPRESENTATIVE OF CONTRACTOR AND FUEL CONTRACTOR SHALL BE AVAILABLE ON SITE DURING TESTING PROGRAMS. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL RESULT IN ANY CORRECTIONS AND/OR REPAIRS REQUIRED BEING PERFORMED BY OWNER AS REQUIRED. COST OF SAID REPAIRS AND/OR CONNECTIONS SHALL BE DEDUCTED FROM CONTRACT AMOUNT AS REQUIRED TO SATISFY THE SITUATION.
- 2.5 PROHIBITED WORK: CONTRACTOR SHALL SCHEDULE WORK SUCH THAT NO HEAVY EQUIPMENT IS OPERATING ON SITE DURING INSPECTION PROGRAMS. NO WELDING OR OPEN FLAMES SHALL BE ALLOWED ON SITE AT ANY TIME DURING TEST PROCEDURES.
- 2.6 INSTALLATION REPORTS: SHOULD 7-ELEVEN OR THEIR APPOINTED REPRESENTATIVES BE UNABLE TO BE PRESENT AT SITE FOR PURPOSES OF FILING ANY INSPECTION REPORTS, CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSPECTION AND FILING OF REPORT WITH LOCAL 7-ELEVEN, INC. CONSTRUCTION OFFICE. WRITTEN REPORT SHALL INCLUDE PHOTOGRAPHIC DOCUMENTATION OF ALL PROCEDURES.
- 2.7 TEST FAILURE: SHOULD SYSTEM FAIL ANY PORTION OF TEST PROGRAM, CONTRACTOR SHALL IMMEDIATELY INSTIGATE PROCEDURES AS REQUIRED TO BRING SYSTEM INTO COMPLIANCE SHOULD FAILURE OF TEST DUE TO FACILITY WORK REQUIRE EXPENDITURE OF ADDITIONAL MONIES FOR RESCHEDULING AND/OR RETESTING OF SYSTEM, CONTRACTOR SHALL BE HELD RESPONSIBLE FOR COMPENSATION ACCORDINGLY.
- 2.8 CLEANUP: IN THE EVENT PRODUCT SPILLAGE SHOULD OCCUR DURING CONSTRUCTION OR DURING WARRANTY PERIOD DUE TO WORK PERFORMED BY CONTRACTOR, CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AS MAY BE REQUIRED.
- 2.9 TEST REPORT: UPON COMPLETION OF TESTING PROGRAMS, REPRESENTATIVE OF TESTING/INSPECTION COMPANY SHALL BE RESPONSIBLE FOR FILING COPIES OF TANK AND PIPING TEST/INSPECTION REPORTS WITH LOCAL 7-ELEVEN, INC. CONSTRUCTION OFFICE OR THE OWNER'S ASSIGNED SITE MANAGER WITH COPY TO JOB SITE.

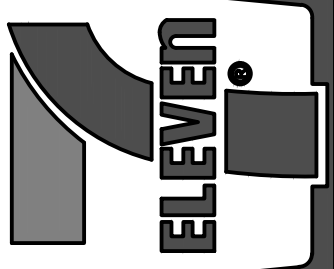
Description

Date

Rev. #

Proto 2022-04

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
WAPPINGERS FALLS, NY 12590
FUELING SPECIFICATIONS



CORE STATES GROUP
CONCRETE AND ENGINEERING P.C.
ARCHITECTURE AND ENGINEERING
CERTIFICATE OF AUTHORIZATION
NO. 000079
46 East Main Street
Suite 200
Suffolk, VA 23063
908.462.9700
core-states.com

Job#: SPW-36100-SEI
Scale: AS NOTED
Date: 02/14/23
Drawn By: RMC
Checked By: CGC

Documents prepared by Core States Group are for use only for the specific project and specific use for which they are intended. Any extension of use beyond the original intent of any other party, without the expressed, written consent of Core States Group is done at the user's risk. Core States Group will hold no liability for any way other than that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.



SHEET:
G13.0
FUELING - USA

PERFORMANCE SPECIFICATION - CONT.

SECTION II INSPECTIONS / TESTING - CONTINUED

PART 3 - TANK INSTALLATION INSPECTION

- 3.1 SCHEDULE: CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING SCHEDULE SO TANKS ARE TESTED AND SET IN TANK HOLE SAME DAY OF DELIVERY.
- 3.2 EXCAVATION: ALL EXCAVATIONS SHALL BE COMPLETED WITH BEDDING MATERIAL IN PLACE AND READY FOR INSTALLATION PRIOR TO TANK DELIVERY.
- 3.3 ANCHORING: CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION OF CONCRETE ANCHORS (DEAD MAN).
- 3.4 STRAPS: HOLD DOWN STRAPS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS - MINIMUM OF 4 - MORE IF REQUIRED BY MANUFACTURER (STRAPS SHALL BE SHIPPED WITH APPROPRIATE PADDING MATERIAL).
- 3.5 AIR TEST: TANKS SHALL BE AIR TESTED AS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO PLACEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS TO PROVIDE COMPLETE AIR TEST INCLUDING, BUT NOT LIMITED TO, AIR COMPRESSOR OF SUFFICIENT SIZE AND CAPACITY, SPECIFIED SOAP MATERIAL AND ACCEPTABLE SOAP APPLICATION EQUIPMENT.
- 3.6 MINIMUM TESTING: DOUBLE WALL FIBERGLASS TANKS SHOULD ARRIVE AT THE JOB SITE WITH A MINIMUM OF 4" HG ON THE INTERSTICE. OBSERVE THE VACUUM HOLD TEST FOR AT LEAST ONE (1) HOUR PRIOR TO SETTING THE TANKS. SHOULD THE INTERSTICE NOT HOLD A MINIMUM 4" HG VACUUM, THEN CONTACT THE TANK MANUFACTURER IMMEDIATELY.
- 3.7 OBSERVATION: 7-ELEVEN'S CONSTRUCTION DEPARTMENT AND/OR REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSPECTION OF AIR OR VACUUM TEST, OBSERVATION OF LIFTING, SETTING AND BURIAL OF TANKS.
- 3.8 TANK INSPECTION REPORT: WRITTEN REPORT SHALL INCLUDE PHOTOGRAPHIC DOCUMENTATION OF ALL PROCEDURES.

PART 4 - TANK AND LINE TESTING

- 4.1 CONTRACTOR SHALL COMPLETE AND BE RESPONSIBLE FOR THE FOLLOWING PRIOR TO FINAL PLACEMENT OF CONCRETE AND FINAL SYSTEM TEST:
 - 4.1.1 PIPING: ALL PIPING SHALL BE COMPLETED EXCEPT INSTALLATION OF OVERFILL PROTECTION. OVERFILL PROTECTION SHALL BE INSTALLED UPON COMPLETION OF TEST.
 - 4.1.2 VENTS: VENT LINES SHALL BE COMPLETED UNDERGROUND AND STUBBED UP MINIMUM OF 12' ABOVE FINISHED GRADE.
 - 4.1.3 PRODUCT LINES: ALL PRODUCT LINES SHALL BE COMPLETE WITH EMERGENCY SHUTOFF IMPACT VALVE INSTALLED AT DISPENSER BOX WITH MECHANICAL LEAK DETECTOR IN PLACE.
 - 4.1.4 PUMPS: SUBMERSIBLE PUMPS AND LINES SHALL BE COMPLETELY INSTALLED.
 - 4.1.6 SITE PREPARATION: CONTRACTOR SHALL PREPARE TANK AREA FOR WATER OR PRODUCT DELIVERY AND TANK TESTING PROCEDURES.
 - 4.1.7 FILL: CONTRACTOR SHALL PROVIDE 42" MINIMUM BACK FILL OVER TANKS.
 - 4.1.8 WATER: SHOULD WATER BE PRESENT IN TANK HOLE, CONTRACTOR SHALL VERIFY AND NOTIFY 7-ELEVEN CONSTRUCTION MANAGER OF STATUS.
- 4.2 AFTER PLACEMENT OF CONCRETE, A COMPLETE SYSTEM TIGHTNESS TEST INCLUDING TANKS, PRODUCT LINES, STAGE II VAPOR RECOVERY LINES, SECONDARY CONTAINMENT PIPING AND VENT LINES SHALL BE PERFORMED. TESTING SYSTEM SHALL BE AS APPROVED BY 7-ELEVEN. 7-ELEVEN WILL BE BILLED DIRECTLY FOR TESTS. CONTRACTOR TO COORDINATE & SCHEDULE. RE-TEST OR STAND AROUND TIME BY THE TESTING COMPANY TO BE BILLED TO CONTRACTOR. DETAILS FOR THIRD PARTY TESTING REQUIREMENTS LISTED ON G17.0 SHEETS.
 - 4.2.1 AFTER ALL UNDERGROUND PIPING AND ELECTRIC CONDUITS ARE INSTALLED AND DURING EXCAVATION BACKFILLING AND CONCRETE POURING, A CONTINUOUS HYDROSTATIC TEST SHALL BE PERFORMED ON ALL SUMPS & SPILL BUCKETS TO ENSURE TIGHTNESS AND PROPER INSTALLATION.
- 4.3 PRODUCT DELIVERY: CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION TO 7-ELEVEN REPRESENTATIVE OF TEST DATE AND VERIFICATION OF NEED FOR TANKS TO BE FILLED WITH PRODUCT AND TANK MONITORING SYSTEM TO BE OPERATIONAL FOR TESTING PROCEDURES. A MINIMUM OF 72 HOURS ADVANCE NOTIFICATION WILL BE REQUIRED FOR PRODUCT DELIVERY. CHECK WITH LOCAL REGULATORY AGENCIES FOR ANY FURTHER REQUIREMENTS.
- 4.4 CONTRACTOR SHALL HAVE REPRESENTATIVES ON SITE TO ACCEPT AND RECORD ALL PRODUCT DELIVERIES. CONTRACTOR'S REPRESENTATIVE SHALL REMIND DELIVERY COMPANY THAT NO OVERFILL PROTECTION IS INSTALLED AND TO FOLLOW PROCEDURES FOR DELIVERY AS SITUATION DICTATES.
- 4.5 PRODUCT REMOVAL: ANY REMAINING PRODUCT IN VENT LINES UPON COMPLETION OF TEST SHALL BE REMOVED BY TESTING COMPANY.

PART 5 - STARTUP INSPECTION

- 5.1 SCHEDULING: CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL SCHEDULING STARTUP AND CHECK-OUT. CONTRACTOR SHALL NOTIFY LOCAL CONSTRUCTION DEPARTMENT AND APPLICABLE MAINTENANCE DEPARTMENT OFFICE A MINIMUM OF 48 HOURS PRIOR TO INTENDED FINAL STARTUP AND CHECK-OUT DATE AND TIME.
- 5.2 PERSONNEL: CONTRACTOR, FUEL SUBCONTRACTOR AND ELECTRICAL SUBCONTRACTOR SHALL BE AVAILABLE ON-SITE DURING STARTUP, AS APPROVED BY 7-ELEVEN, INC. ALL STARTUPS ARE TO BE DONE BY AN AUTHORIZED MANUFACTURER'S CONTRACTOR FOR THAT PIECE OF EQUIPMENT.
- 5.3 STARTUP: PHYSICAL STARTUP AND CHECK-OUT OF SYSTEMS AND EQUIPMENT SHALL BE DONE BY AND AT THE DIRECTION OF 7-ELEVEN REPRESENTATIVE ONLY. CONTRACTOR SHALL NOT START OR ACTIVATE ANY EQUIPMENT WITHOUT THE SPECIFIC DIRECTIVE OF 7-ELEVEN REPRESENTATIVE. DAMAGE TO ANY 7-ELEVEN EQUIPMENT DUE TO IMPROPER INSTALLATION AND/OR UNAUTHORIZED STARTUP WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 5.4 SITE COMPLETION: ALL SITE WORK, INCLUDING CONCRETE/ASPHALT PAVEMENTS, SHALL BE COMPLETE. ALL UTILITIES SHALL BE CONNECTED AND OPERATIONAL. ALL LANDSCAPING, INCLUDING SPRINKLER SYSTEMS, SHALL BE COMPLETE.
- 5.5 VERIFICATION: PRIOR TO SCHEDULING OF STARTUP, CONTRACTOR SHALL OBSERVE AND VERIFY CORRECTNESS AND COMPLIANCE TO 7-ELEVEN'S DRAWINGS AND SPECIFICATIONS FOR THE FOLLOWING, BUT THESE SHALL NOT COMPRISE THE TOTAL LIMIT OF THE CONTRACTOR'S VERIFICATION:
 - 5.5.1 MANHOLES SHALL BE PROPERLY CENTER/INSTALLED AT OVERFILLS, SUBMERSIBLES, VAPOR RECOVERY, AUTO GAUGING, OBSERVATION WELLS AND SUMP/RISER.
 - 5.5.2 PROPER HEIGHT OF GRAVEL BACK FILL AROUND SUMP/RISERS.
 - 5.5.3 TANK I.D. MARKERS INSTALLED IN CONCRETE AT PROPER LOCATIONS.

SECTION II INSPECTIONS / TESTING - CONTINUED

PART 5 - STARTUP INSPECTION - CONTINUED

- 5.5.4 ALL BRASS GOODS AND FITTINGS PROPERLY INSTALLED, TIGHT AND SECURE.
- 5.5.5 LEAK DETECTORS INSTALLED.
- 5.5.6 PROTECTED FLEX CONNECTORS ARE PROPERLY INSTALLED WITHOUT TWIST IN INSTALLATION.
- 5.5.7 MANHOLE EXTENDERS PROPERLY INSTALLED AND SCREWED IN FRAME OF MANHOLE SUMP/RISERS, PROPERLY SET AND SEALED TO TANK MAN WAY OR FITTINGS AND CLEANED OUT FREE OF DEBRIS AND CONCRETE.
- 5.5.8 TANKS CLEAN AND FREE OF WATER. PRIOR TO PRODUCT FILL, TANKS ARE TO BE CHECKED FOR ANY DEBRIS AND WATER. ANY EVIDENCE OF BOTH, TANKS ARE TO BE CLEANED AND WATER REMOVED.
- 5.5.9 ISLAND FORM INNER BOXES PROPERLY CLEANED OUT FREE OF DEBRIS AND CONCRETE.
- 5.5.10 DISPENSERS PROPERLY SET AND SECURED TO ISLAND BOX FRAME AND DISPENSER SUMPS PROPERLY CLEANED OUT FREE OF DEBRIS AND CONCRETE.
- 5.5.11 SHEAR VALVES SECURED TO FRAME WITH PROPER HARDWARE.
- 5.5.12 PHASE II VAPOR RECOVERY LINES STUBBED UP AND SECURED IN PROPER LOCATION.
- 5.5.13 ELECTRICAL CONDUITS SECURED WITH ALL CONNECTIONS COMPLETED. VERIFY COMPLIANCE WITH REQUIREMENTS FOR ISOLATED GROUND WIRING TO JUNCTION BOX CASING.
- 5.5.14 DISPENSER CANOPIES INSTALLED AND LIFTING LUGS REMOVED WITH PROPER PLUGS INSERTED.
- 5.5.15 ALL NOZZLES AND SWIVELS AVAILABLE ON-SITE, INSTALLED PRIOR ONLY IF REQUIRED BY GOVERNING AUTHORITIES FOR INSPECTION PURPOSES.
- 5.5.16 ALL INSPECTIONS BY GOVERNING AUTHORITIES COMPLETED AND SIGNED. SIGNED AND COMPLETED PERMIT CARD ON SITE.
- 5.5.17 ELECTRICAL DEVICES INCLUDING LIGHTS, SIGNS AND INTERCOMS PROPERLY INSTALLED, SECURED AND PLUMB.
- 5.5.18 ANY WIRING INSPECTION PORTS IN CANOPY COLUMNS COVERED WITH ACCEPTABLE PLATES.
- 5.5.19 VENT LINES PROPERLY SECURED, PROTECTED AND INSTALLED AT PROPER HEIGHT.
- 5.5.20 VERIFICATION OF COMPLIANCE FOR TANK AND LINE TEST AVAILABLE ON SITE.
- 5.5.21 ALL MANHOLES FREE OF CONCRETE AND DEBRIS.
- 5.5.22 MANHOLE COVERS PROPERLY PAINTED.
- 5.5.23 ALL PAINTING COMPLETE INCLUDING CANOPY, DOWN SPOUTS, METALS AND MISCELLANEOUS METALS.
- 5.5.24 CONCRETE AT ISLANDS AND TANK PAD TRUE, PROPERLY SLOPED AND FINISHED WITH ACCEPTABLE RISE TO MANHOLES.
- 5.5.25 ELECTRICAL PANELS PROPERLY COMPLETED TO INCLUDE:
 - (A) ONE BREAKER FOR EACH SUBMERSIBLE PUMP, DISPENSER, CONSOLE AUTO GAUGING, DISPENSER LIGHTS (ALL) AND CANOPY LIGHTS (ALL).
 - (B) GAS PANEL CONTROLLED BY A MAIN BREAKER.
 - (C) CONTROL BOXES AND DISTRIBUTION BOXES INSTALLED AND WIRED.
 - (D) INTERCOM INSTALLATION COMPLETE AND PROPERLY WORKING.
 - (E) ALL APPLICABLE CONSOLE INSTALLATION COMPLETE AND FUNCTIONAL.
 - (F) ALL WIRING PROPERLY IDENTIFIED WITH COLOR CODED WIRING.
 - (G) CONDUITS PROPERLY IDENTIFIED. (H) ALL BREAKERS IN "OFF" POSITION.
- 5.6 NOTIFICATION: CONTRACTOR SHALL VERIFY ITEMS AS INDICATED ABOVE PRIOR TO SCHEDULING OF STARTUP MONIES AND/OR TIME LOST AT STARTUP DUE TO NON-COMPLIANCE SHALL BE CHARGED TO CONTRACTOR ACCORDINGLY.
- 5.7 EQUIPMENT SHALL BE TESTED PER SPECIFICATIONS ON SHEET G17.0.
- 5.8 CLEANUP: CLEAN UP ALL DEBRIS CAUSED BY WORK OF THIS SECTION, KEEPING PREMISES CLEAN AND NEAT AT ALL TIMES.

SECTION III EARTHWORK

PART 1 - GENERAL

- 1.1 SCOPE: THIS SECTION COVERS THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED IN CONJUNCTION WITH OR PROPERLY INCIDENTAL TO EARTHWORK.

PART 2 - PRODUCTS

- 2.1 FILL MATERIAL: SHALL BE MATERIAL IN COMPLIANCE WITH TANK AND PIPING MANUFACTURER'S SPECIFICATIONS.
 - 2.1.1 PEA GRAVEL: SHALL BE CLEAN, NATURALLY ROUNDED AGGREGATE WITH A MIX OF PARTICLE SIZE NOT LESS THAN 1/8" OR MORE THAN 3/4".
 - 2.1.2 STONE OR GRAVEL CRUSHING: SHALL BE WASHED MATERIAL WITH ANGULAR PARTICLE SIZE NOT LESS THAN 1/8" OR MORE THAN 1/2".
 - 2.1.3 BACKFILL OR OTHER MATERIAL MUST BE APPROVED BY TANK MANUFACTURER.
- NOTE: MATERIALS MUST MEET ASTM C-33 PARAGRAPH 7.1 FOR QUALITY AND SOUNDNESS. FILL MATERIAL SHALL NOT HAVE MORE THAN 3% PASSING A #8 SIEVE. DRY GRAVEL DENSITY MUST BE A MINIMUM OF 95 POUNDS PER CUBIC FOOT.

SECTION III EARTH WORK - CONTINUED

PART 3 - EXECUTION

- 3.1 PROTECTIONS: PROVIDE ADEQUATE SHORING, BRACING, PILING AND CRIBBING. COMPLY WITH ALL OSHA AND LOCAL REGULATIONS AS IT PERTAINS TO SAFETY.
- 3.2 LAYOUT: CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT AS PRESENTED IN PERMITTED PLANS AND SPECIFICATIONS.
- 3.3 EXCAVATION: EXCAVATE TO LINES, ELEVATIONS AND LIMITS REQUIRED BY THE DRAWINGS, PLUS SUFFICIENT DISTANCE AND SPACE TO PERMIT INSTALLATION OF TANKS. EXCAVATE AS REQUIRED, REGARDLESS OF TYPE, CONDITION OR MOISTURE CONTENT OF THE MATERIAL ENCOUNTERED. HAUL EXCESS MATERIAL OFF THE SITE AND DISPOSE OF SAME. DIMENSIONS OF TANK EXCAVATION SHALL BE MINIMAL AS ESTABLISHED BY 7-ELEVEN DRAWINGS UNLESS TANK MANUFACTURER REQUIREMENTS ARE GREATER. IF EXCAVATION MATERIAL IS FROM AN EXISTING GASOLINE FACILITY ALL MATERIALS MUST BE TESTED PRIOR TO REMOVAL.
- 3.4 SAW CUTTING: IF PAVING MUST BE REMOVED, THE PERIMETER OF THE TANK EXCAVATION AND ALL TRENCHES SHALL BE CUT WITH A CONCRETE SAW. NOTE: PAVING TO BE CUT 2' BEYOND EDGES OF EXCAVATIONS IN ALL DIRECTIONS IN ORDER TO GIVE PROPER SUPPORT TO NEW SLAB TO AVOID SETTLING.
- 3.5 HAZARDOUS MATERIAL: SHOULD ROCK, WATER OR OTHER HAZARDOUS MATERIALS NOT SHOWN ON SOILS TEST BE ENCOUNTERED, LOCAL CONSTRUCTION OFFICE SITE MANAGER SHALL BE IMMEDIATELY CONTACTED FOR APPROVAL TO PROCEED.
- 3.6 PROTECTION: CONTRACTOR SHALL PROVIDE SUFFICIENT PROTECTION WITH EARTHEN BERMS AT ALL TIMES TO PROTECT TANK EXCAVATION AND TRENCHES FROM DRAINAGE OF SURFACE WATERS. EXCAVATIONS SHALL BE PROPERLY MARKED, PROTECTED AND BARRICADED FOR SAFETY UNTIL BACK FILL IS COMPLETE AND SURFACING FINISHED.
- 3.7 SHORING: CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING REQUIREMENTS FOR SHORING AND PROVIDING SHORING. SHOULD SITE AND/OR SOIL CONDITIONS WARRANT SHORING. REFERENCE SOIL REPORT FOR CONDITIONS WARRANTING SPECIAL REQUIREMENTS.
- 3.8 FILLING AND BACK FILLING: PLACE APPROVED FILL MATERIAL IN STRICT ACCORDANCE WITH TANK AND PIPING MANUFACTURER'S SPECIFICATIONS. PROVIDE A 12" BED OF APPROVED BACK FILL OVER BOTTOM OF EXCAVATION PRIOR TO TANK PLACEMENT. BACK FILL SHALL BE PLACED AND COMPACTED IN MAXIMUM 12" LIFTS.
- 3.9 CLEANUP: CLEAN UP ALL DEBRIS CAUSED BY WORK OF THIS SECTION, KEEPING PREMISES CLEAN AND NEAT AT ALL TIMES.

SECTION IV TANK INSTALLATION

PART 1 - GENERAL

- 1.1 SCOPE: THIS SECTION COVERS THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND RELATED APPLIANCES REQUIRED IN CONJUNCTION WITH OR PROPERLY INCIDENTAL TO THE INSTALLATION OF FUEL STORAGE TANKS.

PART 2 - PRODUCTS

- 2.1 TANKS: SHALL BE DESIGNED AND MANUFACTURED SO AS TO BE CORROSION PROTECTED PER EPA REQUIREMENTS. APPROVED TANKS SHALL BE:
 - 2.1.1 DOUBLE WALL FIBERGLASS TANKS
- 2.2 HOLD DOWN STRAPS: SHALL BE SUPPLIED BY TANK MANUFACTURER ONLY. FIELD FABRICATED UNITS ARE NOT ACCEPTABLE.

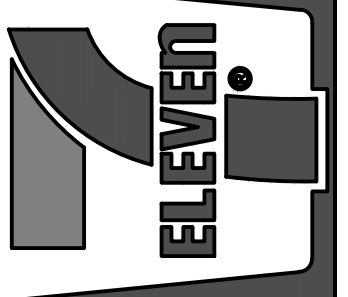
PART 3 - INSTALLATION

- 3.1 MANUFACTURING: REFER TO TANK MANUFACTURER'S CRITERIA AND SPECIFICATIONS FOR TANK INSTALLATION AND ADHERE TO AS REQUIRED.
- 3.2 CLEARANCES: MINIMUM CLEARANCE FOR TANKS SHALL BE AS FOLLOWS: SHOULD REQUIREMENTS OF TANK MANUFACTURER OR SOIL CONDITIONS DICTATE GREATER CLEARANCE, ADHERE TO ACCORDINGLY.
 - 3.2.1 BOTTOM: PROVIDE MINIMUM OF 12" BEDDING MATERIAL BETWEEN BOTTOM OF EXCAVATION OR PAD AND BOTTOM OF TANK.
 - 3.2.2 SIDES: PROVIDE MINIMUM OF 20" BETWEEN TANKS AND 3' FROM SIDE/END OF TANK TO WALL OF EXCAVATION.
 - 3.2.3 TOP: PROVIDE 42" FILL MATERIAL OVER TANK PLUS 8" OF CONCRETE
- 3.3 TESTING: PRIOR TO INSTALLATION OF TANKS, TESTING PER MANUFACTURER'S INSTRUCTIONS SHALL BE PERFORMED ON TANK(S). ON DUAL WALL TANKS, CONSULT TANK MANUFACTURER FOR TESTING CRITERIA.
- 3.4 PLACEMENT:
 - 3.4.1 REFER TO SITE PLAN FOR TANK PLACEMENT AND PRODUCT ROTATION.
 - 3.4.2 PRIOR TO SETTING OF TANKS, REMOVE ALL FOREIGN DEBRIS, ROCKS, CLOUDS, GARBAGE, ETC. FROM EXCAVATION.
 - 3.4.3 PLACE TANKS ONLY ON APPROVED FILL. DO NOT SET ON CONCRETE OR WOOD.
 - 3.4.4 NOT USED.
 - 3.4.5 TANKS SHALL BE BURIED TO MINIMUM DEPTH AS PER ABOVE AND AS SHOWN ON FUELING DRAWINGS. TANKS MAY REQUIRE GREATER BURIAL DEPTH IF INSTALLED IN REMOTE POSITION TO ALLOW FOR PROPER SLOPE ON VENT LINES, VAPOR LINES. SECONDARY CONTAINMENT PRODUCT LINES. VERIFY DEPTH AS REQUIRED. (IF BURIAL DEPTH EXCEEDS 5'-0" (60"), NOTIFY 7-ELEVEN MANAGER)

PRINT DATE: Sep 19, 2023 - 11:03am

PRINTED BY: CGARR
DRAWING NAME: 46895 - G14.0 FUELING SPECIFICATIONS.DWG

Description	
Date	
Rev. #	
Proto 2022-04	
7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING TEXAS 75063 7-ELEVEN #46895 - SPEEDWAY #7645 1542 ROUTE 9 WAPPINGERS FALLS, NY 12590 FUELING SPECIFICATIONS	



CORE STATES GROUP
CONCRETE ARCHITECTURE AND ENGINEERING P.C.
CERTIFICATE OF AUTHORIZATION
NO. 092855

46 East Main Street
P.O. Box 90
Saugerties, NY 12886
908.462.9700
core-states.com

Job#: SPW-36100-SEI	Scale: AS NOTED	Date: 02/14/23	Drawn By: RMC	Checked By: CGC
---------------------	-----------------	----------------	---------------	-----------------

Documents prepared by Core States Group are for use only for the specific project and intended. Any extension of use or reuse of these documents by any other party, without the expressed, written consent of Core States Group is prohibited. Core States Group will hold no liability for any other party that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.



SHEET:
G14.0
FUELING - USA

PERFORMANCE SPECIFICATION - CONT.

SECTION IV TANK INSTALLATION - CONTINUED

PART 3 - INSTALLATION - CONTINUED

- 3.5 PLUGS: ALL UNUSED PLUGS SHALL BE REMOVED. APPLY COMPATIBLE NON-HARDENING PIPE SEALANT TO INTERNAL BUSHING THREADS. PERMANENT METAL PLUGS SHALL BE INSTALLED AT ALL UNUSED OPENINGS.
- 3.6 THE PLUGS IN TANK OPENINGS WHICH ARE TO BE USED SHALL NOT BE OVER TIGHTENED AS THIS MAY CAUSE THE BUSHING TO UNSCREW WITH THE PLUG. CARE SHALL BE TAKEN NOT TO CROSS THREAD OR DAMAGE THE NON-METALLIC BUSHINGS WHEN REPLACING PLUGS OR INSTALLING REQUIRED TANK PIPING.
- 3.7 WET HOLE INSTALLATION: SHOULD GROUND WATER BE PRESENT IN TANK EXCAVATIONS, 7-ELEVEN'S LOCAL CONSTRUCTION ENGINEER MUST BE NOTIFIED.
- 3.7.1 WELL POINT: WATER SHALL BE KEPT AT LOWEST POSSIBLE POINT BY WELL POINT SYSTEM(S) AND PROPERLY SIZED PUMP(S).
- 3.7.2 ANCHOR STRAPS: DEAD MAN AS PER TANK MANUFACTURER'S INSTALLATION INSTRUCTIONS. PLACE 6" FROM OUTSIDE VERTICAL LINE OF TANK(S) AS DENOTED ON DRAWINGS.
- 3.7.3 TIE DOWNS: SUPPLIED BY TANK MANUFACTURER.
- 3.7.4 TAKE-UP FIXTURE & TURNBUCKLE: TO REMOVE CABLE SLACK, UTILIZE THE TAKE-UP FIXTURE FOR 8" DIA. TANK: MIN SIZE 26" MAX SIZE 43". WEIGHT 16 LB.
- 3.7.5 STRAP PLACEMENT: AS PER TANK MANUFACTURER'S SPECIFICATIONS.
- 3.7.6 COATING: COVER ALL NON-GALVANIZED HARDWARE WITH TWO (2) COATS OF ASPHALT IMPREGNATED WITH WATERPROOFING PRIOR TO PLACEMENT OF BACKFILL.
- 3.8 LIFTING: TANKS SHALL BE LIFTED ONLY AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS, UTILIZING LIFTING LUGS PROVIDED ON TANKS. TANKS SHALL NOT BE ROLLED, DROPPED OR WRAPPED WITH CHAINS. EQUIPMENT OF SUFFICIENT SIZE, DESIGN AND LIFT CAPACITY SHALL BE UTILIZED FOR SETTING OF TANKS. SHOULD TANKS BE BUMPED, DENTED, DROPPED OR MISHANDLED IN ANY WAY, INSTALLATION SHALL BE HALTED AND TANK MANUFACTURER'S REPRESENTATIVE IMMEDIATELY CONTACTED FOR RE-CERTIFICATION OF TANKS. CONTACT LOCAL CONSTRUCTION OFFICE OR SITE MANAGER IMMEDIATELY UPON NOTICE OF QUESTIONABLE HANDLING OF TANKS OR NOTABLE DAMAGE THERETO.
- 3.9 BACK FILL PLACEMENT: ONCE TANKS ARE PROPERLY SET IN PLACE, CAREFULLY BACK FILL ENTIRE EXCAVATION, HAND SHOVELING AND TAMPING ALONG BOTTOM OF TANK(S) SO THEY ARE EVENLY SUPPORTED AROUND BOTTOM. SPECIAL ATTENTION SHALL BE PAID TO BOTTOM QUARTER POINTS ELIMINATING ANY VOIDS IN FILL AT THESE POINTS. DO NOT DROP BACK FILL FROM HIGH DISTANCE ONTO TANKS. TAMP AS REQUIRED TO ACHIEVE ACCEPTABLE DENSITY. BACKFILL PLACEMENT PER MANUFACTURER INSTALLATION SPECIFICATIONS.
- 3.10 BALLASTING: IF GROUND WATER IS PRESENT, TANKS SHALL BE FILLED WITH BALLAST (WATER) TO AVOID SHIFTING MOVEMENT. COST OF WATER AND REMOVAL SHALL BE CONTRACTOR COST. DO NOT INSTALL SUBMERGIBLE PUMPS IN TANKS FILLED WITH WATER. DO NOT BALLAST TANKS ABOVE LEVEL OF BACKFILL.
- 3.11 PROTECTION: CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE PROTECTION FOR TANK EXCAVATION FROM SURFACE WATERS WITH DAMS, BERMS, OR OTHER MEANS PENDING COMPLETION OF INSTALLATION. EXCAVATION SHALL BE MARKED AT ALL TIMES WITH LIGHTED BARRICADES UNTIL INSTALLATION IS COMPLETE. WATER SHALL NOT BE ALLOWED TO ACCUMULATE IN EXCAVATION. DE-WATER AS REQUIRED TO MAINTAIN EXCAVATION AS DRY AS POSSIBLE.

SECTION V CONCRETE

PART 1 - GENERAL

- 1.1 SCOPE: THIS SECTION COVERS THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED IN CONJUNCTION WITH OR PROPERLY INCIDENTAL TO CONCRETE.

PART 2 - PRODUCTS

- 2.1 MATERIALS:
- 2.1.1 AIR ENTRAINING AGENT: ASTM C 260-60-T. "PROTEX" MANUFACTURED BY PROTEX INDUSTRIES OR APPROVED EQUAL.
- 2.1.2 PORTLAND CEMENT: CONFORM TO ASTM C-150 TYPE I; TYPE II WHERE WATER SOLUBLE SULFATES ARE PRESENT.
- 2.1.3 AGGREGATES: CONFORM TO ASTM C-33.
- 2.1.4 WATER: SHALL BE CLEAN AND POTABLE.
- 2.1.5 SAND: CONFORM TO ASTM C-144.
- 2.1.6 STEEL REINFORCING: CONFORM TO ASTM A-615, GRADE 60 (EXCEPT WHERE NOTED OTHER WISE) YIELD STRENGTH 60,000 PSI.
- 2.1.6A SYNTHETIC FIBER: ASTM C 1116/C 116M, TYPE III, POLYPROPYLENE FIBERS, 1/2 TO 3/4 INCHES LONG.
- 2.1.7 NOT USED.
- 2.1.8 FORMS: CLEAN, STRAIGHT LUMBER OF MOISTURE RESISTANT PLYWOOD. KNOT HOLES, DEFORMATIONS, ETC., SHALL NOT BE ALLOWED.
- 2.1.9 EXPANSION JOINT FILLERS: ASPHALT IMPREGNATED FIBERBOARD CONFORMING TO ASTM D-60-T. USE 1/2" THICK OR AS INDICATED ON DRAWINGS. TOP OF JOINT MATERIAL SHALL BE SET 1/2" BELOW TOP SURFACE OF SLAB. FILL VOID WITH GASOLINE RESISTANT SEALER.
- 2.1.10 CALCIUM CHLORIDE: NOT PERMITTED.
- 2.2 CONCRETE PROPORTIONS: CONCRETE SUPPLIER SHALL DESIGN CONCRETE MIX AND SHALL GUARANTEE CONCRETE STRENGTH. ALL CONCRETE, UNLESS NOTED OTHERWISE ON DRAWINGS, OR REQUIRED OTHERWISE BY CODES, SHALL BE DESIGNED FOR 4,000 PSI STRENGTH AT 28 DAYS WITH NOT LESS THAN 5 1/2 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE. NOT MORE THAN 6 1/2 GALLONS OF WATER PER BAG OF CEMENT AND NOT MORE THAN A 4" SLUMP. AIR CONTENTS SHALL RANGE BETWEEN 4% AND 7%.

SECTION V CONCRETE - CONTINUED

PART 3 - EXECUTION

- 3.1 GRADE CONTROL: ESTABLISH AND MAINTAIN LINES AND GRADES FOR CONCRETE ITEMS BY MEANS OF LINE AND GRADE STAKES AND SCREEDS.
- 3.2 FORM WORK: BUILD FORMS TO CONFORM TO SHAPE, LINES AND DIMENSIONS OF CONCRETE MEMBERS. BRACE AND SECURE TO WITHSTAND PLACING OF CONCRETE AND MAINTAIN THEIR SHAPES AND POSITIONS. MAKE FORMS SUFFICIENTLY TIGHT AND SUBSTANTIALLY ASSEMBLED TO PREVENT BULGING OR LEAKAGE. ASSEMBLE FORMS IN SUCH A MANNER TO FACILITATE THEIR REMOVAL WITHOUT DAMAGE TO CONCRETE. FORMS SHALL BE IN OR NEAR NEW CONDITION; CLEAN, SMOOTH AND WITHOUT INDENTATIONS OR BENDS. INSTALL SLEEVES, MANHOLES, CAPS, BOXES AND POSTS IN PROPER LOCATIONS AND HEIGHTS. EXPANSION JOINTS SHALL CONSIST OF FILLER STRIPS INSTALLED WITH TOP AT ELEVATIONS OF FINISHED CONCRETE. NEATLY FINISH EDGES OF EXPOSED CONCRETE ALONG JOINTS WITH A SLIGHTLY ROUNDED EDGING TOOL.
- 3.3 REINFORCEMENT: FURNISH AND INSTALL ALL REINFORCING STEEL INDICATED ON DRAWING METAL REINFORCEMENT AT THE TIME CONCRETE IS PLACED, SHALL BE FREE FROM COATINGS WHICH WILL DESTROY OR REDUCE THE BOND. METAL REINFORCEMENT SHALL BE STORED SO AS TO PREVENT FREEZING FOR A MINIMUM OF 48 HOURS PRIOR TO PLACEMENT ALL REINFORCEMENT SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH STANDARDS OF ACI. METAL REINFORCEMENT SHALL BE ACCURATELY PLACED AND ADEQUATELY SECURED IN POSITION. SPLICES IN ADJACENT BARS SHALL BE LAPPED 36 DIAMETERS AT CORNERS AND SPLICES, AS REQUIRED.
- 3.3.1 SYNTHETIC FIBER: UNIFORMLY DISPERSE IN CONCRETE MIXTURE AT MANUFACTURER'S RECOMMENDED RATE, BUT NOT LESS THAN 1.5 LBS.
- 3.4 MIXING AND TRANSPORTING CONCRETE: CONCRETE SHALL BE READY MIXED AND SHALL MEET REQUIREMENTS OF ASTM C-94 FOR MIXING AND DELIVERY. FURNISH DUPLICATE DELIVERY TICKETS OF EACH TRUCK LOAD TO OWNER'S LOCAL CONSTRUCTION OFFICE WHEN REQUIRED. TICKETS SHALL SPECIFY STRENGTH, SLUMP, AGGREGATE SIZES, AIR ENTRAINMENT (IF ANY) AND BRAND OF CEMENT. NOTE: DO NOT ADD WATER ON SITE TO ADJUST SLUMP.
- 3.5 PLACING CONCRETE:
- 3.5.1 NOTIFICATION: THE CONTRACTOR SHALL NOTIFY THE OWNER'S LOCAL CONSTRUCTION OFFICE AT LEAST 48 HOURS BEFORE PLACING ANY CONCRETE. THE CONTRACTOR SHALL NOTIFY ALL TRADES AFFECTED BY CONCRETE PLACEMENT AT LEAST 24 HOURS BEFORE PLACING ANY CONCRETE IN ORDER THAT TRADES AFFECTED MAY INSTALL REQUIRED BLOCKING, SLEEVED, POCKETS, ETC.
- 3.5.2 PROTECTION: PROTECT ALL WORK OF OTHER TRADES AS REQUIRED.
- 3.5.3 WETTING: THOROUGHLY WET FORMS AND DAMPEN SAND CUSHIONS BEFORE PLACING CONCRETE.
- 3.5.4 PLACING: PLACE ALL CONCRETE IN ACCORDANCE WITH ACI 614. MINIMUM CONCRETE COVER OVER REINFORCEMENT SHALL CONFORM TO ACI 318. USE HANDLING EQUIPMENT AND METHODS TO INSURE A CONTINUOUS FLOW FROM MIXER TO PLACE OF DEPOSIT SPACE. TAMP AND MECHANICALLY VIBRATE FRESHLY PLACED CONCRETE TO COMPACT THOROUGHLY AND ELIMINATE VOIDS. DO NOT ALLOW FREE FALL OF CONCRETE TO EXCEED 5'.
- 3.6 FINISHING CONCRETE:
- 3.6.1 SLABS SHALL BE A TRUE PLANE SURFACE WITH NO DEVIATION IN EXCESS OF 1/4" WHEN TESTED WITH A 10' STRAIGHTEDGE AT 3' INTERVALS IN BOTH DIRECTIONS. SCREED AND FLOAT CONCRETE FOR SLAB WITH STRAIGHT EDGES TO BRING SURFACE TO REQUIRED FINISHED LEVEL. WOOD FLOAT CONCRETE WHILE STILL GREEN TO A TRUE, EVEN SURFACE WITH NO COARSE AGGREGATE VISIBLE. AFTER SURFACE MOISTURE HAS DISAPPEARED, STEEL TROWEL SURFACE TO A SMOOTH, EVEN FINISH. FREE FROM BLEMISHES AND TROWEL MARKS. AFTER TROWELING, BRUSH SURFACE OF CONCRETE WITH BRISTLE BROOM TO RESULT IN A MEDIUM, UNIFORM, NON-SLIP TEXTURED SURFACE. STROKE CROSSWISE TO LENGTH.
- 3.7 CURING: UTMOST CARE SHALL BE TAKEN TO ACHIEVE A UNIFORM, PROTECTIVE CURE FOR ALL SLABS. DO NOT USE CALCIUM CHLORIDE. CURING METHODS SHALL CONFORM TO ACI STANDARD 605-99 AND ACI STANDARD 306-66.
- 3.8 REMOVAL OF FORMS: DO NOT REMOVE FORMS UNTIL CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO SUPPORT ANY SUPERIMPOSED LOADS.
- 3.9 PATCHING: NO PATCHING SHALL OCCUR UNTIL APPROVED BY OWNER.
- 3.10 TEMPERATURE:
- 3.10.1 COLD WEATHER: WHEN MEAN DAILY TEMPERATURE OF THE ATMOSPHERE IS LESS THAN 40 DEGREES FAHRENHEIT, MAINTAIN TEMPERATURE OF CONCRETE BETWEEN 50 AND 70 DEGREES FAHRENHEIT FOR MINIMUM OF 72 HOURS.
- 3.10.2 HOT WEATHER: MAKE ARRANGEMENTS FOR INSTALLATION OF WINDBREAKS, SHADING, FOG SPRAY, SPRINKLING, PONDING OR WET COVERING IN ADVANCE OF PLACEMENT. TAKE SUCH PROTECTIVE MEASURES AS QUICKLY AS CONCRETE HARDENING AND FINISHING OPERATIONS WILL ALLOW.
- 3.11 TESTING: CONCRETE TESTS SHALL BE ORDERED AT THE DISCRETION OF THE OWNER'S CONSTRUCTION MANAGER. THE OWNER SHALL PAY FOR ALL CONCRETE TESTING. COMPACTION TESTS SHALL BE REQUIRED PRIOR TO PLACEMENT OF ANY CONCRETE ON GRADE. CONTRACT OWNER'S ENGINEERING SERVICES FOR COMPACTION TESTING TESTS. TESTS WILL BE PAID FOR BY OWNER.
- 3.12 THICKNESS:
- 3.12.1 SLAB OVER TANKS SHALL BE 8" CONCRETE SLAB WITH SYNTHETIC FIBERS. REFER TO STD-CPC-1 FOR DETAILS.
- 3.12.2 CANOPY SLABS SHALL BE 6" CONCRETE SLAB WITH SYNTHETIC FIBERS. REFER TO STD-CPC-1 FOR DETAILS.
- 3.13 CANOPY FOOTINGS: CANOPY FOOTINGS SHALL BE INSTALLED BY FUEL CONTRACTOR AS PER SHOP DRAWINGS SUPPLIED BY THE CANOPY COMPANY. ALL MATERIALS SHALL BE EQUAL TO OR BETTER THAN SPECIFIED ELSEWHERE IN THIS SECTION.
- 3.14 PROTECTION OF ALL CONCRETE SURFACES: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROTECT ALL CONCRETE SURFACES AGAINST ANY DAMAGE WHATSOEVER, INCLUDING EXCESSIVE LOADING, SHIPPING, CRACKING, STAINING, PAINT SPLATTERS, ETC. THE OWNER EXPECTS EXPOSED CONCRETE SURFACES TO BE CLEAN AND OF UNIFORM COLOR AND TEXTURE AT COMPLETION OF THE PROJECT. REPLACE ANY CONCRETE DAMAGE DURING CONSTRUCTION.
- 3.15 GRADE CONTROL: ESTABLISH AND MAINTAIN LINES AND GRADES FOR CONCRETE ITEMS.

SECTION VI PIPING

PART 1 - GENERAL

- 1.1 SCOPE: THIS SECTION COVERS THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND RELATED APPLIANCES REQUIRED IN CONJUNCTION WITH OR INCIDENTAL TO A COMPLETE PIPING SYSTEM FOR A GASOLINE INSTALLATION.

PART 2 - PRODUCTS

- 2.1 PRODUCT PIPING: PRODUCT PIPING AND FITTINGS SHALL BE DOUBLE WALL RIGID FIBERGLASS PIPING AS SPECIFIED BY 7-ELEVEN. PIPING MUST SLOPE 1/8" PER FOOT MINIMUM FROM DISPENSER ISLAND TO STP SUMP.
- 2.2 VENT PIPING: PIPING SHALL BE FIBERGLASS PIPE. VENT LINE RISERS SHALL BE BLACK IRON PIPE AND EXTEND 5' ABOVE ADJACENT STRUCTURE OR 12'-0" ABOVE FINISHED GRADE. VENT LINE RISERS SHALL NOT BE INSTALLED ON BUILDING UNLESS APPROVED IN WRITING.
- 2.3 STAGE II VAPOR RECOVER PIPING: PIPING SHALL BE FIBERGLASS. PIPING MUST SLOPE 1/8" PER FOOT MINIMUM FROM DISPENSER ISLAND TO TANK.
- 2.4 BACK FILL: ALL MATERIAL SHALL COMPLY WITH SPECIFICATIONS FOR APPROVED MATERIAL AND AS PER MANUFACTURER'S SPECIFICATIONS.

PART 3 - INSTALLATION

- 3.1 ALL PRODUCT PIPING AND SPECIALTIES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND STATE AND LOCAL CODES.
- 3.2 THE DRAWINGS ARE DIAGRAMMATIC AND THE FINAL ARRANGEMENT OF THE WORK SHALL SUIT FIELD CONDITIONS. THE CHARACTERISTICS OF THE MATERIALS USED, AND THE INSTRUCTIONS OF THE CONSTRUCTION MANAGER, VERIFY ALL DIMENSIONS IN THE FIELD. ACCESS AND CLEARANCES MUST BE PROVIDED AND MAINTAINED FOR THE PROPER OPERATION, MAINTENANCE, SERVICE AND REPAIR OF THE WORK.
- 3.3 LOCATE, IDENTIFY AND MARK EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK BEFORE STARTING EARTHWORK OPERATIONS. IF UTILITIES ARE TO REMAIN IN PLACE PROVIDE ADEQUATE MEANS OF PROTECTION DURING EARTHWORK PROCEDURES.
- 3.4 SHOULD UNCHARTED OR INCORRECTLY CHARTED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT THE CONSTRUCTION MANAGER IMMEDIATELY FOR DIRECTIONS AS TO PROCEDURE. COOPERATE WITH THE OWNER AND PUBLIC AND PRIVATE UTILITY COMPANIES IN KEEPING THEIR RESPECTIVE SERVICES IN SATISFACTORY CONDITION.
- 3.5 VERTICAL RISERS FROM TANKS FOR ALL FILL PIPES, VAPOR RECOVERY ADAPTERS AND AUTO GAUGING ADAPTATIONS SHALL BE A 4" DIAMETER PIPE.
- 3.6 DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS. EXCEPT WHEN PERMITTED IN WRITING BY THE CONSTRUCTION MANAGER, AND THE ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICE HAS BEEN PROVIDED.
- 3.7 CONVEY WATER REMOVED FROM EXCAVATIONS AND RAIN WATER TO COLLECTING OR RUN-OFF AREA. DO NOT USE TRENCH EXCAVATIONS FOR SITE UTILITIES AS TEMPORARY DRAINAGE DITCHES. REMOVE ALL TRASH, DEBRIS AND FOREIGN MATERIAL FROM TRENCHES PRIOR TO PLACING PIPING MATERIAL.
- 3.8 ALL PRODUCT, VAPOR RECOVERY AND VENT LINES SHALL SLOPE UP FROM TANKS. A MINIMUM OF 2" IN 8' (1/8" /FT) WITH NO SAG OR TRAPS. LINES SHALL BE IN TRENCHES WITH A MINIMUM OF 6" OF BACK FILL MATERIAL BELOW AND ON EITHER SIDE AND A MINIMUM OF 18" OF BACK FILL MATERIAL ABOVE.
- 3.9 SUBMERGED PUMP, FILL PIPE, AUTO GAUGING ADAPTERS AND VAPOR RECOVERY ADAPTER SHALL BE LOCATED AT TANK OPENINGS AS SHOWN ON DRAWINGS.
- 3.10 FILL PIPE SHALL HAVE OVER SPILL CONTAINMENT SYSTEM INSTALLED AS SHOWN ON DRAWINGS.
- 3.11 FILL PIPE SHALL HAVE SUBMERGED FILL TUBE. FILL PIPE AND VAPOR RECOVERY RISER SHALL BE CUT TO THE PROPER LENGTH SO THAT FINISHED HUB HEIGHT WILL BE WITHIN 5" (+ OR - 1") OF THE TOP OF THE MANHOLE.
- 3.12 OVERFILL PREVENTION DEVICES SHALL BE INSTALLED AS SHOWN IN DRAWINGS.
- 3.13 REMOTE PUMP SHEAR VALVES SHALL BE INSTALLED ON THE PRODUCT LINES UNDER EACH DISPENSER AND SECURED TO THE DISPENSER BOX. THESE VALVES MUST BE INSTALLED WITH THE SHEAR SECTION FLUSH AT THE TOP OF THE DISPENSER SUMP, AS DENOTED ON PLANS.
- 3.14 AFTER ALL PIPING IS COMPLETE AND PRIOR TO BACK FILLING, ALL PIPING INCLUDING VENT LINES SHALL BE ISOLATED FROM THE TANK AND TESTED PER MANUFACTURER'S TESTING INSTRUCTIONS.
- 3.15 IF SUBMERGED, PUMP RISER IS TO BE LENGTHENED, THE PROPER 4" THIN WALL RISER AS PRODUCED BY MANUFACTURER SHALL BE USED.
- 3.16 ALL VALVES AND PRODUCT HANDLING EQUIPMENT SHALL BE AS SHOWN ON EQUIPMENT LIST. REFER TO LIST OF MATERIALS SUPPLIED BY OWNER.
- 3.17 OBSERVATION WELLS WHEN REQUIRED SHALL BE INSTALLED. WELLS ARE TO BE POSITIONED IN EXCAVATION HOLE PRIOR TO PLACING BEDDING MATERIAL AND SUPPORTED TO REMAIN VERTICAL DURING BACK FILL OPERATIONS. BOTTOM OF OBSERVATION WELL(S) SHALL BE 12" MINIMUM BELOW THE BOTTOM OF TANK EXCAVATION PIT. TOP OF PIPE TO TERMINATE IN 12" DIAMETER OBSERVATION BOX. SLOTTED SAMPLE WELL MATERIAL SHALL BE FURNISHED BY CONTRACTOR. LOCKING CAPS AND KEYED ALIKE LOCKS PROVIDED TO 7-ELEVEN, INC. REPRESENTATIVE.
- 3.18 CODES: THE NFPA 30 FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE, & NFPA 30A AUTOMOBILE AND MARINE SERVICE STATION CODE. IS BY REFERENCE MADE A PART OF THIS SPECIFICATION. SAID CODE SHALL DICTATE MINIMUM ACCEPTABLE STANDARDS. CODE SHALL BE ADHERED TO UNLESS LOCAL GOVERNING AUTHORITIES DICTATE HIGHER OR MORE STRINGENT REQUIREMENTS WHICH
- 3.19 STARTUP: PRIOR TO STARTUP AND CHECK-OUT OF SYSTEM, PRODUCT LINES SHALL PASS HYDROSTATIC LINE TEST. ALL SITE IMPROVEMENTS, INCLUDING PAVEMENTS AND UTILITIES, SHALL BE COMPLETED PRIOR TO THIS TEST.
- 3.20 INSPECTIONS: PIPING INSPECTION SHALL BE PERFORMED BY 7-ELEVEN, INC.'S APPOINTED REPRESENTATIVE.
- 3.21 CLEANUP: CLEANUP ALL DEBRIS CAUSED BY THE WORK OF THIS SECTION, KEEPING THE PREMISES CLEAN AND NEAT AT ALL TIMES.

Description Date Rev.#					
Proto 2022-04					
7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING TEXAS 75063 7-ELEVEN #46895 - SPEEDWAY #7645 1542 ROUTE 9 WAPPINGERS FALLS, NY 12590 FUELING SPECIFICATIONS					
CORE STATES GROUP ARCHITECTURE AND ENGINEERING P.C. CERTIFICATE OF AUTHORIZATION No. 092679					
46 East Main Street Suite 200 South Plainfield, NJ 08076 908.462.9700 core-states.com					
Job#: SPW-36100-SEI Scale: AS NOTED Date: 02/14/23 Drawn By: RMC Checked By: CGC					
Documents prepared by Core States shall be used only for the specific project and specific use for which they are intended. Any extension of use or reuse of these documents by any other party without the expressed, written consent of Core States Group is prohibited. Core States Group is not responsible for any other than that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.					
SHEET: G15.0 FUELING - USA					

PERFORMANCE SPECIFICATION - CONT.

SECTION VII ELECTRICAL WORK

PART 1 - GENERAL

- 1.1 SCOPE: THIS SECTION COVERS THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED IN CONJUNCTION WITH OR PROPERLY INCIDENTAL TO THE FURNISHING AND INSTALLATION OF COMPLETE ELECTRICAL WORK INCLUDING:
- 1.1.1 ELECTRICAL SERVICE AND DISTRIBUTION SYSTEM, INCLUDING CONDUITS, PANEL BOARD OUTLET BOXES, WIRING, SWITCHES, OUTLETS, ETC.
 - 1.1.2 CONDUIT AND WIRING SYSTEM FOR INTERCOM.
 - 1.1.3 WIRING SYSTEM TO SERVE ALL ELECTRIC-USING DEVICES, LIGHTING FIXTURES, PUMPS, CONTROL EQUIPMENT, DISPENSERS, DEVICES AND OTHER CURRENT CONSUMING EQUIPMENT.
 - 1.1.4 POWER AND CONTROL WIRING WITH FINAL CONNECTIONS TO ALL EQUIPMENT.
 - 1.1.5 ALL CONDUITS, CONNECTIONS, WIRE AND STUB-OUTS FOR FASCIA SIGN(S) (WHEN SHOWN), CANOPY LIGHTS, PRICE SIGN(S) AND CANOPY MOUNTED FLOOD LIGHTS.
 - 1.1.6 CONDUITS AS MAY BE SHOWN FOR "FUTURE EQUIPMENT" ON DRAWINGS.
 - 1.1.7 ALL TRENCHING, EXCAVATIONS AND BACK FILL AS REQUIRED IN CONJUNCTION WITH ELECTRICAL WORK.
 - 1.1.8 INCIDENTAL ITEMS NOT INDICATED ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATIONS, BUT WHICH ARE REQUIRED TO PROVIDE COMPLETE ELECTRICAL SYSTEMS IN CONFORMANCE WITH REQUIREMENTS OF LOCAL CODES AND ORDINANCES AND THE NATIONAL ELECTRIC CODE.
- 1.2 CODES AND REGULATIONS: COMPLY WITH LATEST REQUIREMENTS OF LOCAL UTILITY COMPANY, LOCAL, STATE, OSHA, NATIONAL ELECTRIC CODES, NATIONAL FIRE PROTECTIVE ASSOCIATION AND LOCAL ELECTRICAL INSPECTION AUTHORITY. REPORT TO OWNER IMMEDIATELY ANY DISCREPANCIES BETWEEN DRAWINGS AND CODES. PROVIDE INSTALLATION SUPERIOR TO CODE WHERE SO INDICATED ON DRAWINGS AND SPECIFIED HEREIN.
- 1.3 PERMITS, FEES, TAXES: ARRANGE AND PAY FOR ALL NECESSARY PERMITS, FEES, AND TAXES.
- 1.4 PROGRESS OF WORK: SCHEDULE WORK WITH THAT OF OTHER TRADES AND IN RELATION TO ENTIRE INSTALLATION SO THAT THE ENTIRE PROJECT CAN BE COMPLETED PER CONSTRUCTION SCHEDULE.
- 1.5 CUTTING AND REPAIRING: PROVIDE ALL CUTTING, CHANNELING, PATCHING, ETC. AS NECESSARY FOR ELECTRICAL WORK UNDER DIRECTION OF GENERAL CONTRACTOR. WORK FOUND TO BE DEFECTIVE OR INCORRECTLY INSTALLED IS TO BE CORRECTED AT THE DIRECTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER. MAKE REPAIR WORK TO BE DONE BY SKILLED CRAFTSMEN IN TRADES INVOLVED, BUT PAID FOR THE ELECTRICAL SUBCONTRACTOR.

PART 2 - PRODUCTS

- 2.1 IDENTIFICATION OF EQUIPMENT AND WIRING: PROVIDE IDENTIFICATION WITH DYMO TAPE OR EQUAL FOR ALL SERVICE ENTRANCE AND DISTRIBUTION EQUIPMENT INCLUDING MAIN SWITCH GEAR, PANELS, DISCONNECT SWITCHES, CONDUITS, ETC., AND FOR MOTOR FEEDERS INCLUDING SWITCHES, STARTERS AND MOTORS.
- 2.2 LIGHT FIXTURES: TO BE PROVIDED BY OWNER.
- 2.3 CONDUITS: PROVIDE THE FOLLOWING TYPES OF RACEWAYS IN ACCORDANCE WITH THE SPECIFIC APPLICATION OF LOCATION INDICATED.
- 2.3.1 STP POWER CONDUITS MUST BE RUN IN SEPARATE RACEWAY. ENTIRE WIRING RUN MUST BE IN RIGID PVC COATED GALVANIZED STEEL CONDUIT. USE ONLY ROB ROY CONDUIT TYPES "PERMA-COAT", "PLASTI-BOND" OR "KORKAP" ELECTRICAL CONDUITS. NO PVC OR RNC CONDUIT ALLOWED.

USE ONLY ROB ROY CONDUIT TYPES "PERMA-COAT", "PLASTI-BOND" OR "KORKAP" ELECTRICAL CONDUITS AT FIBERGLASS TANK SUMPS OR WHERE BRAVO F-17-RR OR F-10-RR ENTRY FITTINGS ARE CALLED OUT FOR FIRST 10' OF RUN. TRANSITION TO RIGID NONMETALLIC CONDUIT (RNC) WHERE ALLOWED BY JURISDICTION.

RUN PVC COATED GALVANIZED STEEL FOR WIRING RUNS EXPOSED TO THE WEATHER; FOR ENCLOSING MAIN GROUNDING CONDUCTOR: WHERE REQUIRED FOR MECHANICAL PROTECTION OR WHERE SPECIFICALLY INDICATED.

WITH THE EXCEPTION OF THE FIRST 10' AND THE LAST 10' OF THE UNDERGROUND RUN AND ONLY WHERE AHJ ALLOWS, RIGID NONMETALLIC CONDUIT (RNC) IS ALLOWED FOR UNDERGROUND RUNS IF CONDUIT IS BURIED AT A MINIMUM OF 2'.
 - 2.3.2 SEAL-OFFS: WHERE CONDUITS EXIT FLOOR OR CONCRETE AT DISPENSERS, AUTO GAUGING, SUBMERSIBLE PUMPS AND N.E.C. CLASSIFIED AREAS (REF G9.1).
 - 2.3.3 N.E.C. APPROVED WEATHER PROOF WIRE PULL BOX.
- 2.4 CONDUCTORS:
- 2.4.1 FURNISH AND INSTALL COLOR CODED COPPER CONDUCTORS, 600 VOLT, OF SIZES INDICATED. MINIMUM SIZE #12 EXCEPT FOR SIGNAL AND CONTROL CIRCUITS AND WHERE OTHERWISE NOTED. TYPE TW (60 DEGREES CENTIGRADE) FOR GENERAL BRANCH CIRCUIT WIRING; TYPE THN OR THWN-2 (90 DEGREES CENTIGRADE) FOR SUPPLY CONNECTIONS TO LIGHT FIXTURES. INSTALL PER COLOR CODE OF NEC.
 - 2.4.2 SHIELDED CABLES: PROVIDE SHIELDED CABLE FOR INTERCOM AS PER MANUFACTURER'S SPECIFICATIONS AND AS REQUIRED ON DRAWINGS.

VARIABLE SPEED PUMP CABLE:
- THWN-2 12 AWG 4 CONDUCTOR 600V SHIELDED, GAS/OIL RESISTANT".

DATA COMMUNICATION CABLE:
- SHIELDED WIRE MUST NOT BE USED:
- 2 WIRE TWISTED PAIR (UTP) W/ 10-12 TWISTS PER FOOT.
- WIRING IS STRANDED ANNEALED COPPER TINNED WITH 18 AWG MINIMUM REQUIRED FOR RUNS UP TO 1000 FEET OR 14 AWG FOR RUNS UP TO 2600 FEET. DO NOT DAISY CHAIN COMMUNICATION WIRING.
- INSULATION SPEC IS 300V, PVC INSULATION, TYPE TFFN OR MTW, UL APPROVED GASOLINE AND OIL RESISTANT.
- WCV7931AFEQ CAT 6 FEP/FEP CABLE:
- WIRING IS 23AWG SOLID COPPER. DO NOT DAISY CHAIN COMMUNICATION WIRING
- INSULATION SPEC IS 150V, PVC INSULATION, TYPE FEP TEFLON, UL APPROVED GASOLINE AND OIL RESISTANT.
- 2.5 SPLICES AND CONNECTIONS: PROVIDE SPLICES ONLY IN READILY ACCESSIBLE OUTLET BOXES. PROVIDE INSULATED PRESSURE CONNECTORS OR "CRIMP-ON" SLEEVES WITH OVERALL NYLON INSULATORS FOR CONDUCTORS. CONNECTORS SHALL BE 3M "SCOTCHLOK", BUCHANAN SPLICE CAPS WITH INSULATED WRAP, OR IDEAL "CRIMP-SLEEVES" WITH SCAP CAP INSULATOR OR EQUAL.
- 2.6 PANEL BOARDS:
- 2.6.1 BRANCH CIRCUIT PANEL BOARDS: PROVIDE FLUSH-MOUNT CIRCUIT BREAKER TYPE PANEL BOARDS WITH THERMAL MAGNETIC, MOLDED CASE, "SQUARE D" TYPE NLAB OR APPROVED EQUAL, WITH PLUG-IN CIRCUIT BREAKERS, "SQUARE D" TYPE NLQT. PROVIDE GROUNDING TERMINAL BLOCK IN EACH PANELBOARD. SEE INDIVIDUAL PANEL SCHEDULE ON DRAWINGS.
 - 2.6.2 SUBSTITUTES: DISTRIBUTION EQUIPMENT EQUIVALENT IN TYPE, CLASSIFICATION AND QUALITY IN ACCORDANCE WITH NEMA STANDARDS AS MANUFACTURED BY G.E., CUTLER-HAMMER, FEDERAL PACIFIC, ITE, SQUARE D AND WESTINGHOUSE ARE ACCEPTABLE AS SUBSTITUTES ONLY WHEN APPROVED IN WRITING.

SECTION VII ELECTRICAL WORK - CONTINUED

PART 3 - EXECUTION

- 3.1 GENERAL: COORDINATE TIME SCHEDULES, INSTALLATION, HOOKUPS AND MISCELLANEOUS PROCEDURES WITH ALL OTHER TRADES THAT WILL BE INVOLVED TO EXPEDITE THE COMPLETION OF THE CONTRACT. THE ELECTRICAL SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROPER INSTALLATION OF THE ELECTRICAL WORK.
- 3.2 CONDUITS: FURNISH AND INSTALL A COMPLETE OVERALL CONDUIT RACEWAY SYSTEM FOR ALL WIRING AND CONDUCTORS. PROVIDE SIZES AND RACEWAYS AS INDICATED ON DRAWINGS OR AS REQUIRED BY NATIONAL ELECTRICAL CODE FOR CONDUCTORS TO BE CONTAINED. ALL RACEWAYS SHALL CONFORM TO THE FOLLOW REQUIREMENTS:
- 3.2.1 CONCEAL ALL CONDUIT RUNS EXCEPT WHERE EXPOSED RUNS ARE AUTHORIZED BY OWNER'S CONSTRUCTION MANAGER IN WRITING.
 - 3.2.2 ACTUAL CONDUIT RUNS ARE NOT GENERALLY INDICATED; CONDUITS AT TANKS SHALL NOT CROSS OVER TANKS. PLACE CONDUIT THROUGH EACH END OF TANK EXCAVATION AND PLACE FIELDS PARALLEL WITH AXIS OF TANKS.
 - 3.2.3 CLEAN AND DRY ALL RACEWAYS THOROUGHLY BEFORE CONDUCTORS ARE PULLED IN.
 - 3.2.4 FLASH AND COUNTER FLASH CONDUITS WHICH PENETRATE THE CANOPY DECKING.
 - 3.2.5 PROVIDE SEAL-OFF FITTINGS WHERE CONDUIT RUNS ENTER OR LEAVE HAZARDOUS AREAS OF DISSIMILAR CONDITIONS SUCH AS TEMPERATURE, HUMIDITY, ETC.
 - 3.2.6 FURNISH AND INSTALL COMPLETE RACEWAY SYSTEM, INCLUDING CONDUITS AND OUTLETS, AS INDICATED AND AS REQUIRED FOR INTERCOM SYSTEM, GAS PRICE SIGNS, SECURITY LIGHTING AND CANOPY LIGHTING SYSTEM, AND LIGHTED FASCIA SYSTEM WHERE APPLICABLE. CONDUIT AMOUNTS AND SIZES SHALL BE AS SHOWN ON GASOLINE DRAWINGS. ADDITIONAL CONDUITS AND CIRCUITS WILL BE REQUIRED FOR LIGHTED FASCIA SYSTEMS. PROVIDE AS REQUIRED.
- 3.3 LIGHTING: INSTALL ALL LIGHTING FIXTURES AND LAMPS AS INDICATED ON DRAWINGS. SECURELY MOUNT ALL FIXTURES; PROVIDE ALL ADDITIONAL HANGERS AND SUPPORTS AS NECESSARY TO SECURELY FASTEN AND SUPPORT FIXTURES. CLEAN ALL FIXTURES AND LAMPS UPON COMPLETION OF THE PROJECT. CONTRACTOR SHALL VERIFY AMOUNT AND TYPE OF ISLAND/CANOPY LIGHTING SYSTEMS. SHOULD ADDITIONAL CONDUITS/CIRCUITS BE REQUIRED, VERIFY THROUGH LOCAL CONSTRUCTION OFFICE AND PROVIDE AS REQUIRED.
- 3.4 SIGNS AND LIGHTED FASCIA: VERIFY FINAL LOCATIONS AND TYPE WITH OWNER. FURNISH AND INSTALL ALL CONDUITS AND WIRES WITH STUB-OUTS AS DIRECTED. MAKE FINAL CONNECTIONS AS REQUIRED.
- 3.5 OUTLETS: COORDINATE LOCATION OF ALL ELECTRICAL EQUIPMENT, INCLUDING INTERCOM OUTLETS, SWITCHES, RECEPTACLES, CONTROLLERS, PANEL BOARDS, SWITCH GEAR, ETC., TO AVOID INTERFERENCE AND OBSTRUCTIONS WITH EQUIPMENT OF OTHER CRAFTS AND TRADES SO THAT ELECTRICAL EQUIPMENT WILL NOT BE BLOCKED OR MADE INACCESSIBLE OR IMPERMEABLE. PROVIDE WEATHERPROOF OUTLETS WHERE EXPOSED TO THE WEATHER OR TO MOISTURE.
- 3.6 ISOLATED GROUND: IT IS MANDATORY THAT GASOLINE EQUIPMENT REQUIRING ISOLATED GROUND SHALL BE PROVIDED WITH SAME. MINIMUM CIRCUITS REQUIRED, BUT NOT LIMITED TO, SHALL BE: INTERCOM, GAS CONSOLE AND GASOLINE TANK MONITORING SYSTEM.
- 3.7 EXCAVATION AND BACK FILLING: ALL EXCAVATION AND BACK FILLING NECESSARY FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE INCLUDED IN THIS SECTION AND COMPLY WITH SECTION III, EARTHWORK.
- 3.8 OPERATING AND ACCEPTANCE TESTS:
- 3.8.1 CONDUCT OPERATING TEST ON ENTIRE ELECTRICAL INSTALLATION; ALL SYSTEMS MUST BE COMPLETE AND IN GOOD OPERATING ORDER. REFER TO STARTUP AND FINAL CHECK-OUT OF SYSTEM COVERED ELSEWHERE. DO NOT START OR OPERATE EQUIPMENT WITHOUT SPECIFIC DIRECTIVES OF OWNER'S SPECIFIED REPRESENTATIVE. ANY DAMAGE TO OWNER'S EQUIPMENT DUE TO DEFECTIVE INSTALLATION AND/OR OPERATION WILL BE THE RESPONSIBILITY OF THAT SUBCONTRACTOR FOR CORRECTION, REPLACEMENT AND/OR MONETARY COMPENSATION AS REQUIRED.
 - 3.8.2 MAKE INSULATION TESTS ON MAIN SERVICE EQUIPMENT AND ALL FEEDERS AND PANELBOARDS.
 - 3.8.3 TEST GROUND: RESISTANCE TO GROUND SHALL NOT EXCEED 25 OHMS.
 - 3.8.4 INSPECT ALL PANELBOARDS. ALL CONNECTIONS MUST BE TIGHT AND SECURE.
- 3.9 "AS-BUILT" DRAWINGS: FURNISH OWNER'S CONSTRUCTION MANAGER WITH ONE SET OF MARKED-UP PRINTS (HARDCOPY) AND ALSO IN AUTO CAD 2004 COMPATIBLE DRAWING FILE FORMAT (.DWG) SHOWING "AS-BUILT" INSTALLATION.
- 3.10 FINAL ACCEPTANCE: UPON COMPLETION OF WORK, PRESENT CERTIFICATE OF APPROVAL OF LOCATION OR GOVERNING INSPECTION AUTHORITY.
- 3.11 CLEANUP: CLEAN UP ALL DEBRIS CAUSED BY WORK OF THIS SECTION, KEEPING THE PREMISES CLEAN AND NEAT AT ALL TIMES.

SECTION VIII PAINTING

PART 1 GENERAL

- 1.1 SCOPE: THIS SECTION COVERS THE FURNISHING OF ALL LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES IN CONJUNCTION WITH OR PROPERLY INCIDENTAL TO THE COMPLETION OF ALL PAINTING OF SURFACES COMPLETE, INCLUDING PAINTING OF THE FOLLOWING SURFACES:
- 1.1.1 MISCELLANEOUS METAL, DOWNSPOUTS, COLUMNS, POSTS, ISLAND FORMS, VENT RISERS, MANHOLE COVERS AND ELECTRICAL CONDUITS.
- 1.2 PAINTING DOES NOT INCLUDE:
- 1.2.1 PAINTING CANOPY SOFFITS.
 - 1.2.2 PAINTING LIGHT FIXTURES.
 - 1.2.3 PAINTING FUEL EQUIPMENT.
- 1.3 COLOR SCHEDULE: COLOR OF PAINTS SHALL BE AS LISTED IN THE 7-ELEVEN STORE STANDARDS MANUAL.

SECTION VIII CONTINUED

PART 2 - PRODUCTS

- 2.1 PAINT MANUFACTURERS AND PRODUCTS: PAINTING SYSTEM AS SPECIFIED WITHIN THE 7-ELEVEN STORE STANDARDS MANUAL.
- 2.2 PAINTING COATS AND PRODUCTS: SUPPLIED BY CONTRACTOR
- 2.2.1 PAINT ALL MANHOLES COVERS AND 4" SURROUNDING CONCRETE, INSIDE AND OUT, IN ACCORDANCE WITH STANDARD INDUSTRY COLOR CODE AS SHOWN:

API COLOR CODES:

OBSERVATION WELL UNLEADED REGULAR UNLEADED PREMIUM UNLEADED REGULAR W/EXTENDER UNLEADED PREMIUM W/EXTENDER DIESEL VAPOR RECOVERY KEROSENE INTERSTITIAL

PROVIDED BY MANUFACTURER WHITE W/BLACK CROSS RED W/WHITE CROSS WHITE W/BLACK CROSS & BLACK BAND RED W/WHITE CROSS & WHITE BAND SOLID YELLOW SOLID ORANGE SOLID BROWN BLACK

2.2.2 PAINT FASCIA SIGN FRAMES. PAINT GLOSSY WHITE - 2 COATS.

PART 3 - EXECUTION

- 3.1 PROTECTION: COVER ENTIRE CONCRETE SURFACES. NO PAINT OR SOLVENT SHALL BE ALLOWED TO COME IN CONTACT WITH CONCRETE SURFACES. WHERE IT BECOMES NECESSARY, IN ORDER TO EXECUTE HIS OWN WORK, FOR PAINTER TO REMOVE COVERINGS, PLATES, ETC., PLACED BY OTHER CONTRACTORS IN ANY BRANCH OF THE WORK, HE SHALL REPLACE SAME IN PROPER MANNER. IN SITUATIONS WHERE SAID COVERINGS, PLATES, ETC., CANNOT BE READILY REMOVED, PAINTER SHALL PROTECT THE WORK IN SOME OTHER SATISFACTORY MANNER. OILY RAGS AND WASTE MUST BE REMOVED EVERY NIGHT. UNDER NO CIRCUMSTANCES SHALL THEY BE ALLOWED TO ACCUMULATE. PAINTING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE WORK OF OTHER SUBCONTRACTORS AND SHALL REPAIR OR REPLACE AS NECESSARY TO THE SATISFACTION OF THE OWNER.
- 3.2 PREPARATION OF SURFACES: INSPECT ALL SURFACES TO BE PAINTED. REPORT ANY DISCREPANCIES TO THE CONTRACTOR PRIOR TO START OF WORK. STARTING OF PAINT APPLICATION SHALL CONSTITUTE ACCEPTANCE OF SURFACES AS SUITABLE FOR THE RECEPTION OF PAINT APPLICATION. ALL SURFACES SHALL BE CLEAN AND DRY, BETWEEN 50 AND 90 DEGREES FAHRENHEIT AT TIME OF PAINT APPLICATION. CLEAN METAL OF MILL SCALE, RUST, OIL, GREASE AND FOREIGN MATTER. CLEAN GALVANIZED METAL ACCORDING TO SSPC-SP 1-63 SOLVENT CLEANING. PROTECT ADJACENT AND FINISHED WORK FROM PAINT.
- 3.3 APPLICATION OF PAINT: DO NOT THIN, ADULTERATE OR CHANGE MATERIALS EXCEPT AS RECOMMENDED BY MANUFACTURER. EMPLOY ONLY SKILLED MECHANICS FOR WORK. ALL PAINTING SHALL BE BRUSHED, SPRAYED OR ROLLED EVENLY FOR THOROUGH COATS WITHOUT RUNS, SAGS OR OTHER BLEMISHES. ALLOW EACH COAT TO DRY BEFORE APPLYING SUBSEQUENT COATS. ALL SURFACES TO RECEIVE A MINIMUM OF 2 COATS AS NECESSARY TO ACHIEVE AN APPROVED FINISH. APPLICATION OF PAINT, ETC., SHALL BE IN STRICT COMPLIANCE WITH MANUFACTURER'S DIRECTIONS.
- 3.4 CLEANUP: CLEAN UP ALL DEBRIS CAUSED BY THE WORK OF THIS SECTION, KEEPING THE PREMISES CLEAN AND NEAT AT ALL TIMES.

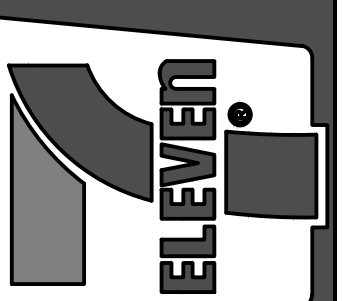
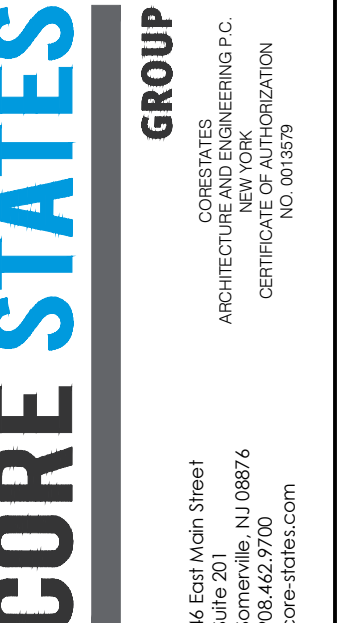

SECTION IX CANOPIES

PART 1 - GENERAL

- 1.1 SCOPE: THIS SECTION COVERS THE FURNISHING AND INSTALLATION OF ALL ITEMS FOR THE INSTALLATION OF A COMPLETE GASOLINE CANOPY INCLUDING:
- 1.1.1 COMPLETE FABRICATION DRAWINGS INCLUDING FOOTINGS DESIGN.
 - 1.1.2 COMPLETE ABOVE GROUND STRUCTURAL SUPPORT SYSTEM.
 - 1.1.3 STEEL ROOF DECK AND GUTTER, 20 GA WHITE EMBOSSED.
 - 1.1.4 ROOF BRACING.
 - 1.1.5 CAP FLASHING.
 - 1.1.6 DOWN SPOUTS - INTERNAL INSIDE COLUMNS.
 - 1.1.7 PERMITS AND INSPECTIONS DONE BY OTHERS.
 - 1.1.8 INSTALLATION AND FRAMING FOR OWNER SUPPLIED FASCIA SIGNS (ELECTRICAL BY OTHERS).
 - 1.1.9 INSTALLATION AND FRAMING FOR FASCIA MATERIAL AS PER OWNER SPECIFICATIONS.

PART 2 - PRODUCTS

- 2.1 EMBOSSED ROOF STEEL DECK: ROOF STEEL DECK SHALL BE 2 1/4" MINIMUM DEEP, 20 GAUGE HIGH REFLECTIVE WHITE STEEL WITH MINIMUM SECTION MODULES OF 0.25 IN 1/4 3 MOMENT OF INERTIA OF 0.030 IN 1/4 4. IN CERTAIN AREAS, ROOF DECK WILL BE ALUMINUM. VERIFY WITH LOCAL CONSTRUCTION MANAGER.
- 2.2 STRUCTURAL STEEL:
- 2.2.1 ALL STRUCTURAL STEEL TO BE A.S.T.M. A-36 AND SHALL COMPLY WITH THE STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS OF A.I.S.C. AND WITH THE A.I.S.C. CODE OF STANDARD PRACTICE (LATEST EDITION).
 - 2.2.2 STRUCTURAL BOLTS SHALL CONFORM TO THE STANDARD SPECIFICATION A.S.T.M. A-307 AND SHALL BE PROVIDED WITH WASHERS UNDER THE NUTS.
 - 2.2.3 ALL OTHER BOLTS SHALL BE A-307 AND SHALL CONFORM TO A.S.T.M. STANDARDS, WITH WASHER REQUIRED.
 - 2.2.4 ALL HIGH STRENGTH BOLTS SHALL BE TORQUED TO PROVIDE A MINIMUM TENSION IN BOLT OF 90% OF MINIMUM PROOF LOAD OF THE BOLT.
 - 2.2.5 TUBE COLUMNS SHALL COMPLY WITH A-500, GRADE B.
 - 2.2.6 ALL TUBE COLUMNS SHALL BE 46 KSI STEEL. 2.2.7 ALL WELDING SHALL BE WITH E70XX ELECTRODES AND BE ACCOMPLISHED BY CERTIFIED WELDERS.

7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING TEXAS 75063 7-ELEVEN #46895 - SPEEDWAY #7645 1542 ROUTE 9 WAPPINGERS FALLS, NY 12590 FUELING SPECIFICATIONS	Rev. # Date Description
Proto 2022-04	
	
	
Job#: SPW-36100-SEI Scale: AS NOTED Date: 02/14/23 Drawn By: RMC Checked By: CGC	
	
SHEET: G16.0 FUELING - USA	

PERFORMANCE SPECIFICATION - CONT.

SECTION IX CANOPIES - CONTINUED

PART 2 - EXECUTION

- 2.3 FASCIA:
- 2.3.1 VERTICAL SUPPORTS SHALL BE DESIGNED AND SPACED PER ENGINEERED (DESIGNED TO LOCAL CODES) STRUCTURAL DRAWINGS SUPPLIED BY CANOPY MANUFACTURER. SCREWS FOR FASCIA SHALL BE CARBON STEEL CADMIUM PLATED OR GALVANIZED - SIZE AS REQUIRED.
- 2.3.2 REFER TO PROJECT DRAWINGS FOR FASCIA MATERIAL AND INSTALLATION.
- 2.3.3 MATERIAL SHALL BE ONE OF THE FOLLOWING:
- A. PRE FINISHED METAL FASCIA SYSTEM.
- B. PRE FINISHED FASCIA MATERIAL AS SELECTED.

PART 3 - GENERAL

- 3.1 FABRICATION DRAWINGS:
- 3.1.1 CANOPY CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ENGINEERED AND STAMPED SHOP DRAWINGS FOR OVERHEAD STRUCTURE AND FOUNDATION SYSTEMS.
- 3.1.2 DRAWINGS SHALL SHOW PROJECT LOCATION AND ADDRESS.
- 3.1.3 ORIGINAL ENGINEER'S STAMP FOR APPROPRIATE STATE SHALL BE AFFIXED TO EACH PAGE OF DRAWINGS.
- 3.1.4 SHOP DRAWINGS SHALL SPECIFICALLY CALL OUT SOILS REPORT NUMBER AND DATE FOR WHICH CANOPY FOOTINGS WERE DESIGNED.
- 3.1.5 SHOP DRAWINGS SHALL SPECIFICALLY CALL OUT SIZE, WEIGHT, TYPE AND NUMBER OF ALL STRUCTURAL MEMBERS.
- 3.1.6 ALL DESIGN LOADS SHALL COMPLY WITH CURRENT BUILDING CODES AND LOCAL BUILDING DEPARTMENT REQUIRED LOADINGS, WHICHEVER IS MOST STRINGENT. MINIMUM DESIGN LOADS SHALL BE CONSIDERED TO BE: WIND 100#, LIVE 35#, UPLIFT 35# AND DEAD LOAD 35# OR AS LOCAL STRUCTURAL DESIGN DICTATES. IF APPLICATION IS SUBJECT TO HIGH ALTITUDE (SNOW) LOADING, DESIGN SHALL BE ADJUSTED TO COMPLY ACCORDINGLY.
- 3.1.7 DEFLECTION OF ALL STRUCTURAL MEMBERS SHALL BE LIMITED TO SPAN/180 FOR L.L. ONLY.
- 3.1.8 ATTACH DECK STRUCTURAL SUPPORTS PER ENGINEERED DRAWINGS.
- 3.1.9 ROOF DECK SHALL BE AN ICC-ES APPROVED DIAPHRAGM DECK AND ATTACHED IN A MANNER THAT COULD BE CONSIDERED A DIAPHRAGM. AN ALTERNATE TO THIS IS 1/2" DIAMETER STEEL ROD DIAGONAL X-BRACING WITH TURNBUCKLES. LAYOUT OF ROD BRACING AND CONNECTIONS TO STRUCTURAL MEMBERS SHALL BE APPROVED BY STRUCTURAL ENGINEER.
- 3.1.10 CONCRETE FOOTINGS SHALL BE MADE WITH STONE AGGREGATE AND SHALL HAVE A COMPRESSIVE STRENGTH TO A MINIMUM 3000 LBS. PER SQUARE INCH WITHIN 28 DAYS AFTER POURING.
- 3.1.11 ALL FOUNDATION METAL REINFORCEMENT SHALL BE OF FORMED TYPE BARS (EXCEPT #2 BARS) AND SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATION A.S.T.M. 615 GRADE 40#.
- 3.1.12 THE SHOP DRAWINGS SHALL EXPLICITLY SHOW LOCATION OF DOWN SPOUTS, INTERIOR PVC DRAINS IN WARM WEATHER AREAS, ETC., AS RELATED TO ANY AND ALL UTILITIES AND/OR PIPING AT COLUMN LOCATIONS. ROOF DRAINS AND LEADERS SHALL BE DIRECTED DOWN THE INTERIOR CANOPY COLUMN EXITING SIDE OF ISLAND LEVEL OR ABOVE FINISH GRADE OF CONCRETE SIDE PAD ON DOWNHILL SIDE OF ISLAND.
- 3.1.13 INCLUDE IN DESIGN PROVISION FOR OVERFLOW DEVICE AT OPPOSITE CORNERS OF CANOPY.
- 3.1.14 CONSTRUCTION NOT SPECIFICALLY INDICATED SHALL BE ACCOMPLISHED PER MINIMUM REQUIREMENTS OF THE UNIFORM BUILDING CODE, LATEST EDITION.
- 3.1.15 IF THERE ARE ANY CONFLICTS BETWEEN LINES ON DRAWINGS AND GENERAL NOTES OR WITH SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS GOVERN.
- 3.1.16 ANY DEVIATION FROM THE PLANS OR SPECIFICATIONS SHALL BE APPROVED BY 7-ELEVEN, INC.'S CONSTRUCTION REPRESENTATIVE.
- 3.1.17 FABRICATION DRAWINGS SHALL BE DELIVERED TO APPLICABLE CONSTRUCTION OFFICE A MINIMUM OF 4 WEEKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO WORK SHALL COMMENCE PRIOR TO APPROVAL OF DRAWINGS BY 7-ELEVEN, INC.'S CONSTRUCTION REPRESENTATIVE.

SECTION IX CANOPIES - CONTINUED

PART 3 - GENERAL - CONTINUED

- 3.2 EXECUTION:
- 3.2.1 COORDINATE DELIVERY AND INSTALLATION WITH FUEL CONTRACTOR THROUGH LOCAL CONSTRUCTION OFFICE. MATERIALS SHALL BE STORED AT POSITION AS INDICATED BY FUEL CONTRACTOR.
- 3.2.2 CANOPY CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FOOTING ANCHOR BOLTS AND TEMPLATE FOR DELIVERY TO FUEL CONTRACTOR 2 WEEKS PRIOR TO INSTALLATION. SIZE IN ACCORDANCE WITH SHOP DRAWINGS AND IN ACCORDANCE WITH FUEL CONTRACTOR'S SCHEDULE OF CONSTRUCTION.
- 3.2.3 FOOTINGS FOR CANOPY AND PLACEMENT OF ANCHOR BOLTS SHALL BE PERFORMED BY FUEL CONTRACTOR AS PER APPROVED SHOP DRAWINGS. TYPE OF CONCRETE SHALL BE AS PER SHOP DRAWINGS. TYPE, SIZE, AND PLACEMENT OF ALL REINFORCED STEEL SHALL BE AS PER SHOP DRAWINGS.
- 3.2.4 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND NOTIFY 7-ELEVEN, INC.'S CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES FOUND. REFER TO SITE PLAN FOR SIZE, TYPE AND PLACEMENT OF CANOPY
- 3.2.5 CANOPY CONTRACTOR SHALL BE RESPONSIBLE FOR BEING PROPERLY LICENSED IN LOCAL INSTALLATION AS WELL AS PROVIDING OWN PERMITS AS MAY BE REQUIRED. A COPY OF THE PERMIT MUST BE ON FILE IN THE LOCAL CONSTRUCTION OFFICE PRIOR TO COMMENCING WORK.
- 3.2.6 CANOPY CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION OFFICE WITH ACCEPTABLE INSURANCE AS REQUIRED PER 7-ELEVEN, INC. INSURANCE SPECIFICATIONS AND STANDARD CONTRACT FOR CONSTRUCTION. INSURANCE SHALL BE IN EFFECT FOR DURATION OF WORK.
- 3.2.7 CANOPY CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL WORK OF OTHER CONTRACTORS ALREADY IN PLACE, AS MAY BE REQUIRED.
- 3.2.8 CANOPY CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND OBTAINING APPROVAL OF FUEL CONTRACTOR PRIOR TO PLACING OF ANY HEAVY EQUIPMENT ON TOP OF CONCRETE WORK ALREADY IN PLACE.
- 3.2.9 ALL FOOTINGS SHALL BE ON FIRM UNDISTURBED SOILS OR FILL COMPACTED TO 95% MAXIMUM DENSITY BASED ON A.S.T.M. D 1557-70. IF ANY POOR SOIL CONDITION IS DISCOVERED DURING EXCAVATION, THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR SOIL BEARING VERIFICATION.
- 3.2.10 SUPPORTING COLUMNS SHALL BE PLACED AS PER 7-ELEVEN, INC. FUEL PLANS AND AS PER APPLICABLE SITE PLAN.
- 3.2.11 CANOPY SUPPORT COLUMNS SHALL BE CAPPED AT TOP.
- 3.2.12 ALL MATERIALS SHALL BE ALIGNED TRUE AND FLAT AND ALL PLANES SHALL BE FLAT, TRUE TO ESTABLISHED LINES WITH ALL SOFFITS BEING LEVEL AND VERTICAL WALLS CORRECT AND ACCEPTABLE. PARAPET FASCIA SHALL BE VERTICAL AND PLUMB. ALL INTERSECTIONS SHALL BE TRUE AND STRAIGHTEDGE LINES. MATERIALS SHALL BE LEFT IN ACCEPTABLE CONDITION TO BE PAINTED BY OTHERS. ALL METAL SHALL BE FREE OF DEBRIS AS MAY BE REQUIRED FOR FINAL PAINTING/FINISHING.
- 3.2.13 FUEL CONTRACTOR SHALL BE RESPONSIBLE FOR NON-SHRINK GROUT BENEATH BASE PLATE AND POURING OF CONCRETE AROUND CANOPY COLUMNS, COVERING ANCHOR BOLTS AS MAY BE REQUIRED.
- 3.2.14 CANOPY CONTRACTOR SHALL LEAVE ALL EXPOSED STRUCTURAL STEEL FREE OF DEBRIS, PRIMED AND READY FOR FINAL PAINTING BY FUEL CONTRACTOR.
- 3.3 RESPONSIBILITIES OF FUEL CONTRACTOR:
- 3.3.1 SHALL BE RESPONSIBLE FOR A MINIMUM OF 30 DAY NOTIFICATION OF DATE WHEN SITE WILL BE READY FOR INSTALLATION OF GASOLINE CANOPY.
- 3.3.2 UPON AGREED DATE BETWEEN FUEL CONTRACTOR AND CANOPY CONTRACTOR, THE SITE SHALL BE FREE OF MATERIAL, MOVABLE EQUIPMENT AND DEBRIS, LEVEL AND IN PROPER CONDITION FOR CANOPY INSTALLATION. FUEL CONTRACTOR SHALL PERFORM SITE WORK AS MAY BE REQUIRED TO COMPLY.
- 3.3.3 FUEL CONTRACTOR SHALL NOT INSTALL GASOLINE DISPENSERS PRIOR TO CANOPY ERECTION, UNLESS AGREED UPON IN WRITING BETWEEN THE CANOPY CONTRACTOR AND FUEL CONTRACTOR.
- 3.3.4 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CANOPY FOOTINGS AS DESIGNED IN SHOP DRAWINGS PROVIDED BY CANOPY MANUFACTURER, PROVIDING ALL STEEL, ETC., (WITH THE EXCEPTION OF ANCHOR BOLTS TO BE PROVIDED BY CANOPY CONTRACTOR). FOOTINGS SHALL BE POURED IN A SUFFICIENT AMOUNT OF TIME, SO PROPER CURING TIME IS ALLOWED.
- 3.3.5 FUEL CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING OF ALL METAL AND TRIM AS RELATED TO THE GASOLINE CANOPY AS PER 7-ELEVEN STORE STANDARDS MANUAL.
- 3.3.6 FUEL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WIRING AND INSTALLATION OF LIGHTS, SIGNS, SECURITY LIGHTS, ETC., IN CONJUNCTION WITH NORMAL GASOLINE INSTALLATION. G.C. SHALL CAULK SEAL ALL LIGHT FIXTURES TO CANOPY DECK.
- 3.3.7 FUEL CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING BLOCK OUTS AS MAY BE REQUIRED FOR INSTALLATION OF CANOPY IN ACCORDANCE WITH SHOP DRAWINGS AND PLACEMENT OF ANCHOR BOLTS IN ACCORDANCE WITH SHOP DRAWINGS AS RELATED THERETO.
- 3.4 WARRANTIES: CANOPY CONTRACTOR SHALL WARRANTY, IN WRITING, COMPLETE CANOPY INSTALLATION FOR A MINIMUM PERIOD OF 2 YEARS. A 5 YEAR WARRANTY GUARANTEEING INSTALLATION TO BE FREE OF DESIGN AND INSTALLATION DEFECTS, EXCLUDING ACTS OF MAN, GOD AND NORMAL WEAR AND TEAR.
- 3.5 CLEAN-UP: CANOPY CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL FROM SITE ALL TRASH AND DEBRIS RESULTING FROM WORK RELATING TO INSTALLATION OF CANOPY.

SECTION X POST CONSTRUCTION TESTING REQUIREMENT

PROCEDURES FOR POST CONSTRUCTION TESTING

1.1 SCOPE OF WORK

THIRD PARTY TESTS ARE REQUIRED TO BE PERFORMED ON ANY POST CONSTRUCTION ACTIVITIES ASSOCIATED WITH NEW INSTALLATION, UPGRADE, REPLACEMENT OR REPAIR OF OR TO THE UNDERGROUND STORAGE TANK (UST) SYSTEMS, IF THE WORK INVOLVES PRODUCT PIPING, TANK SUMPS, DISPENSER SUMPS AND PANS OR SPILL CONTAINMENT BUCKETS.

TANKNOLOGY, INC IS CURRENTLY UNDER CONTRACT TO PERFORM ALL REQUIRED TESTS AS THE NATIONAL 3RD PARTY TESTING CONTRACTOR AND MUST BE USED TO PERFORM POST CONSTRUCTION TESTING TO ENSURE THAT 7-ELEVEN MAINTAINS CONTINUITY WITH THE COMPANY'S REGULATORY COMPLIANCE TESTING PROGRAM. THE ONLY EXCEPTION APPLIES IF LOCAL REGULATIONS REQUIRE THAT THE INSTALLATION CONTRACTOR PERFORM THE REQUIRED TESTS AND THE TESTS ARE WITNESSED ON SITE BY A REGULATORY ENTITY. IN THESE CASES THE INSTALLATION CONTRACTOR MUST SUBMIT DOCUMENTATION OF THE REGULATORY WITNESSED TESTS, AS WELL AS THE RESULT OF ANY SUCH TEST, DIRECTLY TO 7-ELEVEN, INC. COMPLIANCE DEPARTMENT.

IT WILL NOT BE NECESSARY FOR TANKNOLOGY TO RETEST A COMPONENT WHICH WAS TESTED BY THE CONTRACTOR, IF THAT TEST WAS WITNESSED BY A REGULATOR. IN THESE CASES THE CONTRACTOR MUST SUBMIT RESULTS OF THE TEST, AS WELL AS, COPIES OF REGULATOR INSPECTION REPORT WITHIN 48 HOURS OF COMPLETION OF THE TEST TO THE ADDRESS LISTED BELOW.

THE REQUIRED TESTS ARE DIVIDED INTO TWO CATEGORIES, PRE-FUEL TEST AND POST FUEL TEST.

THE TESTS PERFORMED DURING EACH PHASE ARE LISTED BELOW.

PRE-FUEL TEST - TEST PERFORMED BEFORE FUEL IS INTRODUCED OR DELIVERED INTO THE UST SYSTEM.

THE FOLLOWING TESTS ARE RECOMMENDED TO BE PERFORMED BEFORE FUEL IS INTRODUCED INTO THE UST SYSTEM:

PRE-FUEL TEST	ESTIMATED TEST DURATION
STP SUMPS	MINIMUM 4 HOURS
DISPENSER SUMPS/CONTAINMENT	MINIMUM 4 HOURS
SPILL CONTAINMENT BUCKETS	MINIMUM 1 HOUR

TANKNOLOGY MAY USE ONE OF THE FOLLOWING TEST METHODS: HYDROSTATIC, PRESSURE OR VACUUM.

WATER USED TO PERFORM THESE PRE-FUEL TESTS MAY BE DISCHARGED ON SITE AS LONG AS THE WATER WAS NOT IN CONTACT WITH ANY FUEL.

CONTRACTOR PREPARATION FOR PRE-FUEL (BEFORE DELIVERY) TESTING

- THE TANKS, PIPING AND DISPENSERS MUST BE ACCESSIBLE TO INCLUDE ASPHALT AND CONCRETE THAT CAN BE DRIVEN UPON.
- 110 VOLT AC CURRENT MUST BE AVAILABLE
- ALL PRODUCT PIPING, TANK SUMP, SPILL BUCKET AND DISPENSER SUMP/LINER WORK MUST BE COMPLETE AND COMPONENTS ACCESSIBLE.
- TEST VALVES MUST BE INSTALLED FOR THE SECONDARY PRODUCT PIPING.
- DISPENSERS DO NOT NEED TO BE IN PLACE AND PRODUCT PIPING DOES NOT NEED TO BE PURGED.
- AS AN OPTION TO SIGNIFICANTLY REDUCE TIME ON SITE, THE CONTRACTOR SHOULD FLOOD ALL TANK SUMPS AND DISPENSER SUMPS WITH CLEAN WATER THE NIGHT BEFORE THE SCHEDULED TESTING. WATER MUST BE ADDED TO A MINIMUM OF 3 INCHES ABOVE THE HIGHEST PENETRATION OR SEAM IN THE SUMP OR PAN.
- THE CONTRACTOR SHOULD ALLOW SEVERAL HOURS TO ALLOW THE WATER LEVEL TO STABILIZE AND MARK THE LEVEL OF THE WATER WITH A PERMANENT MARKER.

POST FUEL TEST - TEST PERFORMED AFTER FUEL IS INTRODUCED OR DELIVERED INTO THE UST SYSTEM.

POST-FUEL TEST	ESTIMATED TEST DURATION
TANK INTERSTICE	MINIMUM 1 HOUR PER TANK
TANK PRIMARY (TIGHTNESS)	MINIMUM 2 1/2 HOURS
LINE/PIPE INTERSTICE	MINIMUM 1 HOUR PER LINE/PIPE
LINE PRIMARY (TIGHTNESS)	COMPLETED DURING TANK TEST
LINE LEAK DETECTOR	COMPLETED DURING TANK TEST
STAGE II (WHERE APPLICABLE)	MINIMUM 3 HOURS
*AUTOMATIC TANK GAUGE (ATG) CERTIFICATION	MINIMUM 2 HOURS
OTHER (AS REQUIRED BY STATE OR LOCAL ORDINANCE)	UNKNOWN

*DOES NOT INCLUDE NEW AUTOMATIC TANK GAUGE (ATG) INSTALLATION. CERTIFICATION OF NEW ATG IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR.

NOTE: WATER USED TO PERFORM TESTING OF (STP) SUMPS, DISPENSER SUMPS AND/OR SPILL BUCKETS, AFTER FUEL IS INTRODUCED/DELIVERED INTO THE UST SYSTEM CANNOT BE DISCHARGED ON SITE.

WATER THAT IS OR WAS IN CONTACT WITH FUEL MUST BE PROPERLY DISCHARGED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND/OR LOCAL REGULATIONS.

CONTRACTOR PREPARATION FOR POST-FUEL (AFTER DELIVERY) TESTING

- THE FUEL LEVEL MUST BE BETWEEN 70-80 PERCENT OF TANK CAPACITY
- COMPARTMENTALIZED TANKS MUST HAVE FUEL LEVELS WITHIN 10" OF EACH OTHER.

ALL FUELING INCLUSIVE OF STAGE I AND STAGE II VAPOR RECOVERY AREAS THE FOLLOWING CONDITIONS MUST APPLY.

- ALL PRODUCT PIPING MUST BE THOROUGHLY PURGED OF AIR AND VAPORS.
- THE DISPENSERS MUST BE SET AND OPERATIONAL TO INCLUDE ALL VAPOR VACUUM PUMPS AND OTHER STAGE II EQUIPMENT FULLY FUNCTIONAL. REPLACE FILTER AFTER PURGING.
- ALL HANGING HARDWARE MUST BE INSTALLED AND OPERATIONAL
- THE TANKS, PIPING AND DISPENSERS MUST BE ACCESSIBLE TO INCLUDE ASPHALT AND CONCRETE THAT CAN BE DRIVEN UPON.
- 110 VOLT AC CURRENT MUST BE AVAILABLE
- TEST VALVES MUST BE INSTALLED FOR THE SECONDARY PRODUCT PIPING.

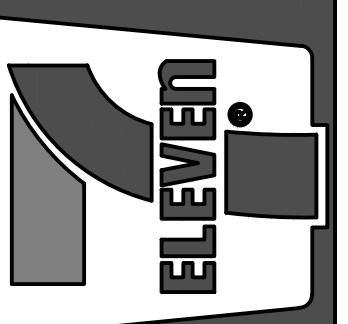
CONTRACTOR NOTIFICATION TO TESTING COMPANY (TANKNOLOGY):

IT IS RECOMMENDED THAT THE CONTRACTOR PROVIDE NOTIFICATION TO TANKNOLOGY OF THE NEED TO PERFORM TESTS AT LEAST 14 DAYS PRIOR TO THE ANTICIPATED TEST DATE. HOWEVER, TO ENSURE TESTS ARE CONDUCTED IN A TIMELY MANNER A MINIMUM OF FIVE (5) DAYS IS REQUIRED. TANKNOLOGY UNDERSTANDS THAT ACTUAL DATE MAY CHANGE, BY PROVIDING THEM WITH AS MUCH TIME AS POSSIBLE ALLOWING THEM TO MAINTAIN A TIME SLOT IN THEIR SCHEDULE TO SHIFT AS NECESSARY. THE CONTRACTOR MUST KEEP TANKNOLOGY APPRISED OF THE ANTICIPATED DATE AND TIME THAT THE TESTING WILL BE NEEDED AS PROJECTED DATES CHANGE.

Description	
Date	
Rev. #	

Proto 2022-04

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
FUELING SPECIFICATIONS



CORE STATES GROUP
CONCRETE
ARCHITECTURE AND ENGINEERING P.C.
CERTIFICATE OF AUTHORIZATION
NO. 021079

46 East Main Street
Suite 200A
Suffolk, VA 23086
908.462.9700
core-states.com

Job#: SPW-36100-SEI
Scale: AS NOTED
Date: 02/14/23
Drawn By: RMC
Checked By: CGC

Documents prepared by Core States Group are for the specific project and only for the specific project and intended. Any extension of use by any other party, without the expressed, written consent of Core States Group is prohibited. Core States Group is not responsible for any other than that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.

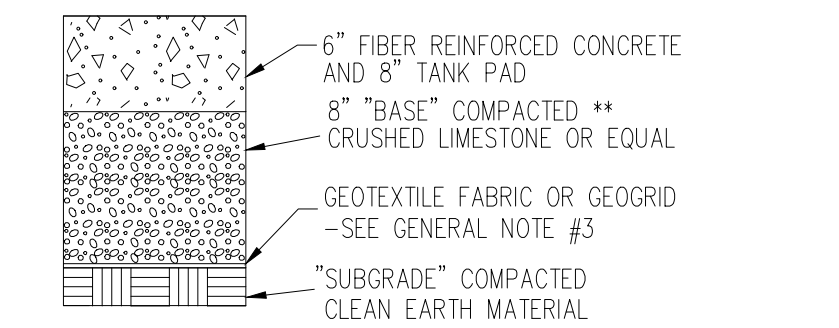


SHEET:
G17.0
FUELING - USA

CONCRETE PAVEMENT INSTALLATION

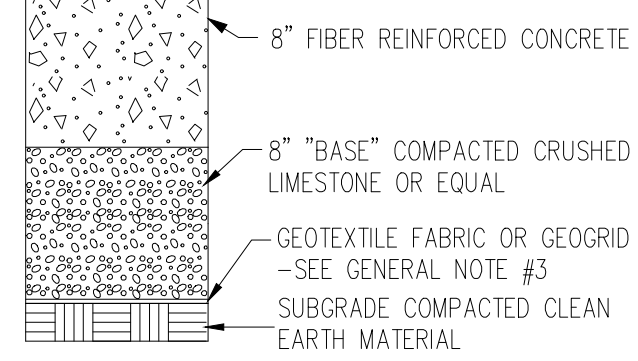
NORMAL STRENGTH PAVEMENT DETAIL

AUTO PARKING AREAS, AND OTHER LIMITED SERVICE TRAFFIC AREAS



HIGH STRENGTH PAVEMENT DETAIL

HEAVY LOAD TRAFFIC AREAS



CONCRETE PAVING GENERAL NOTES:

- SEE FUEL PROTOTYPE FOR ADDITIONAL REQUIREMENTS FOR TANK SLABS.
- SEE FUEL PROTOTYPE FOR ADDITIONAL REQUIREMENTS FOR DISPENSER ISLAND SLABS.
- A GEOTEXTILE FABRIC OR GEOGRID IS ONLY NEEDED WHEN THE GEOTECHNICAL REPORT AND/OR A GEOTECH EXPERT REQUIRES IT FOR THE SPECIFIC SITE'S SOIL CONDITIONS.
- UNDISTURBED SOIL OR COMPACTED BACK FILL NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (AASHTO-T-180).
- REFER TO CIVIL DESIGN GUIDELINES (CDG) FOR PAVEMENT LOCATION GUIDANCE.

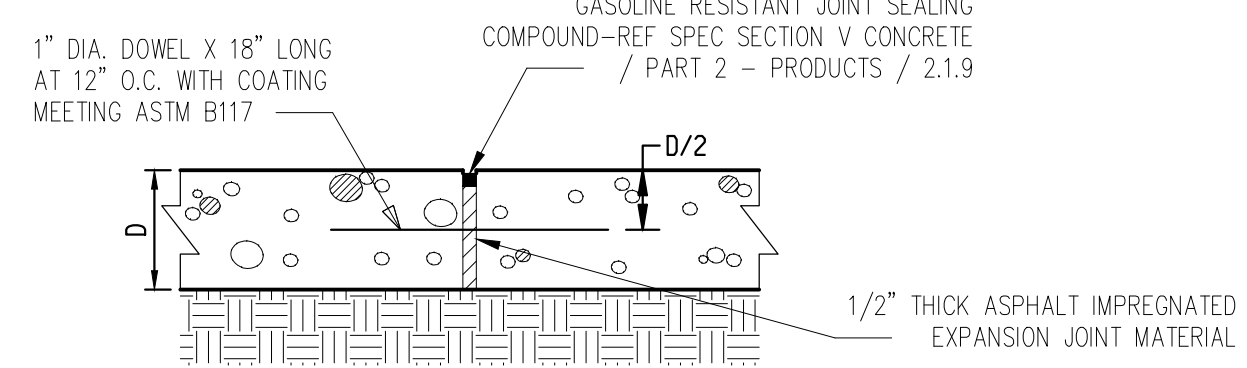
PAVING EXECUTION NOTES:

- LOCATE AND INSTALL CONSTRUCTION, ISOLATION, AND EXPANSION JOINTS AS INDICATED OR REQUIRED.
- PLACE CONCRETE IN A CONTINUOUS OPERATION WITH PLANNED JOINTS OR SECTIONS. DO NOT ADD WATER TO ADJUST SLUMP.
- FLOAT SURFACES TO TRUE PLANES WITHIN A TOLERANCE OF 1/4 INCH IN 10 FEET.
- TOOL EDGES AND JOINTS TO A RADIUS OF 1/4 INCH FOR SIDEWALKS.
- ALLOW CONCRETE PAVING TO CURE FOR A MINIMUM OF 28 DAYS AND DRY BEFORE STARTING PAVEMENT MARKING.
- APPLY TRAFFIC PAINT WITH MECHANICAL EQUIPMENT TO A MINIMUM WET FILM THICKNESS OF 15 MILS.
- PROTECT CONCRETE PAVING FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVING FOR AT LEAST 14 DAYS.

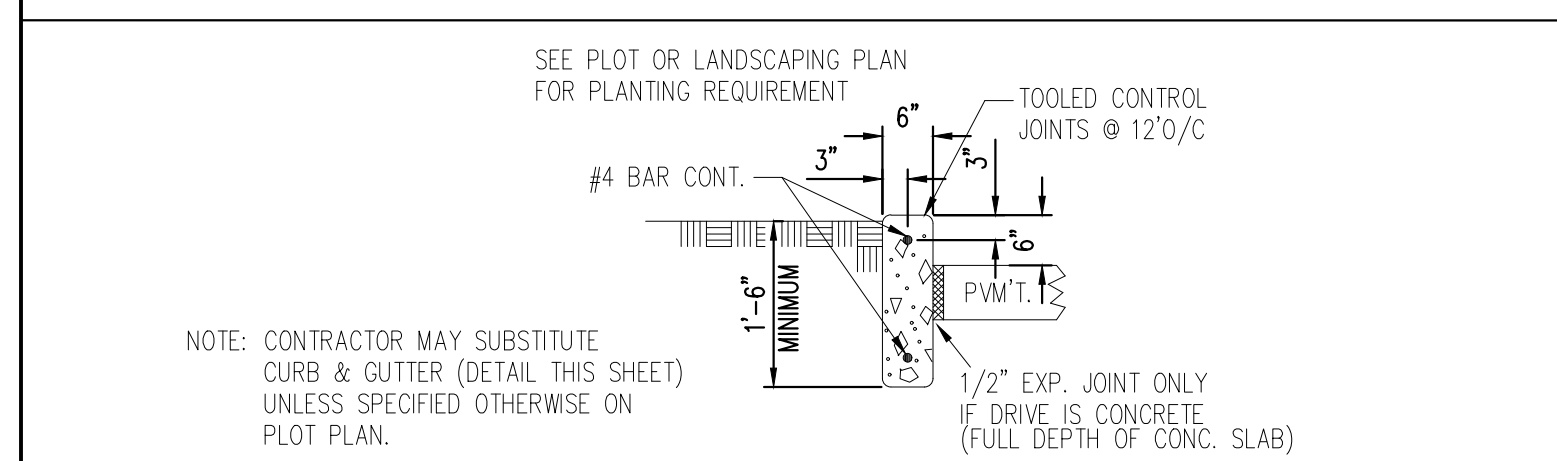
- * CONTRACTOR MUST REFER TO THE GEOTECH REPORT FOR PAVEMENT AND FOUNDATION DESIGN AND CONSTRUCTION RECOMMENDATIONS
- ** COMPACTION IS NOT REQUIRED OVER THE TANK PIT(S)

CONCRETE PAVEMENT JOINT DETAILS

TYPE OF JOINT	USE DESCRIPTION	DETAIL
A. CONTROL JOINT 1. SAWN 2. PREMOLD STRIP 3. HAND FORMED AND SAWN AT CRITICAL JOINTS	USE SPECIFICATION ACI 360R-06 TO PLACE CONTROL JOINTS SO AS TO UNIFORMLY DIVIDE SLABS INTO NOMINAL 12' x 12' (NORMAL STRENGTH) OR 16' x 16' (HIGH STRENGTH) SECTIONS. (SEAL CONTROL JOINTS ONLY IF SPECIFIED ON DRAWINGS OR BY OWNER'S REPRESENTATIVE.)	
B. EXPANSION JOINT (ISOLATION JOINT)	PLACE AGAINST CONCRETE TANK SLAB, ADJUTING ROADWAY PAVEMENTS AND STRUCTURES (BUILDINGS, CANOPY COLUMNS, CATCH BASINS, ETC.)	
C. CONSTRUCTION JOINT	CONSTRUCTION JOINTS MUST BE APPROVED BY OWNER'S REPRESENTATIVE. PLACE WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES.	

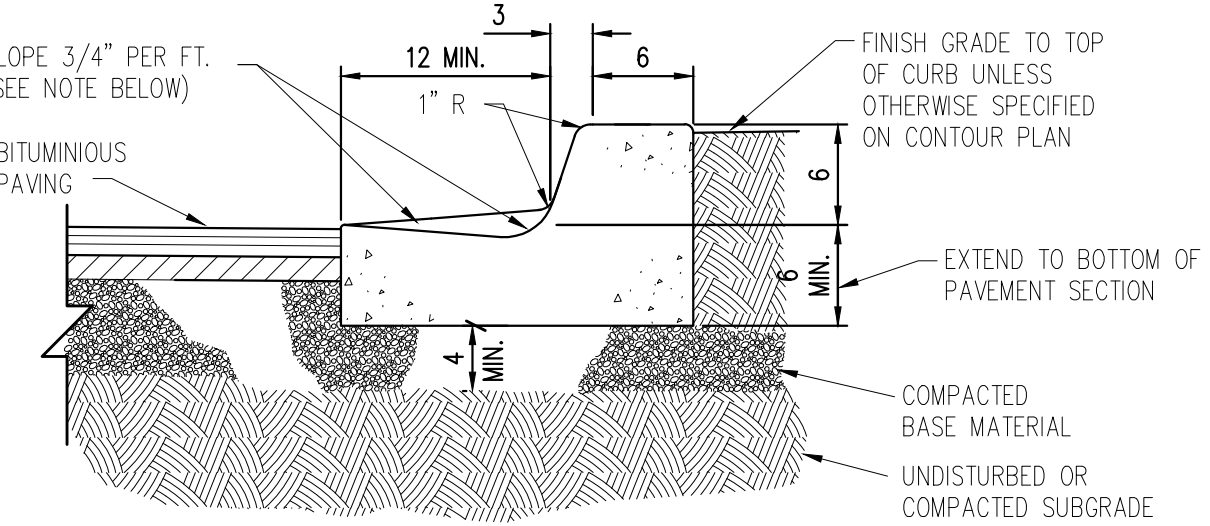


CONCRETE CURBS



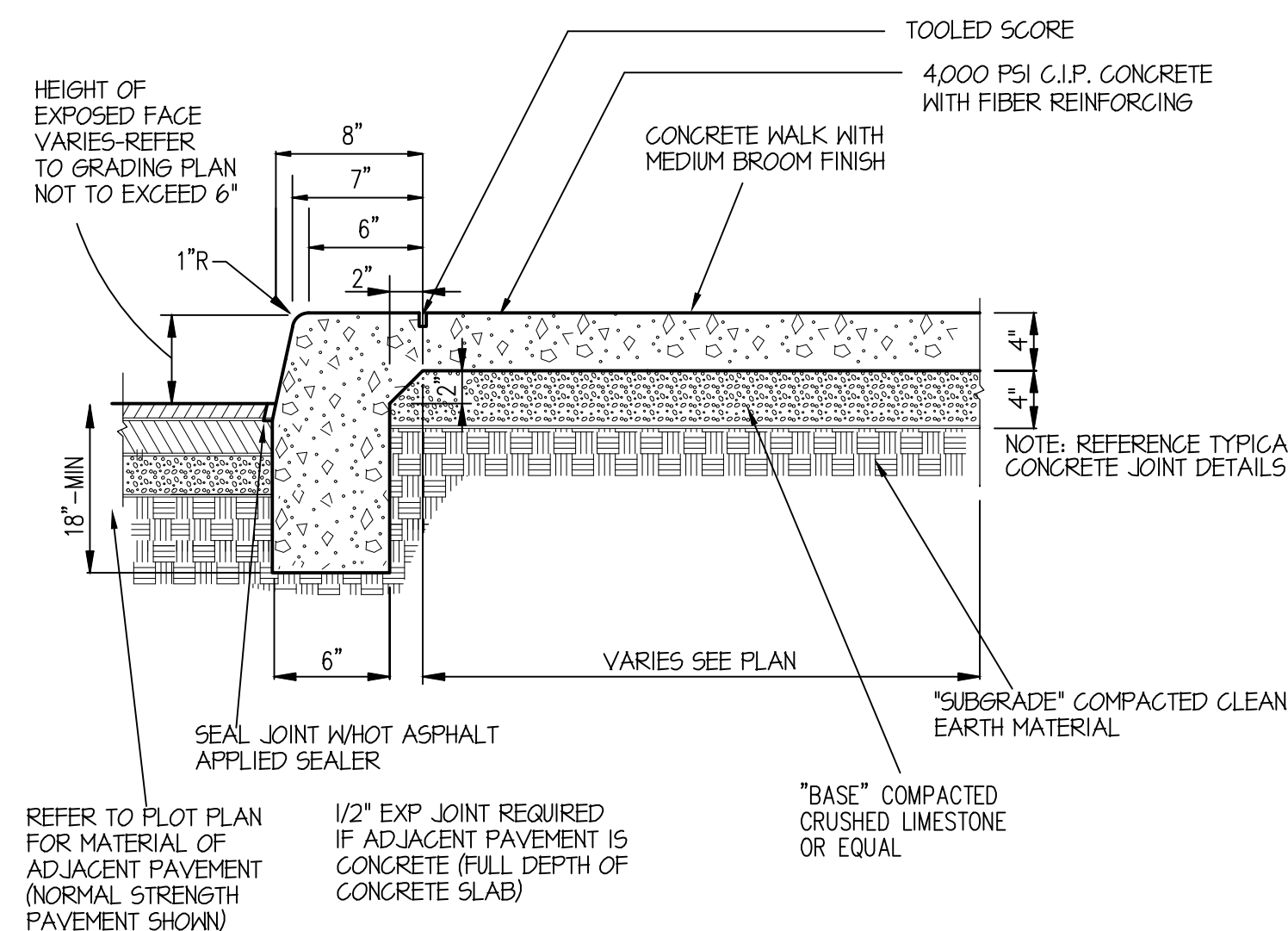
CAST-IN-PLACE CONCRETE CURB

PREFERRED



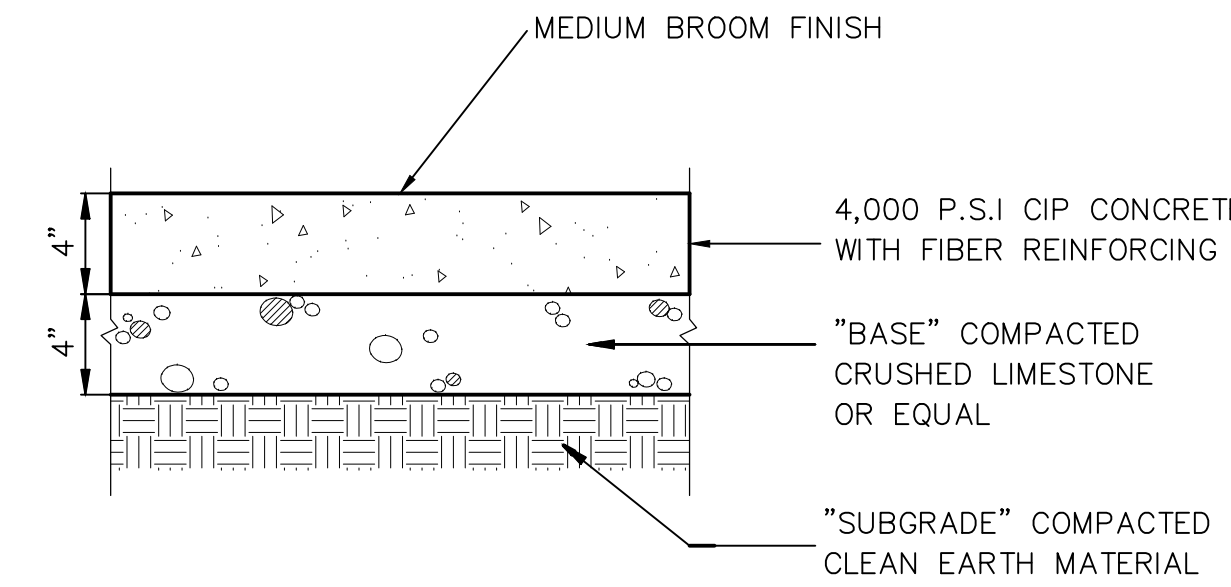
NOTE: GUTTER TO BE SLOPED DOWNGRADIENT TOWARDS CURB WHEN SITE GRADE IS TOWARDS CURB. GUTTER TO BE SLOPED DOWN GRADIENT AWAY FROM CURB WHEN SITE GRADE IS AWAY FROM CURB. MAY BE MACHINE FORMED.

STRAIGHT CONCRETE CURB & GUTTER

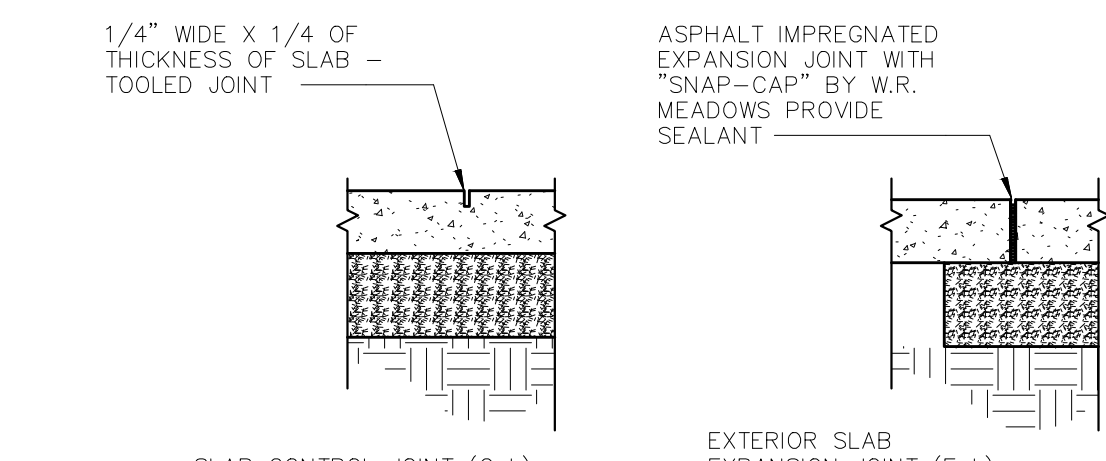


REFER TO PLOT PLAN FOR MATERIAL OF ADJACENT PAVEMENT (NORMAL STRENGTH PAVEMENT SHOWN)

- NOTE:
- TYPICALLY THERE IS 0" CURBING AROUND THE BUILDING
 - EXCEPTION: CA REQUIRES SIDEWALK CURBING AROUND THE BUILDING



CONCRETE SIDEWALK PAVEMENT

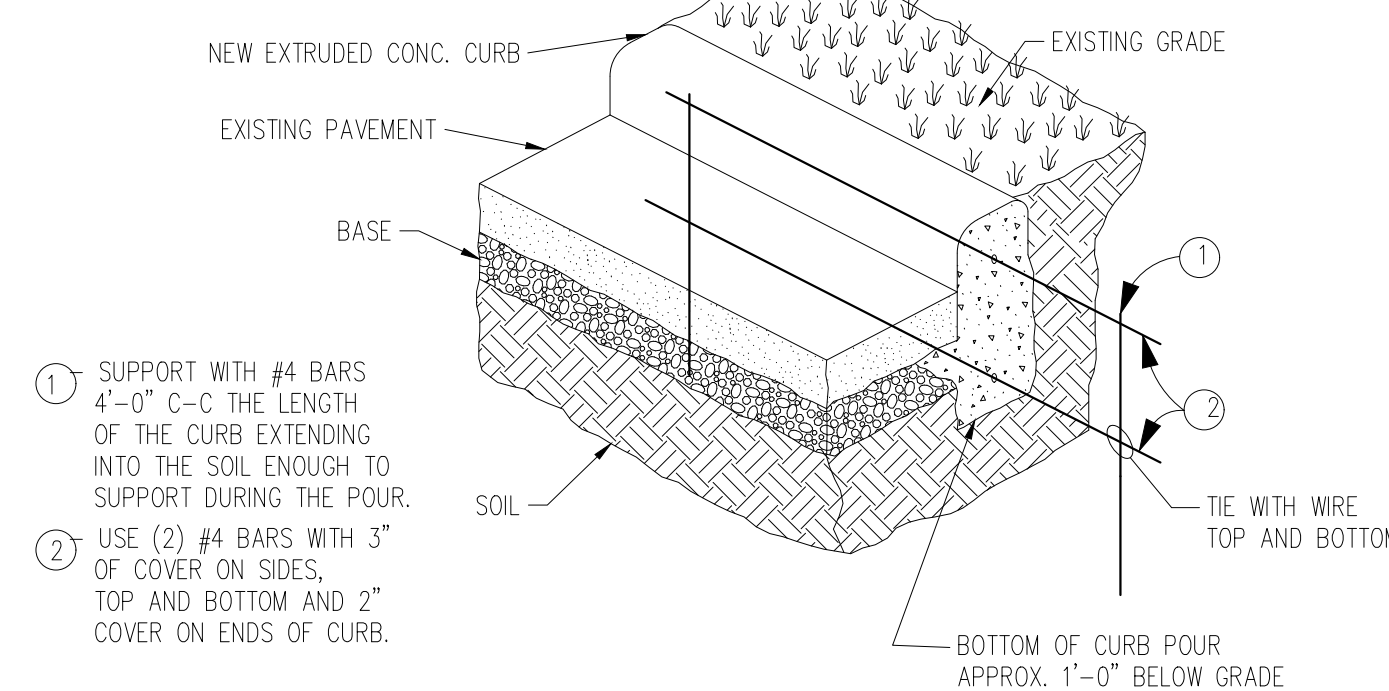


FOR 5' OR 8' WALKS, INSTALL A CONTROL JOINT EVERY 5' IN 10' WALKS. INSTALL A CONTROL JOINT EVERY 5' AND ONE IN THE CENTER (5' FROM THE BACK OF THE BUILDING FOR EXAMPLE)

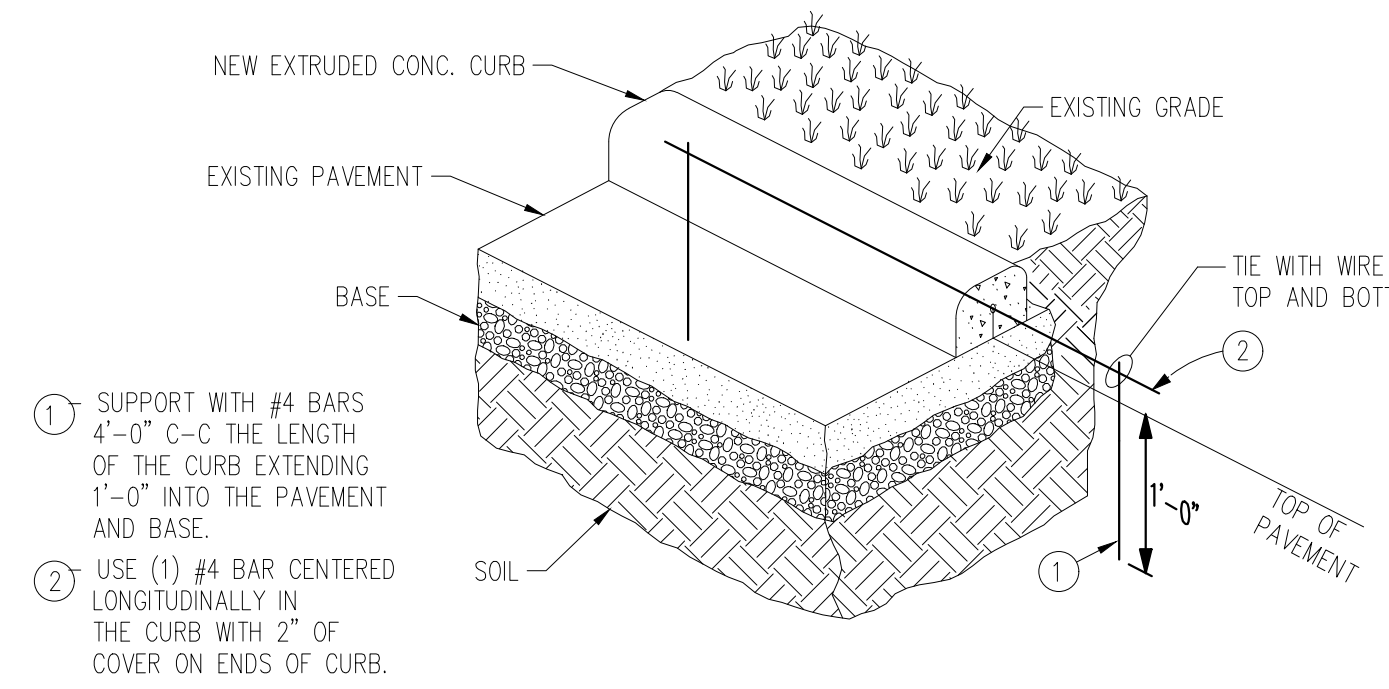
DETAILS ONLY APPLY TO BUILDING SIDEWALK. THEY DO NOT APPLY TO INTERIOR SLAB OR SITE CONCRETE.

SIDEWALK JOINTS

PREFERRED METHOD



ALTERNATE METHOD



COLD WEATHER CURB INSTALLATION

FOR USE WHEN COLD WEATHER CONDITIONS CAUSE ASPHALT PAVEMENT TO BE PLACED BEFORE THE CONCRETE CURB.

ASPHALT PAVEMENT INSTALLATION

ASPHALT SEALING

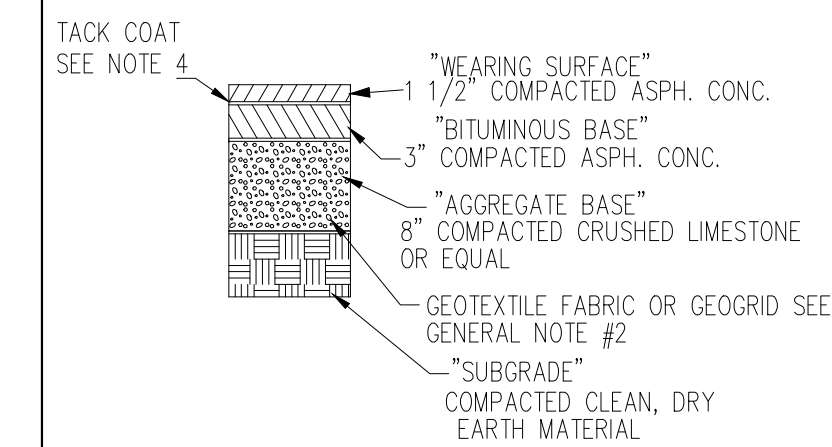
- SURFACE CLEANING:**
THE SURFACE TO BE SEALED SHALL BE FREE FROM DIRT AND OTHER FOREIGN MATTER. ANY ACCUMULATIONS OF OIL OR GREASE SHALL BE CLEANED OFF THE PAVEMENT WITH DETERGENT SOLUTION, THE RESIDUE OF WHICH SHALL BE THOROUGHLY WASHED AWAY WITH CLEAN WATER BEFORE SEALANT IS APPLIED.
- SEALING:**
THE SEAL COATING MATERIAL SHALL BE COMPRISED OF A RUBBERIZED COAL-TAR PITCH EMULSION AND SHALL MEET OR EXCEED FEDERAL SPECIFICATION R-P-355e. SUPPLIED IN CONCENTRATED FORM, IT SHALL BE DILUTED A MINIMUM OF 15% AND A MAXIMUM OF 25% WITH FRESH, CLEAN WATER. THE SEALANT MATERIAL SHALL CONTAIN 5-6 LBS. PER GALLON OF FINE, CLEAN, DRY SILICA SAND MEETING THE FOLLOWING GRADATION:

SIEVE SIZE	% PASSING
#16	100
#30	80-100
#50	10-60
#100	0-5

THE SEALANT SHALL BE APPLIED TO THE PAVEMENT IN TWO COATS AT THE RATE OF 0.08 TO 0.12 GALLONS PER SQUARE YARD. A LATEX ADDITIVE MAY ALSO BE ADDED TO THE SEALANT TO ALLOW FOR QUICKER DRYING TIME IN THOSE AREAS SPECIFIED BY OWNER'S REPRESENTATIVE.

NORMAL STRENGTH PAVEMENT

PARKING AREAS, AND OTHER LIMITED SERVICE TRAFFIC AREAS
GRANULAR BASE (PREFERRED)

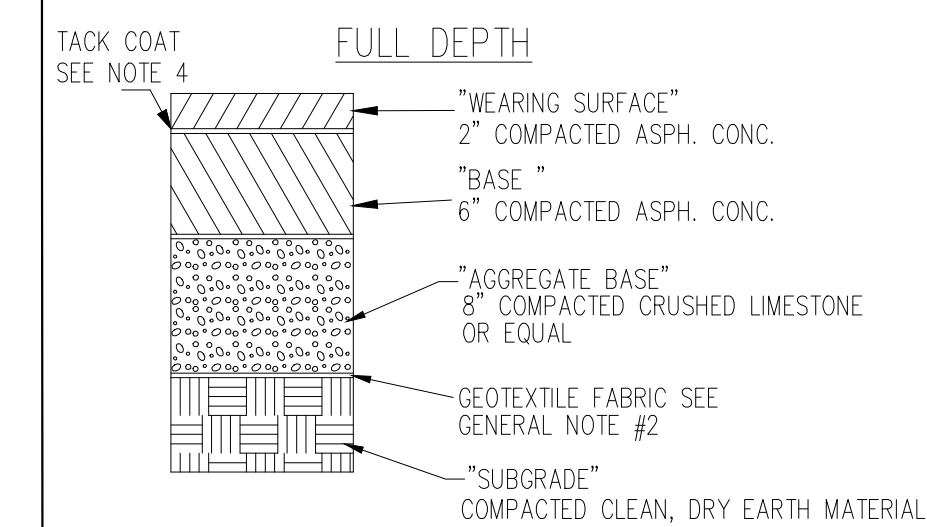


ASPHALT PAVEMENT GENERAL NOTES:

- ALL WORK SHALL BE IN CONFORMANCE WITH OWNER'S SPECIFICATIONS FOR ASPHALTIC CONCRETE PAVING.
- A GEOTEXTILE FABRIC OR GEOGRID IS ONLY NEEDED WHEN THE GEOTECHNICAL REPORT AND/OR A GEOTECH EXPERT REQUIRES IT FOR THE SPECIFIC SITE'S SOIL CONDITIONS.
- FOR SUBSURFACE DRAINAGE OR STABILITY ISSUES DURING CONSTRUCTION (UNDER DIRECTION BY GEOTECH EXPERT):
A. SUBSURFACE DRAINAGE ISSUE - REFER TO GUIDELINES FOR DRAINAGE ISSUES TO DERIVE ACCEPTABLE OPTIONS.
B. SUBSURFACE STABILITY ISSUE - INSTALL GEOGRID PER GEOTECH EXPERT RECOMMENDATION.
- REFER TO CIVIL DESIGN GUIDELINES (CDG) FOR PAVEMENT LOCATION GUIDANCE.

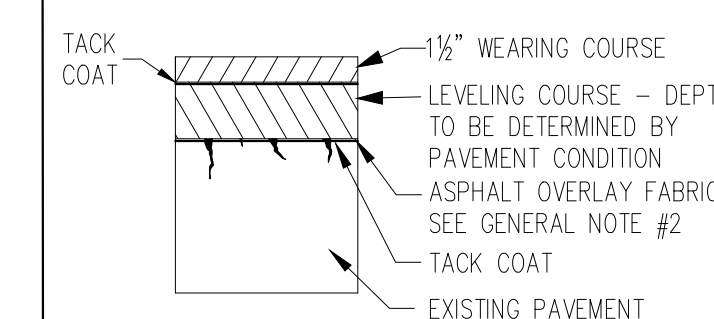
HIGH STRENGTH PAVEMENT

HEAVY LOAD TRAFFIC AREAS

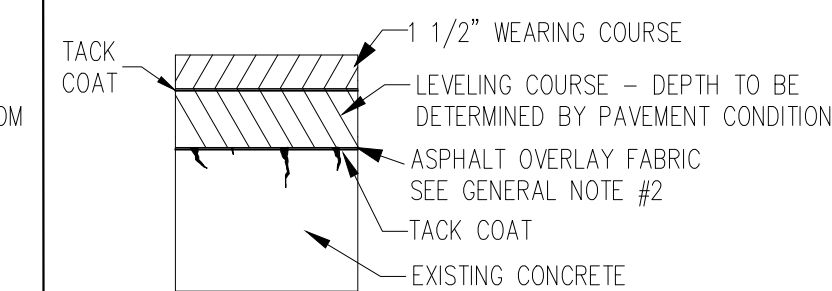


ASPHALT OVERLAY DETAIL

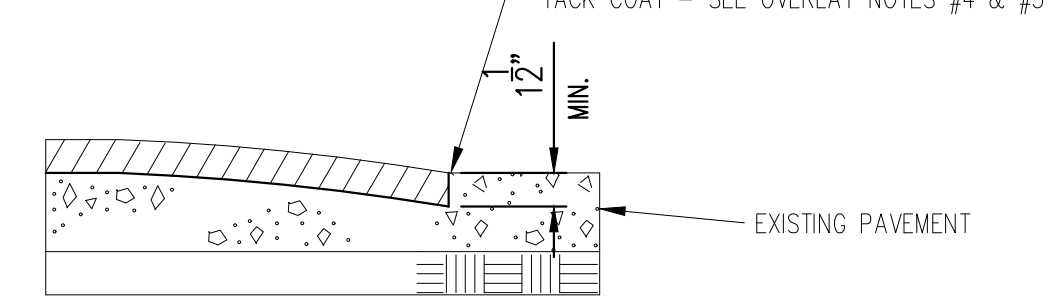
ASPHALT SUBBASE



CONCRETE SUBBASE



EDGE DETAIL



WHERE OVERLAY IS NOT SPECIFIED FOR ENTIRE EXISTING SURFACE, THE INTERFACE BETWEEN THE NEW OVERLAY AND THE OLD PAVEMENT SURFACE SHALL BE PER THE ABOVE DETAIL. FEATHERING OF THE ASPHALT TO MEET THE EXISTING PAVEMENT WILL NOT BE ACCEPTABLE.

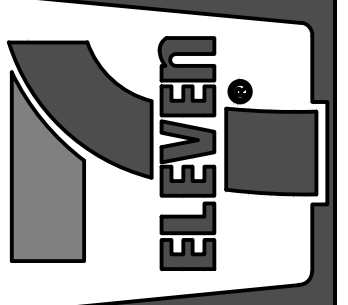
Description

Date

Rev. #

Proto 2022-04

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING TEXAS 75063
7-ELEVEN #46895 - SPEEDWAY #7645
1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
FUELING REMODEL
PAVEMENT AND CURBING DETAILS



CORE STATES GROUP
CONCRETE, ASPHALT AND ENGINEERING P.C.
ARCHITECTURE AND ENGINEERING
CERTIFICATE OF AUTHORIZATION
NO. 021979
46 East Main Street
P.O. Box 904
Suffolk, VA 23086
804.462.9700
core-states.com

Job#: SPW-36-100-SEI
Scale: AS NOTED
Date: 02/14/23
Drawn By: RMC
Checked By: CGC

Documents prepared by Core States Group are for use only for the specific project and intended. Any extension of use beyond the project or without the expressed, written consent of Core States Group is prohibited. Core States Group is not responsible for any other than that specifically intended, user will hold Core States Group harmless from all claims and lawsuits.

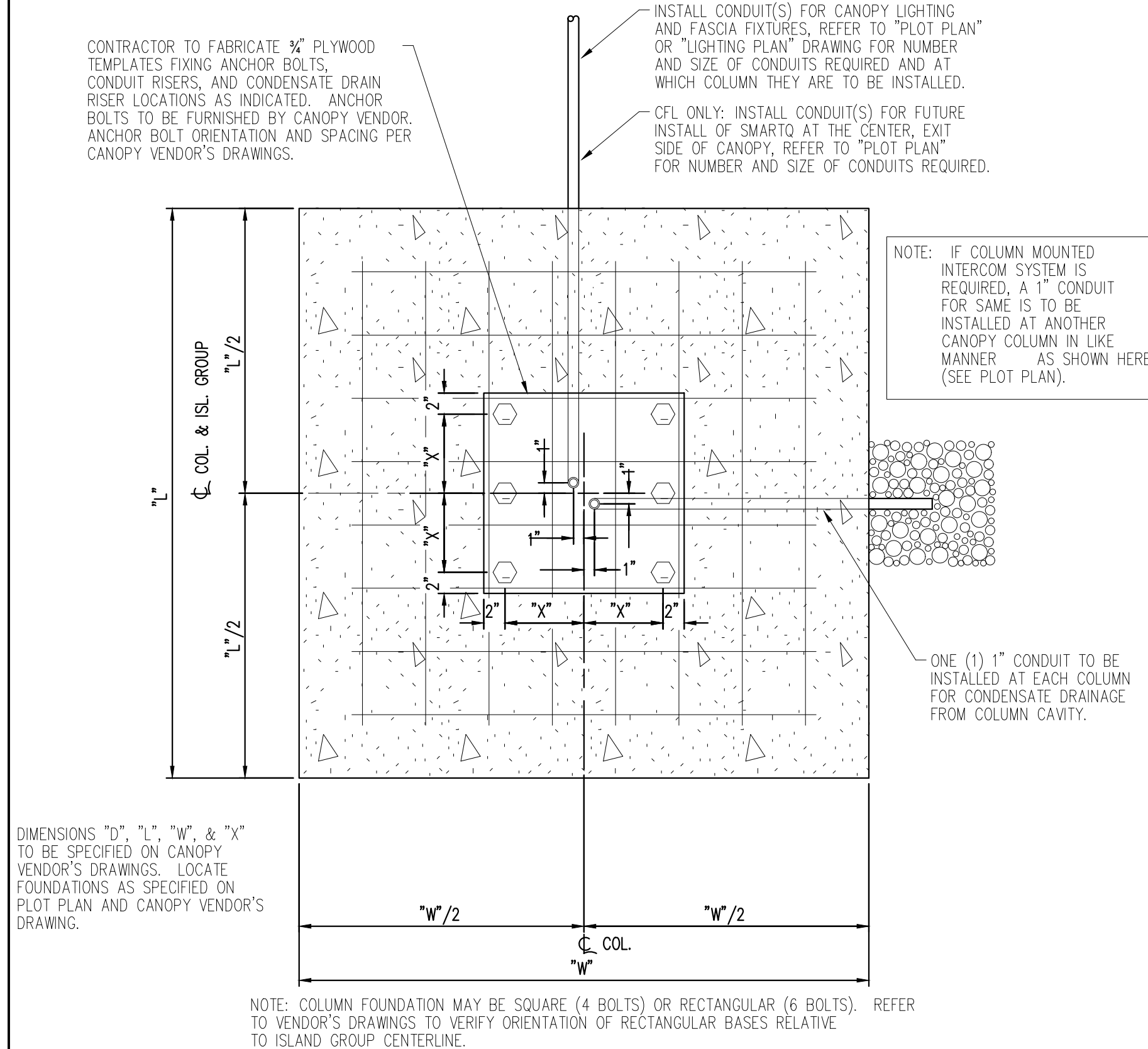


SHEET:

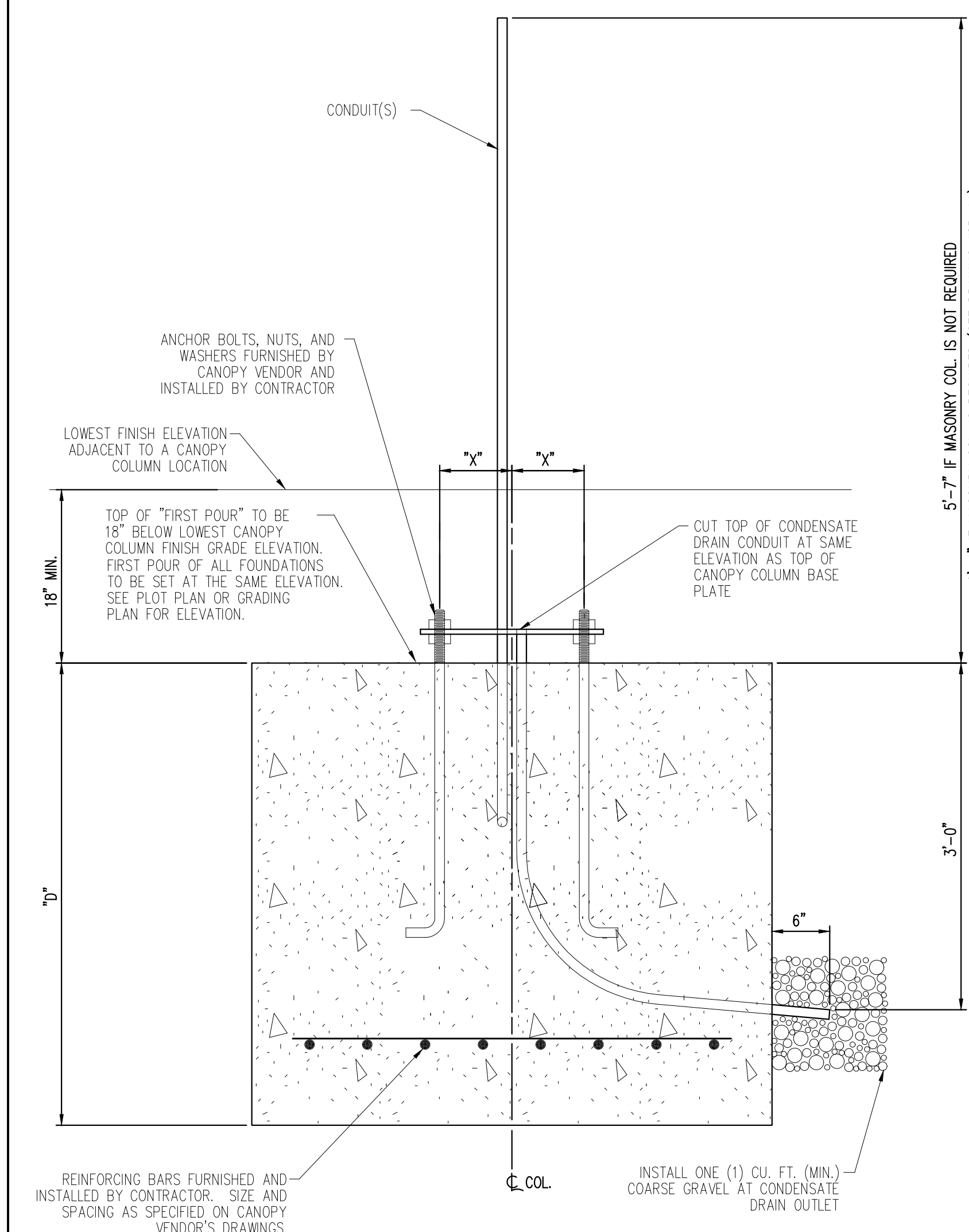
CPC-1

FUELING - USA

FIRST POUR

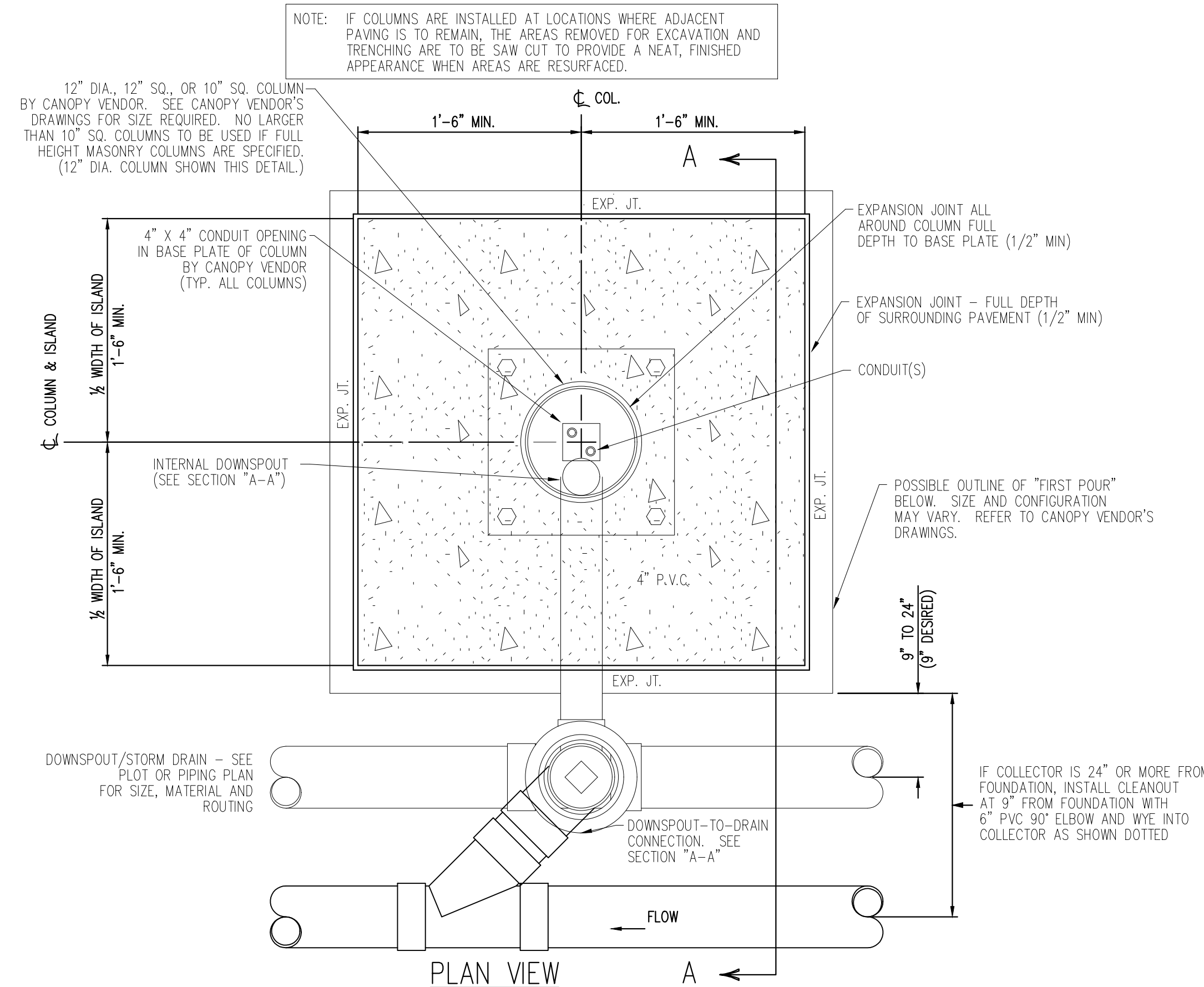


PLAN VIEW

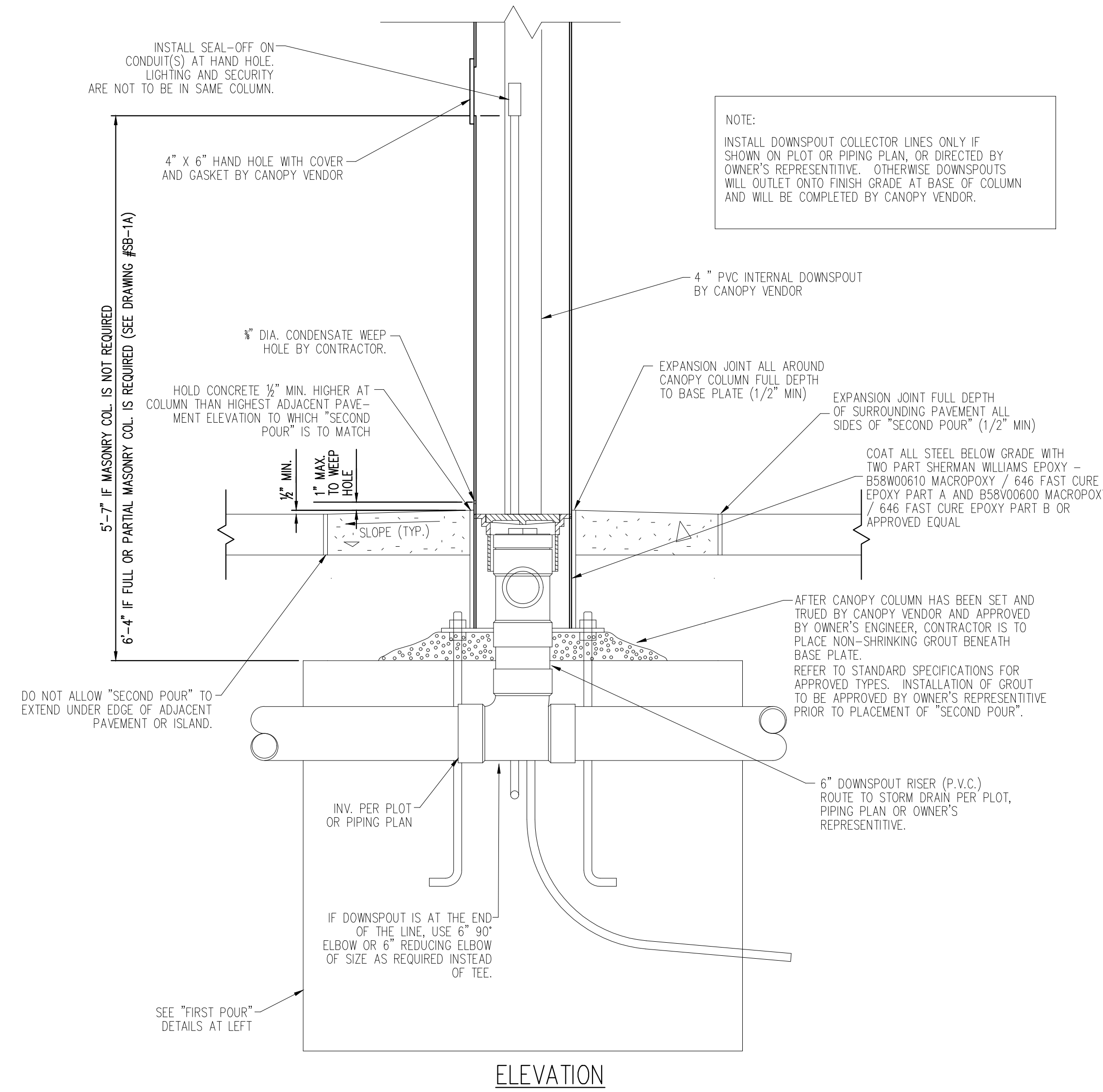


ELEVATION

SECOND POUR

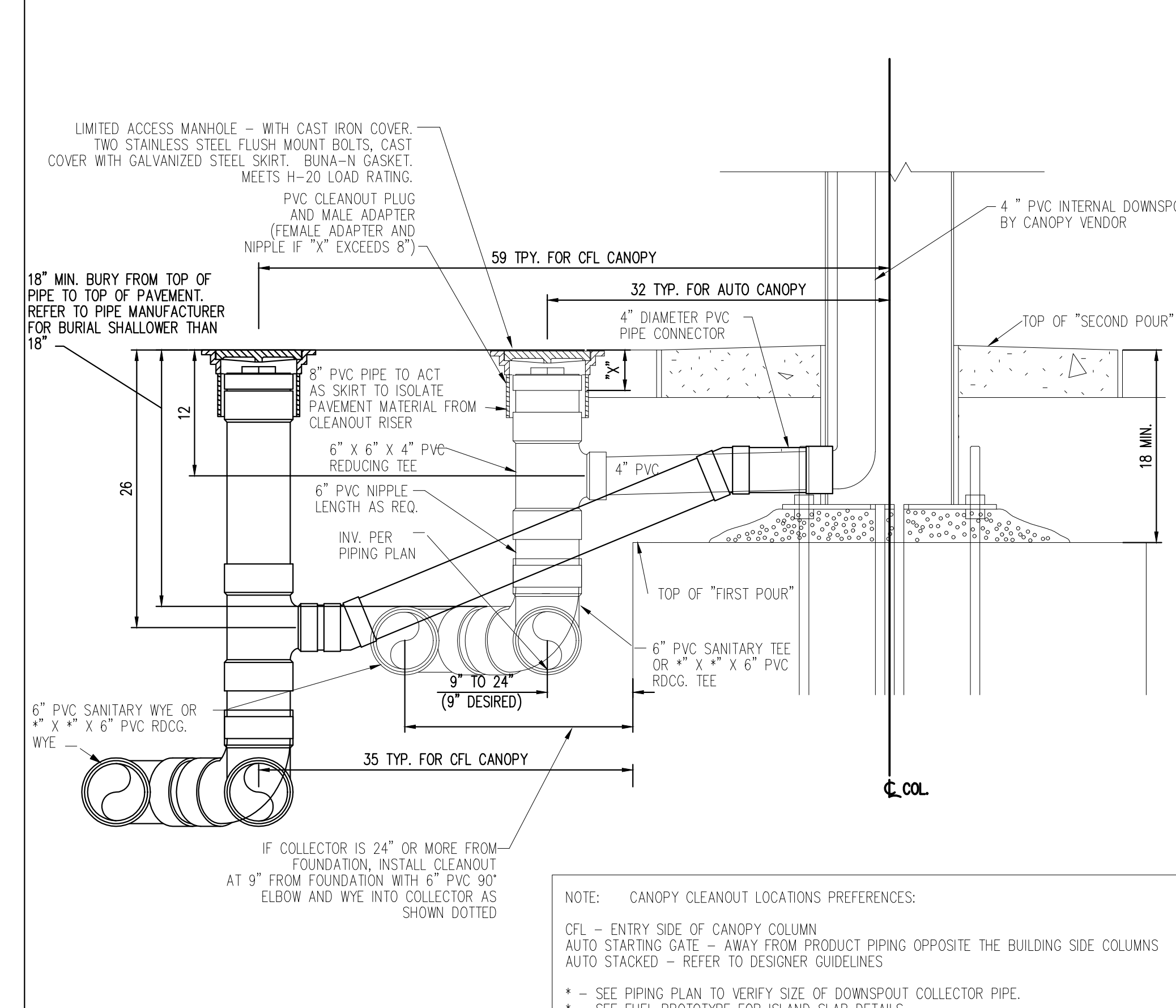


PLAN VIEW



ELEVATION

CANOPY DRAIN DETAILS



SECTION "A-A"
INTERNAL DOWNSPOUT

Job#: SPW-36-100-SEI	Scale: AS NOTED	Date: 02/14/23	Drawn By: RMC	Checked By: CGC
<p>Documents prepared by Core States Group are for the specific project and are not to be used for any other project without the written consent of Core States Group. Any extension of use without the written consent of Core States Group is prohibited. Core States Group is not responsible for any other party's use of these documents. User will hold Core States Group harmless from all claims and lawsuits.</p>				
<p>STATE OF NEW YORK PROFESSIONAL ENGINEER 092855 09-19-2023</p>				
<p>SHEET: SCB-1 FUELING - USA</p>				
<p>7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING TEXAS 75063 7-ELEVEN #46895 - SPEEDWAY #7645 1542 ROUTE 9 WAPPINGERS FALLS, NY 12590 FUELING REMODEL STANDARD CANOPY BASE DETAILS</p>				
<p>CORE STATES GROUP CONCRETES ARCHITECTURE AND ENGINEERING P.C. CERTIFICATE OF AUTHORIZATION NO. 003079</p> <p>46 East Main Street Suite 200A, NJ 08876 908.462.9700 core-states.com</p>				
<p>Proto 2022-04</p>				

John V. Sullivan
John Sullivan, Associate AIA
16 Barclay Street – Poughkeepsie, NY 12601

914.456.1299

Transmittal / Memorandum

Village of Wappingers Falls
Village of Wappingers Falls Planning Department
2582 South Avenue
Wappingers Falls, NY 12590

Date: November 8, 2023

Re: **2544 South Avenue (NY State route 9D)** Site plan review application for the proposed conversion to a four-family multi-residential building to replace an existing two-family dwelling.

Ten (10) copies of the following documents are attached:

- Completed application form.
- Short EAF
- Graphic drawing S-1 – Existing and proposed site plans with site improvements.
- Graphic drawing S-2 – Existing floor plans with proposed dwelling unit layouts, basement and third floors.

Attached are the following application fees and escrow:

- Application fee in the amount of **\$492. 50** (1,970 square feet x .25)
- Escrow in the amount of **\$750.00**

We kindly ask and request the planning board chairman to be placed on the December 7, 2023, planning board agenda, to present and discuss this application to the village planning board members, village staff and consultants. Thank you.

Respectfully submitted,

John Sullivan

Cc: Djallel Bouneffouf – application / owner

Short Environmental Assessment Form

Part 1 - Project Information

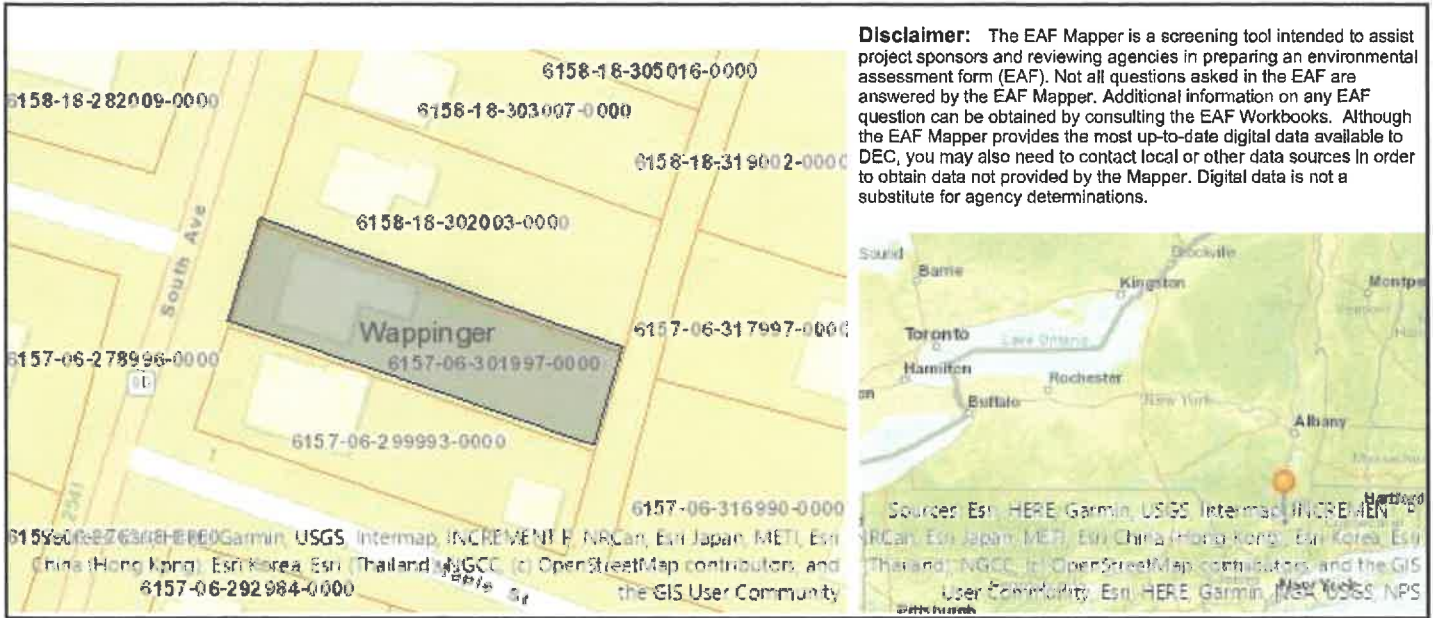
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: Amended site plan for an existing two-family dwelling converted to a four-family.				
Project Location (describe, and attach a location map): 2544 South Avenue (NY State 9D) Village of Wappingers Falls, New York				
Brief Description of Proposed Action: An existing two-family dwelling / amended site plan proposing two additional dwelling units, total of a four-family multi dwelling unit building. Site plan proposing landscape improvements, access driveway and a new refuse area.				
Name of Applicant or Sponsor: Djallel Buoneffouf		Telephone: 914.608.4492 E-Mail: djallel_info@yahoo.fr		
Address: 7 Gwen Way				
City/PO: Poughkeepsie		State: New York	Zip Code: 12603	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Wappingers Falls building department. Dutchess county planning.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.195 acres		
b. Total acreage to be physically disturbed?		0.04 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.195 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: The proposed action will consist of high efficiency heating / cooling equipment and LED lighting on the exterior. _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Potable water connection is existing.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Connection to wastewater is existing.	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat, Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: November 8, 2023

Date of Meeting: December 7, 2023

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website www.wappingersfallsny.gov.

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- ~~XXXXXXXXXX~~ / Site Review/ ~~XXXXXXXXXX~~

Items to be submitted for review: (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

(Separate Application)



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: November 8, 2023 Date of Meeting: December 7, 2023

Property Identification:

Address: 2544 South Avenue

Zoning District: VR - Village Residential Existing site area: 0.195+/- acres

Owner Information:

Name: Djallel Bouneffouf

Address: 7 Gwens Way

City: Poughkeepsie State: New York Zip: 12603

Contact Numbers: (H) _____ (C) 914.608.4492

(E-mail) djallel_info@yahoo.fr

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name: (same as above)

Address: _____

City: _____ State: _____ Zip: _____

Contact Numbers: (H) _____ (C) _____

E-mail Address: _____

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: John Sullivan / William Moreau P.E.

Title: Consultant

Architect Engineer

Company: _____

Address: 16 Barclay Street - Poughkeepsie, NY 12601

Telephone #: 914.456.1299

E-mail Address: jsullivan2@hvc.rr.com



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
(Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): Two-family dwelling units

Proposed square footage: 1,970

Project Description : *(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

Site plan review for an amended site plan for an existing two-family residence proposing two additional dwelling units. Four-family total. Site plan improvements, consisting of new landscaping and refuse area. New exterior stair to 3rd Level dwelling unit.

Items to be submitted for review: (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.



Signature of Applicant Signed

11.8.23

Date

Office use only:

[] FEE : _____ Receipt No. : _____ Cash / Check # _____ Date: _____

Revised by : _____ Revision date : _____
Zoning Administrator/Code Enforcement Officer



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: Djallel Bouneffouf
Address of property owner: 7 Gwens Way
City: Poughkeepsie State: New York Zip: 12603
Phone number of property owner: (Include home, work, mobile number and e-mail address):
(H) _____ (C) _____
(W) _____ (Email) djallel_info@yahoo.fr
Address of site where work is being conducted: 2544 South Avenue

Description of work: Site plan review for an amended site plan for an existing two-family residence proposing two additional dwelling units. Four-family total. Site plan improvements, consisting of new landscaping and refuse area. New exterior stair to 3rd Level dwelling unit.

Name of person doing work: John Sullivan
Address of person doing work: 16 Barclay Street
City: Poughkeepsie State: New York Zip: 12601
Phone number of person doing work (Include home, work, mobile numbers and e-mail address):
(H) _____ (C) 914.456.1299
(W) _____ (Email) jsullivan2@hvc.rr.com

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.



Signature of Property Owner

4.8.23

Date Signed

PART "A"
OWNER AFFIDAVIT

State of New York }
County of Dutchess } ss:

Djallel Bouneffouf being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize John Sullivan, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

Applicant/Owner

Applicant/Owner

Sworn to before me this 2 day of

November, 2023.

Notary Public

LARRY NELSON DETRICK JR
Notary Public - State of New York
No. 01DE0011103
Qualified in Dutchess County
My Commission Expires 07/13/2027

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of New York }
County of Dutchess } ss:

John Sullivan _____ being duly sworn, deposes and says:

1. That I/ [redacted] are the John Sullivan named in the foregoing application for Planning Board for [redacted] / [redacted] / Site Plan / [redacted] / [redacted] approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he [redacted] resides at [redacted] at 16 Barclay Street - Poughkeepsie in the County of Dutchess and the State of New York.
3. That I/ [redacted] understand that by submitting this application for Planning Board approval that I/ [redacted] expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/ [redacted] acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/ [redacted] understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/ [redacted] understand that I/ [redacted], and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/ [redacted] acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/ [redacted] understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/ [redacted] declare that I/ [redacted] has examined this affidavit and that it is true and correct.

[Signature]
Applicant/Agent

Applicant/Agent

Sworn to before me this 10th day of November, 2023.
[Signature]
Notary Public

PATRICIA M DUBOWSKI
Notary Public - State of New York
No. 01DU6425686
Qualified in Dutchess County
My Commission Expires 11/29/20 23

LANDSCAPE LEGEND	
3	ORNAMENTAL GRASS (ZEBRA)
4	SPIREA (BRIDAL WREATH) CLUSTER OF (3)
2	VIBURNUM "LEATHER-LEAF" (5'-0" HEIGHT)
18	SKIP LAUREL (4'-0" HEIGHT) (SPACED 3'-0" ON CENTER)

LANDSCAPE NOTES:

- PRIOR TO THE START OF CONSTRUCTION OR EXCAVATION, TREES TO BE RETAINED SHALL BE PROTECTED BY SIL FENCE, SNOW FENCE, CONSTRUCTION FENCE, OR EQUAL, WHICH WILL BE BEARED AT THE OWNER'S RISK. GENERAL FEET SETBACKS SHALL BE MAINTAINED. THE FENCING SHALL NOT CROSS PUBLIC SIDEWALKS, NO STORAGE OR STOWING OF CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT SHALL OCCUR WITHIN THE FENCED AREA.
- LAWN / GRASS AREAS SHALL BE SEEDD WITH A MIXTURE OF 50%-60% KENTUCKY BLUE, 20% PERENNIAL RYE AND 30% FINE OR RED FESCUE.



WEST/ FRONT FACING SOUTH AVE



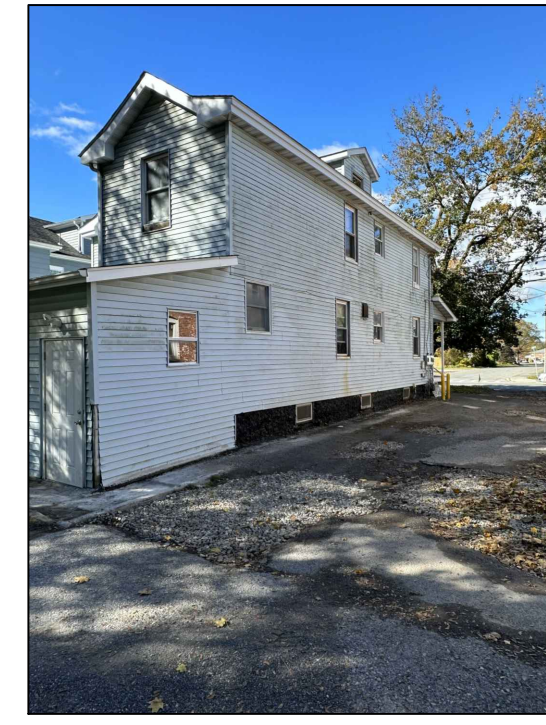
SOUTH FACADE



SOUTH EAST CORNER



EAST FACADE (REAR OF BUILDING)



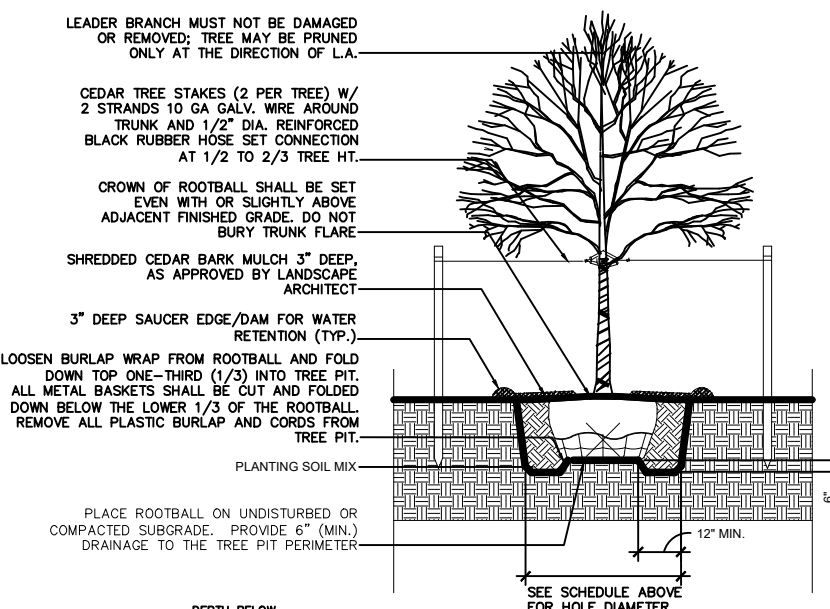
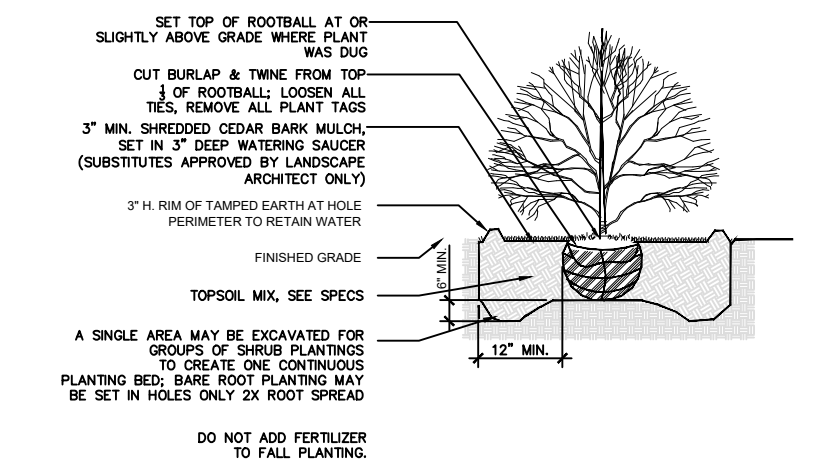
NORTH EAST CORNER



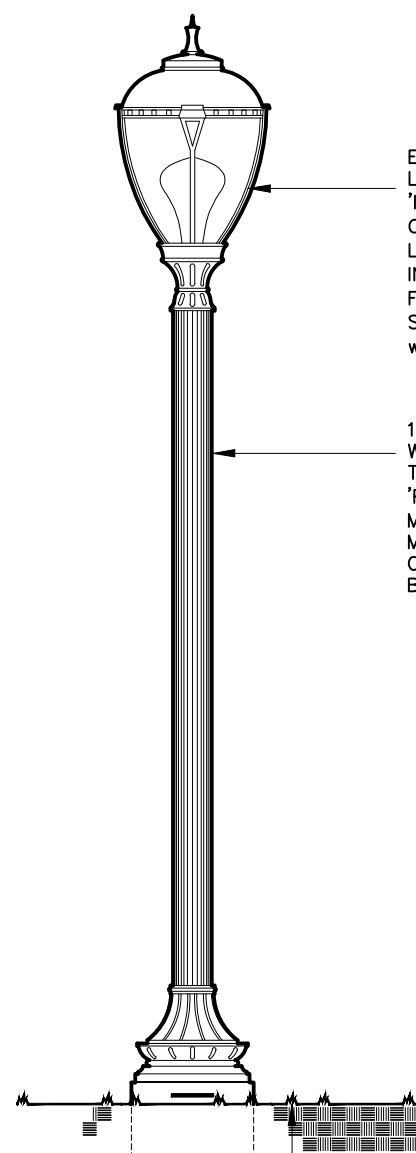
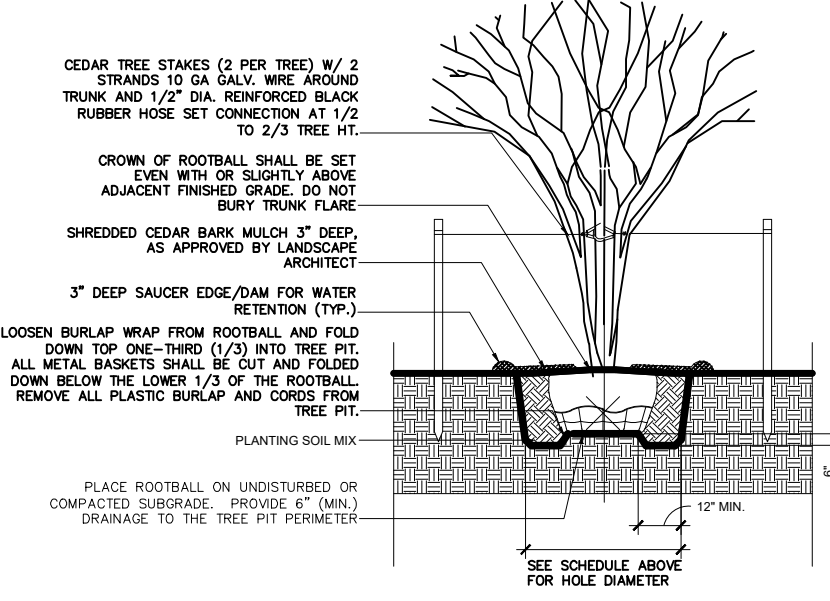
NORTH FACADE (SIDE OF BUILDING)

4 EXTERIOR PHOTOS OF EXISTING BUILDING

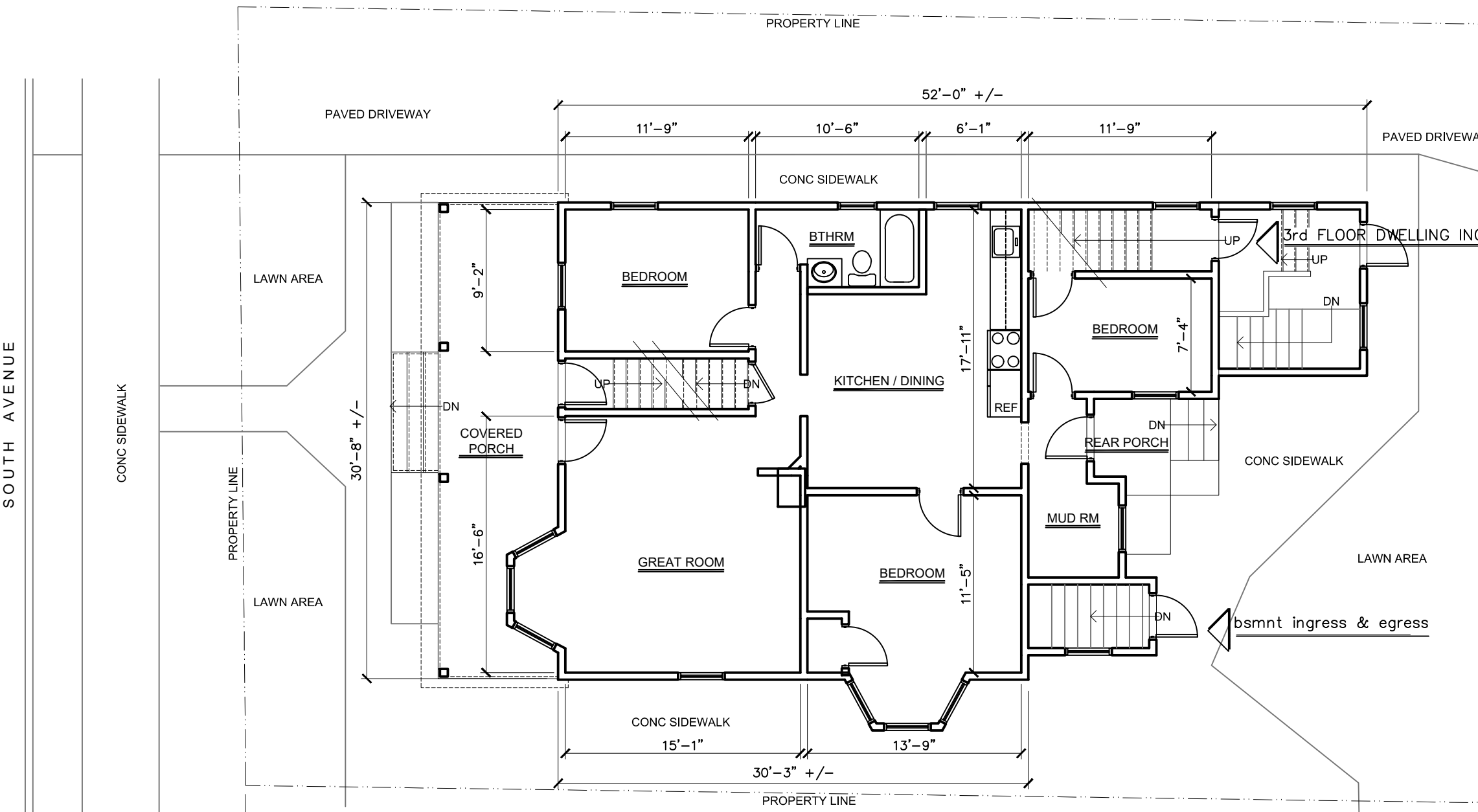
SCALE: NONE



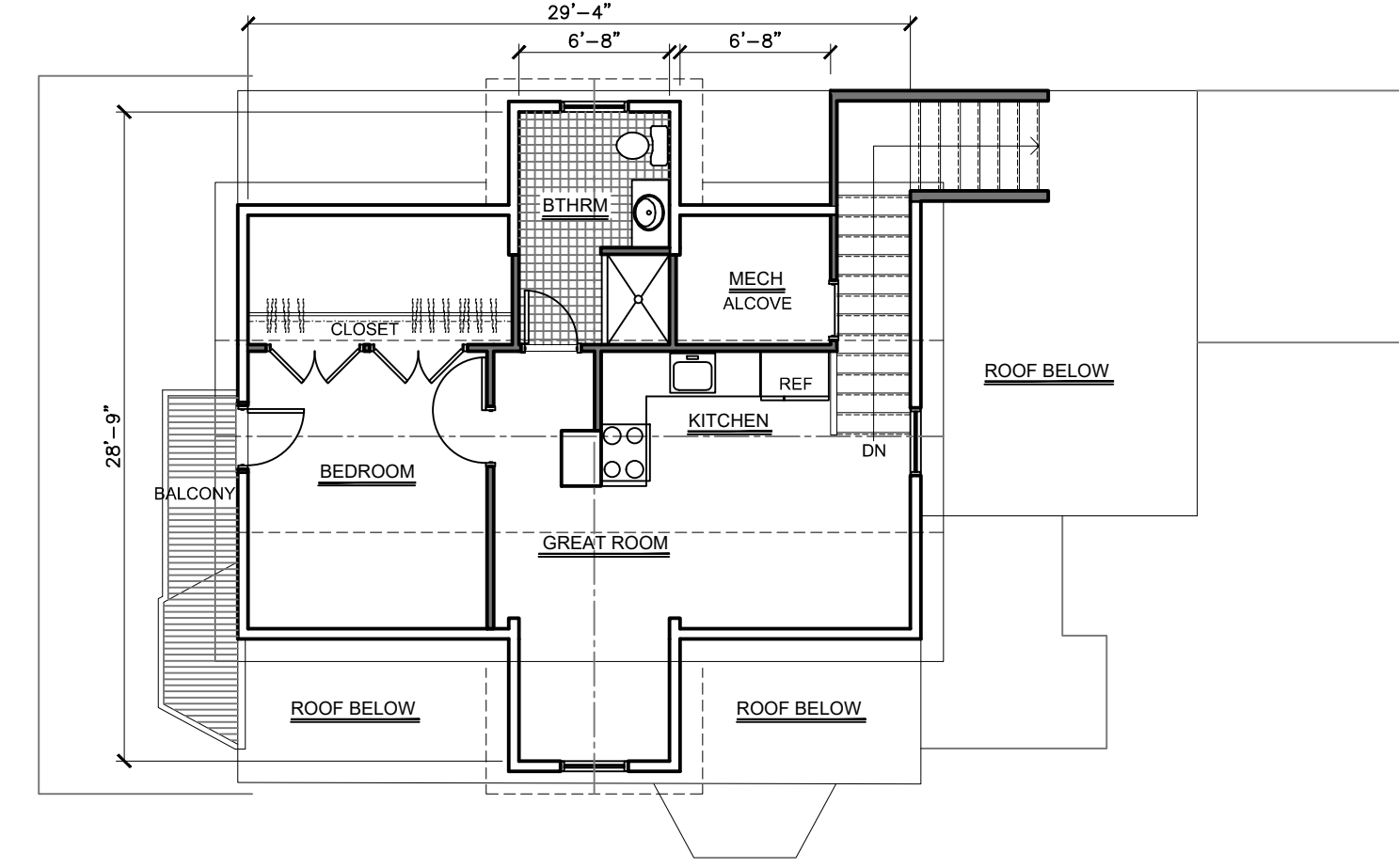
SOIL BALL SIZE	SOIL BALL
LESS THAN 4" BALL DIA. 8" H.	1/2" X 1/4" BALL 8" H.
4-8 FT DIA. 8" H.	1/2" X 1/4" BALL 8" H.
OVER 8 FT DIA. 1 1/2" BALL 8" H.	1/2" X 1/4" BALL 8" H.



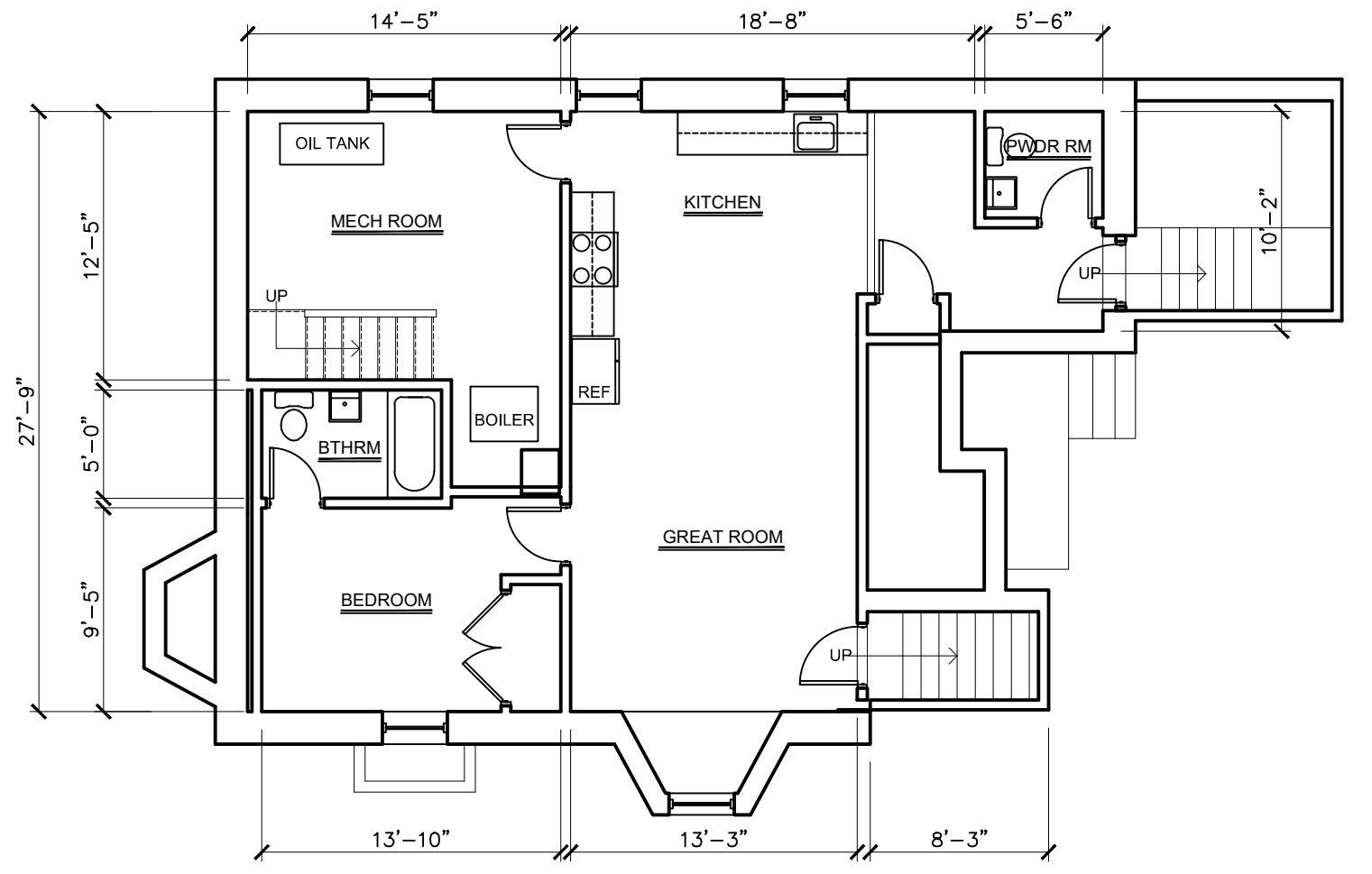
5 PROPOSED LIGHT POLE SCALE: none



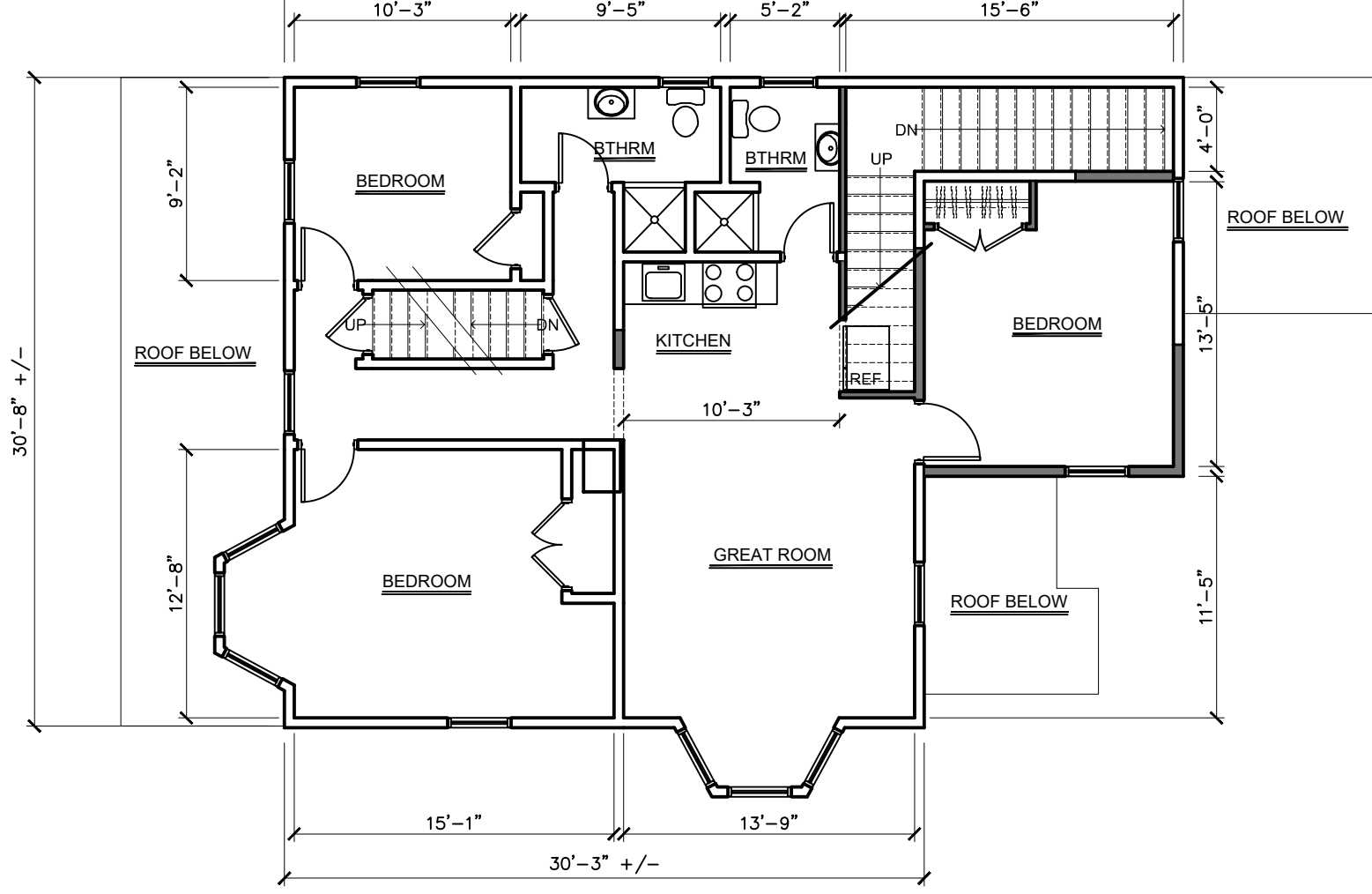
1 EXISTING FIRST FLOOR DWELLING UNIT 1,020 SQUARE FEET SCALE: 1/8" = 1'-0"



3 3rd LEVEL FLOOR PLAN w/ PROPOSED ONE BEDROOM DWELLING UNIT 550 SQUARE FEET SCALE: 1/8" = 1'-0"



Bsmnt BASEMENT FLOOR PLAN w/ PROPOSED DWELLING UNIT 685 SQUARE FEET SCALE: 1/8" = 1'-0"



2 EXISTING SECOND FLOOR DWELLING UNIT 990 SQUARE FEET SCALE: 1/8" = 1'-0"

EXCAVATION NOTE:
PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION THE GENERAL CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK 811" FOR ALL UNDERGROUND UTILITIES TO BE LOCATED AND MARKED FOR PRECISE LOCATION

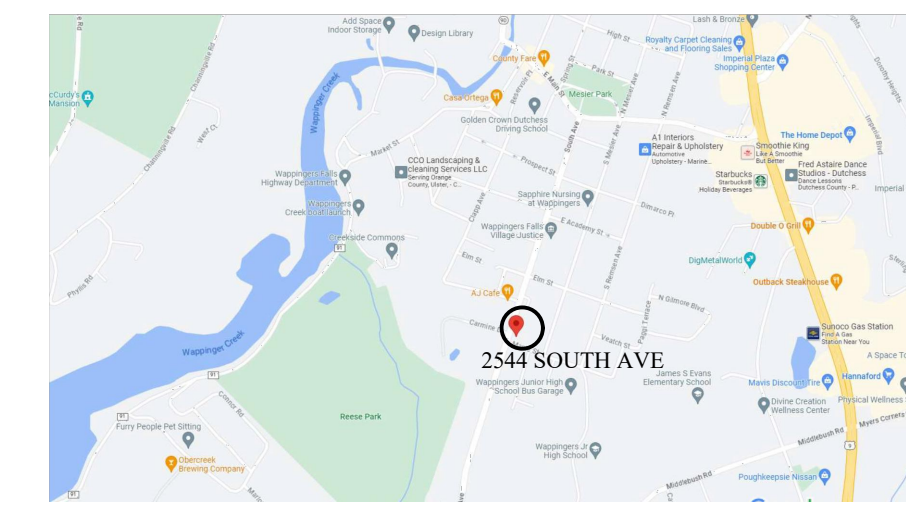


PLANNING BOARD SIGNATURE BLOCK
VILLAGE OF WAPPINGERS FALLS PLANNING BOARD
FINAL APPROVAL DATE: _____
PB CHAIR SIGNATURE: _____ DATE: _____
WITNESS: _____ DATE: _____

DESIGN AND DRAWINGS PREPARED BY: J. SULLIVAN - associate a.i.a. 16 BARCLAY STREET POUGHKEEPSIE, NY	DESIGN REVIEW, ENGINEERING & CERTIFICATION BY: WILLIAM MOREAU, P.E. 60 RYMPH ROAD LA GRANGEVILLE, NY	Date Issue 11.8.23 SUBMITTED TO VILLAGE OF WAPPINGERS FALLS PLANNING BOARD	Property Owners / Applicants DJALLEL BOUNEFUOFF 7 GWENS WAY POUGHKEEPSIE, NY 12603	Drawing Title PROPOSED SITE PLAN, w/ LANDSCAPING, LIGHTING & FLOOR PLANS	Scale 1/8"=1'-0" U.N.O. 0' 8' 16'	Project No. 2335 Date 10.30.23 Drawing By JVS Checked By JVS	Project Title AMENDED SITE PLAN FOR AN EXISTING TWO-FAMILY PROPOSING TWO ADDITIONAL DWELLING UNITS 2544 SOUTH AVENUE (STATE ROUTE 9D) VILLAGE OF WAPPINGERS FALLS, NY	Drawing No. S-2
---	---	---	---	---	---	---	--	--------------------

AMENDED SITE PLAN APPLICATION FOR A PROPOSED FOUR-FAMILY MULTI DWELLING UNIT BUILDING 2544 SOUTH AVENUE (state route 9D) VILLAGE OF WAPPINGERS FALLS, NY

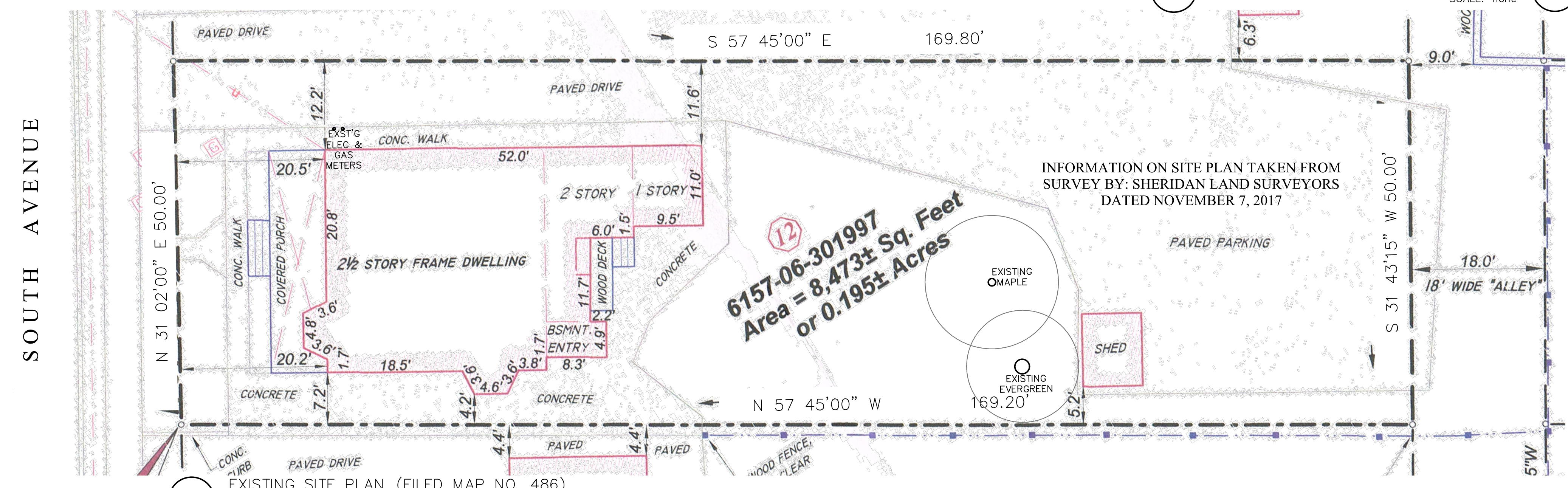
ZONING REQUIREMENTS			
ZONING DISTRICT:	VR - VILLAGE RESIDENTIAL		
TAX MAP No's.	135601-6157-06-301997		
LOT AREA:	8,473 SQ. FT. (0.195 ACRES) +/-		
BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
		(1) three-bedroom dwelling (1st floor) (1) four-bedroom dwelling (2nd floor)	(1) one-bedroom dwelling (basement) (1) one-bedroom dwelling (3rd level)
MIN. LOT AREA	7,500 SQ. FT.	8,473 SQ. FT.	8,473 SQ. FT.
MAX. LOT COVERAGE	60%	20%	NO CHANGE
MIN. LOT WIDTH	25'	50'	50'
MIN. LOT FRONTAGE	10'	50'	50'
MIN. FRONT YARD	10'	20.2'	NO CHANGE
MIN. SIDE YARD (FEET)	0'	7.2'	NO CHANGE
MIN. SIDE YARD (ACCESSORY SHED)	3'	5.2'	5'
MIN. REAR YARD (FEET)	10'	97'-4" +/-	NO CHANGE
MIN. GREENSPACE	15%	29%	29%
MAX. HEIGHT (FEET)	46' or 3 STORIES	< 46' or 2 1/2 STORIES	< 46' or 2 1/2 STORIES
MIN. PARKING SPACES	4	4	4



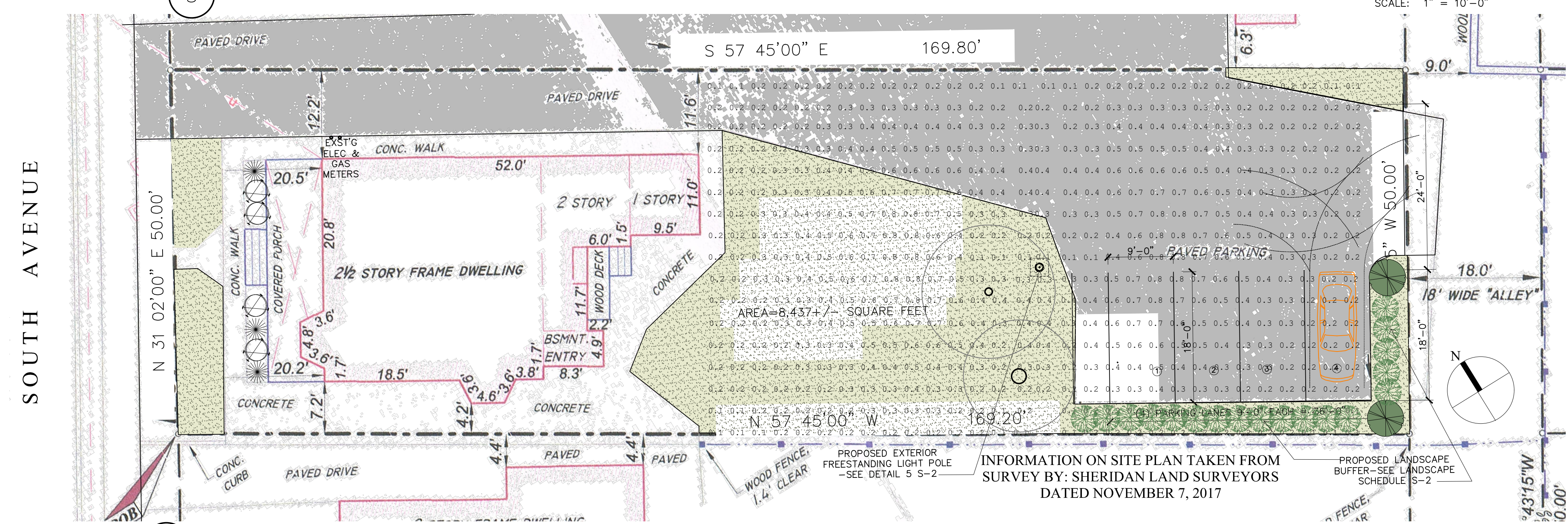
1 AERIAL PHOTO



2 LOCATION MAP



3 EXISTING SITE PLAN (FILED MAP NO. 486)



4 EXISTING SITE PLAN w/ PROPOSED IMPROVEMENTS

- ADJOINING PROPERTY INFORMATION
- 302003 ANTHONY SACCO 2548 SOUTH AVENUE - WAPPINGERS FALLS, NY 12590
 - 317997 STEVEN & CHRISTINA EVANS 85 SOUTH MESSIER AVE - WAPPINGERS FALLS, NY 12590
 - 316990 BARBARA L. MONTROSE TRUSTEE 87 SOUTH MESSIER AVE, WAPPINGERS FALLS, NY 12590
 - 299993 MARIA R. ZHININ 2542 SOUTH AVENUE - WAPPINGERS FALLS, NY 12590
 - 278996 NY STATE JUSTICE BUILDING - ALBANY, NY 12223
 - 282009 SARA JANE GOLDBERG 2645 SOUTH AVE - WAPPINGERS FALLS, NY 12590

EXCAVATION NOTE:
PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION THE GENERAL CONTRACTOR SHALL CONTACT "DIG SAFELY NEW YORK 811" FOR ALL UNDERGROUND UTILITIES TO BE LOCATED AND MARKED FOR PRECISE LOCATION

PLANNING BOARD SIGNATURE BLOCK

VILLAGE OF WAPPINGERS FALLS PLANNING BOARD

FINAL APPROVAL DATE: _____

PB CHAIR SIGNATURE: _____ DATE: _____

WITNESS: _____ DATE: _____

INDEX TO DRAWINGS

S-1	TITLE SHEET, NOTES, EXISTING & PROPOSED SITE PLANS (1"=10' SCALE)
S-2	EXISTING FLOOR PLANS w/ PROPOSED ALTERATIONS, LANDSCAPE & LIGHTING DETAILS

DESIGN AND DRAWINGS PREPARED BY: J. SULLIVAN - associate a.i.a. 16 BARCLAY STREET POUGHKEEPSIE, NY	DESIGN REVIEW, ENGINEERING & CERTIFICATION BY: WILLIAM MOREAU, P.E. 60 RYMPH ROAD LA GRANGEVILLE, NY	Date Issue 11.8.23 SUBMITTED TO VILLAGE OF WAPPINGERS FALLS PLANNING BOARD	Property Owners / Applicants DJALLEL BOUNEFUOFF 7 GWENS WAY POUGHKEEPSIE, NY 12603	Drawing Title EXISTING & PROPOSED SITE PLAN	Scale 1" = 10'-0" U.N.O. 	Project No. 2335 Date 10.30.23 Drawing By JVS Checked By JVS	Seal	Project Title AMENDED SITE PLAN FOR AN EXISTING TWO-FAMILY PROPOSING TWO ADDITIONAL DWELLING UNITS 2544 SOUTH AVENUE (STATE ROUTE 9D) VILLAGE OF WAPPINGERS FALLS, NY	Drawing No. S-1
---	---	---	---	--	---------------------------------	---	------	---	--------------------

November 30, 2023

Village of Wappingers Falls Planning Board
Mr. Tom Morris, Chairman
2582 South Avenue
Wappingers Falls, New York 12590

Re: Buckingham Properties, Channingville Road & Nelson Avenue, SEOR Part 3 Review
Tax ID#: 134601-6158-13-071325
JRFA Job #06120201

Dear Chairman Morris and Members of the Board:

Our office has received and reviewed the following documents submitted for the above referenced project, prepared by Insite Engineering, Surveying & Landscape Architecture, P.C.:

- "Overall Plan", Sheet OP-1, revised September 13, 2023.
- "Existing Conditions Plan", Sheet EX-1, revised September 13, 2023.
- "Layout & Landscape Plan", Sheet SP-1, revised September 13, 2023.
- "Grading & Drainage Plan", Sheet SP-2, revised September 13, 2023.
- "Utilities Plan", Sheet SP-3, revised September 13, 2023.
- "Erosion & Sediment Control Plan", Sheet SP-4, revised September 13, 2023.
- "Lighting Plan", Sheet LP-1, revised September 13, 2023.
- "Entrance Driveway Profile", Sheet PR-1, revised September 13, 2023.
- "Details", Sheet D-1, revised September 13, 2023.
- "Details", Sheet D-2, revised September 13, 2023.
- "Details", Sheet D-3, revised September 13, 2023.
- "Details", Sheet D-4, revised September 13, 2023.
- "Details", Sheet D-5, revised September 13, 2023.
- "Details", Sheet D-6, revised September 13, 2023.
- "Preliminary Stormwater Pollution Prevention Plan" dated September 13, 2023.
- "Preliminary Water Engineering Report", dated June 14, 2023.
- "Full Environmental Assessment Form", dated June 14, 2023
- "Full Environmental Assessment Form Part 3 Responses, undated.

Prepared by CLA Site Landscape Architecture, Engineering, Planning, P.C.:

- "Visual Assessment photos", dated June 1, 2023.

Prepared by Charles P. May & Associates, P.C.:

- "Cover Sheet", Sheet CS-1, dated June 13, 2023.

- “Town House Plans & Elevations”, Sheet A-1, dated June 13, 2023.
- “Building A Front Elevation”, Sheet A-2, dated June 13, 2023.
- “Building A Plans”, Sheet A-3, dated June 13, 2023.
- “Building C Plans & Elev”, Sheet A-4, dated June 13, 2023.
- “Clubhouse Plans & Elev”, Sheet A-5, dated June 13, 2023.
- “Clubhouse Elevations”, Sheet A-6, dated June 13, 2023.
- “Apartment Rendering”, Sheet A-7, dated June 13, 2023.
- “Clubhouse Rendering”, Sheet A-8, dated June 13, 2023.
- “Architectural Details”, Sheet AD-1, dated June 13, 2023.

Project Description

The subject property is a 13.42 acre parcel in the Residential Mixed Use (RMU) district. It is located on Channingville Road & the south end of Nelson Avenue. The applicant is proposing a multi-family residential development with 188 units.

Required Approvals

- Site Plan Approval is required from the Planning Board.
- Village DPW Superintendent approval is required for the roadway entrance on Nelson Avenue.
- NYS Department of Health approval is required for the sewer and potable water extension.
- Village of Wappingers Falls Fire Department approval is required for the site accessibility.
- Village of Wappingers Falls Water Board approval is required for the potable water connection.
- Village of Wappingers Falls Board approval is required for the sewer connection.
- Tri-Municipal Sewer Commission approval is required for the sewer connection.
- Amended site plan approval for the Oak Tree Gardens property may be required from the Planning Board.
- Mailbox location and details approval from the Wappingers Falls Postmaster.

Based on our review of the submitted documents, we offer the following comments in reference to the SEQR Part 3 document submitted, which may warrant discussion with the applicant and/or action by the Board:

Engineer Review of SEQR Part 3

Section 1b.

1. The project Erosion and Sediment Control Plan is to be reviewed and approved by the Village Engineer prior to the conclusion of SEQR.

Section 1c.

1. A boring plan is required to determine actual depth to bedrock throughout the project site. The boring plan will allow adequate cut and fill calculations of bedrock on the project site.

2. A blasting plan is required. The blasting plan should establish the protocols to be used to remove the bedrock safely and efficiently on the project site via blasting. The blasting plan should incorporate local, state, and federal blasting regulations, controlling distances, inspections (pre/during/post), hours and days blasting will occur, noise control, equipment noise levels, dust control, equipment to be used and the monitoring plan for nearby structures. Per Insite letter dated September 13, 2023, Engineer response #17, "As part of the SEQRA process our office will confirm if blasting is permitted with the Building Department and provide a general outline of the blasting protocols".
3. Will blasted bedrock be processed on site for site use or will it be trucked away? If bedrock is processed on site, a bedrock processing plan is required. The bedrock processing plan should establish the protocols to be used to process the bedrock safely and efficiently on the project site. The processing plan should incorporate local, state, and federal processing regulations, controlling distances, inspections (pre/during/post), hours and days processing will occur, noise control, dust control, equipment to be used and the monitoring plan for nearby structures. If bedrock is not processed on site, a bedrock trucking plan is required. The bedrock trucking plan should establish the protocols to be used to truck the bedrock safely and efficiently from the project site. The trucking plan should establish the truck routes to be used, types of trucks, estimated number of truck trips, hours and days trucking will be in operation.

Section 1e.

1. A construction phasing/sequencing plan should be provided on the plan set. Construction phasing should consider amounts of truck traffic and routes, measures to reduce impacts on adjacent village roadways, and reduce construction noise and dust.

Section 1f.

1. The project Erosion and Sediment Control Plan is to be reviewed and approved by the Village Engineer prior to the conclusion of SEQR.

Section 1h.

1. The Preliminary Stormwater Pollution Prevention Plan is to be reviewed and approved by the Village Engineer prior to the conclusion of SEQR.

Section 4a and 4b.

1. The Village of Wappingers Falls Water Treatment Plant does not have enough potable water capacity for the project currently. Improvements to the water treatment plant are ongoing and are expected to be completed prior to the finalization of construction of the project. The Insite water engineering report for the project makes note of these issues and the project will not be granted access to Village water until the water treatment plant capacity issues are resolved.

Section 14b, 14c. and 14d.

1. The energy need for the project is substantial even though it is a residential buildout. Correspondence from Central Hudson should be provided to show that adequate electrical and natural gas facilities are within the project area and no substantial utility infrastructure improvements are required.

Section 15a and 15b.

1. See response #2 in Section 1c.

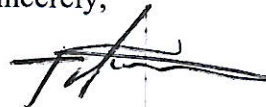
Sewer

1. Please note that the Tri-Municipal Sewer Authority has provided guidance that no new sewer connections to the Tri-Municipal Sewer system will be allowed until the infiltration and inflow condition within the Village is corrected to the satisfaction of the NYSDEC and the wastewater treatment plant deficiencies are corrected to the satisfaction of the NYSDEC as well.

This information is based on my review of the documents submitted. Additional review comments may be provided throughout the process as the application is evaluated. Written responses to these comments **MUST BE PROVIDED** with any future submittals.

Should you have any questions or comments, please feel free to contact our office.

Sincerely,



Todd W. Atkinson, P.E.
Village Engineer

TWA/jac

cc:

Brenda Alfonso (via email)
Lisa M. Cobb, Esq. (via email)
Michelle Greig (via email)
Brian Murphy (via email)
Applicant
File



VILLAGE OF WAPPINGERS FALLS

**BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov**

APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: 11/8/2023

Date of Meeting: 12/7/2023

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website www.wappingersfallsny.gov.

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

Items to be submitted for review: (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

(Separate Application)



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: _____ Date of Meeting : _____

Property Identification:

Address: _____

Zoning District: _____ Existing site area: _____

Owner Information:

Name : Mary Beth Wise

Address : 137 Old Mill Road

City: Greenwich State: CT Zip: 06813

Contact Numbers: (H) _____ (C) _____

(E-mail) 2651east@gmail.com

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name : Amy Hall

Address: 2833 Route 9D #7

City: Wappingers Falls State: NY Zip: 12590

Contact Numbers: (H) _____ (C) 646-669-0439

E-mail Address: amy.hall.13@gmail.com

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: _____

Title: _____

Architect Engineer

Company: _____

Address: _____

Telephone # : _____

E-mail Address: _____



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
(Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): Retail - Gift Shop

Proposed square footage: 900 sq ft

Project Description :*(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

Quincy's Candy Shop will be a classic candy store and gift shop. Selling candy and candy themed gifts: greeting cards, stickers, totes, hats, mugs, and t-shirts.

Because we plan to offer bulk bin "pick and mix" candy, we will need to install a 2 basin sink, a hand washing sink, and a small utility sink to be in compliance with New York State food processing facility requirements.

Plumbing already exists in the space, we'll just extend it to include the new sinks.

We also plan to install a partial wall to hide the additional sinks

We also plan to add a cash wrap counter and various retail fixtures and displays.

Items to be submitted for review: (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.



Signature of Applicant Signed

Date

Office use only:

[] FEE : _____ Receipt No. : _____ Cash / Check # _____ Date: _____

Revised by : _____ Revision date : _____
Zoning Administrator/Code Enforcement Officer



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: Mary Beth Wise

Address of property owner: 137 Old Mill Road

City: Greenwich

State: CT

Phone number of property owner: (Include home, work, mobile number and e-mail address):
(H) _____ (C) (914) 420-4845 Zip: 06831

(W) _____ (Email) 2651east@gmail.com

Address of site where work is being conducted: 2651 East Main Street Wappingers Falls, NY 12590

Description of work: Installation of a 2 basin sink, handwashing sink, and small utility sink. Addition of a cash wrap counter and various retail fixtures and displays.

Name of person doing work: Dan Cavaccini, Contractor and Paul Freno, Plumber

Address of person doing work: _____

City: _____ State: _____ Zip: _____

Phone number of person doing work (Include home, work, mobile numbers and e-mail address):

(H) _____ (C) Dan, 914-213-7591 & Paul, 845-494-9222

(W) _____ (Email) _____

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.

M. Wise
Signature of Property Owner

11.8.2023
Date Signed

617.20
Appendix B
Short Environmental Assessment Form

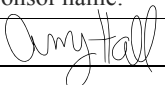
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Quincy's Candy Shop LLC, Amy Hall (Owner)			
Name of Action or Project: Opening a new business, a candy and gift store			
Project Location (describe, and attach a location map): 2651 E Main Street (retail store front)			
Brief Description of Proposed Action: Quincy's Candy Shop is a candy store and gift shop that will sell all types of candy and candy themed gifts like pick and mix style candy, classic and nostalgic, new and novelty, locally made candy, greeting cards, stickers, tote bags, mugs, hats, and t-shirts celebrating sweets and the village of Wappingers Falls.			
Name of Applicant or Sponsor: Amy Hall		Telephone: 646-669-0439	
		E-Mail: amy.hall.13@gmail.com	
Address: 2833 Route 9D Unit 7			
City/PO: Wappingers Falls		State: NY	Zip Code: 12590
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Article 20-C Food Processing Establishment license from the NYS Department of Agriculture		NO	YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
Urban	Rural (non-agriculture)	Industrial	Commercial Residential (suburban)
Forest Agriculture Parkland	Aquatic	Other (specify): _____	

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ _____	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	NO	YES	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural/grassland Early mid-successional Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems off and storm drains)? If Yes, briefly describe: _____	NO	YES	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: _____	Date: _____	
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of New York }
County of Dutchess } ss:

Amy Hall being duly sworn, deposes and says:

1. That I/we are the applicant named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at Quincy's Candy Shop in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Amy Hall
Applicant/Agent

Applicant/Agent

Sworn to before me this 8th day of
November, 2023

Zane Nicholas Andersen
Notary Public

Zane Nicholas Andersen
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01AN6439054
Qualified in Dutchess County
Commission Expires 08/22/2026

PART "A"
OWNER AFFIDAVIT

State of NY }
County of Nassau } ss:

Marybeth Wise being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize Marybeth Wise, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

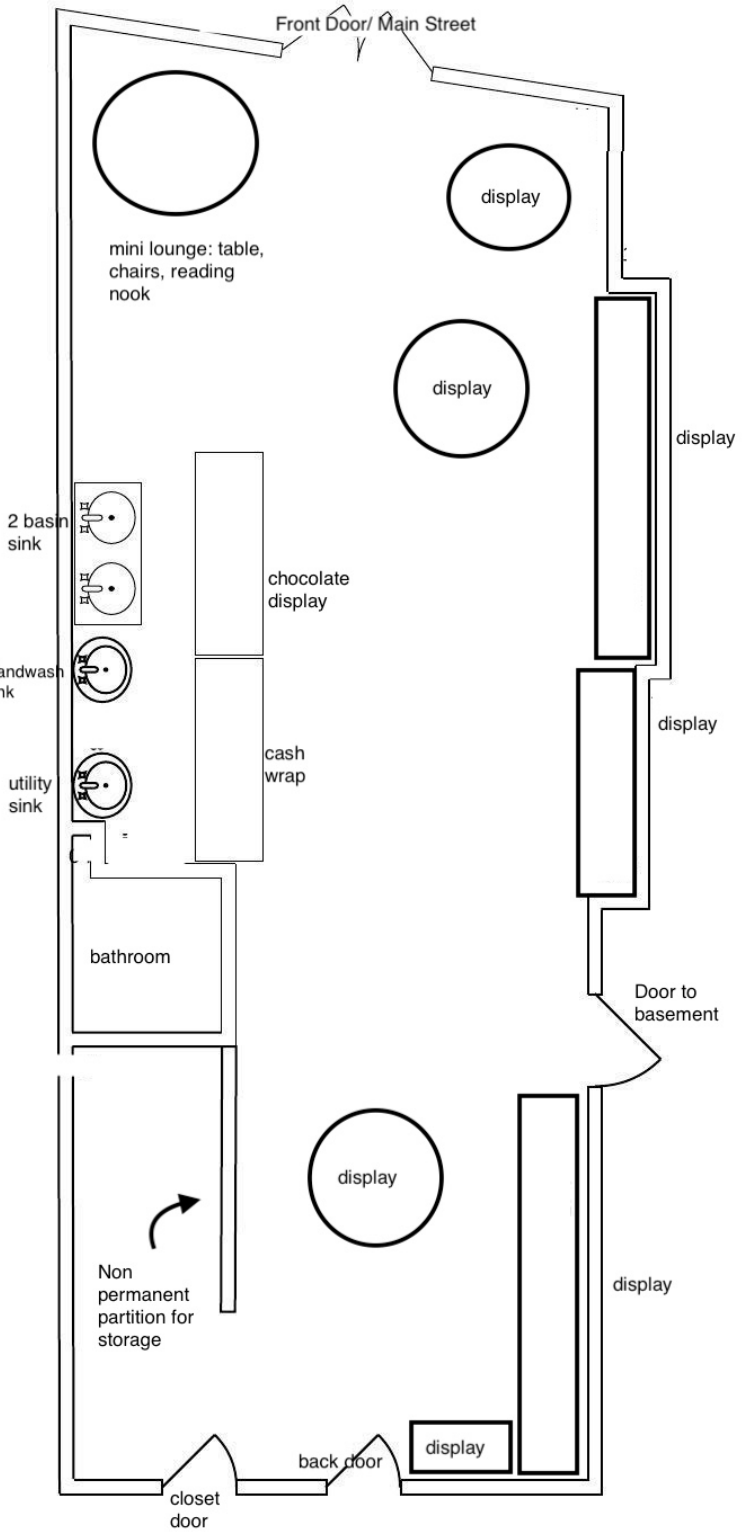
Marybeth Wise
Applicant/Owner

Applicant/Owner

Sworn to before me this 8 day of
November, 2023.

August Roethlisberger
Notary Public

AUGUST ROETHLISBERGER
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01RO6399586
Qualified in Nassau County
My Commission Expires: 10.21.2027



November 30, 2023

Village of Wappingers Falls Planning Board
Mr. Tom Morris, Chairman
2582 South Avenue
Wappingers Falls, New York 12590

Re: 1524 Route 9, 7-Eleven, Speedway, 1st Review
Tax ID#: 6158-19-582114
JRFA Job #061202**

Dear Chairman Morris and Members of the Board:

Our office has received and reviewed the following documents submitted for the above referenced project, prepared by Core States Group:

- Application for Planning Board Review, dated October 2, 2023.
- Excavation Permit Application, dated October 2, 2023.
- Tank Closure/Abandonment/Removal Permit Application, dated October 2, 2023
- Consent Form dated September 19, 2023.
- Owner / Applicant Affidavit dated September 19, 2023.
- Sheet G0.0 FUELING CANOPY COVER SHEET AND INDEX, revised September 19, 2023.
- Sheet G0.1 FUELING ARCHITECTURAL SITE PLAN, dated February 14, 2023.
- Sheet G0.2 FUELING TRUCK ROUTE, dated February 14, 2023.
- Sheet G0.3 FUELING DEMOLITION PLAN, dated February 14, 2023.
- Sheet G1.0 FUELING PIPING AND TANK PLAN, dated February 14, 2023.
- Sheet G3.0 TANK SECTIONS, dated February 14, 2023.
- Sheet G4.0 TANK SUMP DETAILS - DUAL OUTPUT, dated February 14, 2023.
- Sheet G4.1 TANK SUMP DETAILS, dated February 14, 2023.
- Sheet G5.0 DISPENSER AND SUMP DETAILS, dated February 14, 2023.
- Sheet G6.0 REMOTE VENT AND DETAILS, dated February 14, 2023.
- Sheet G6.1 FUELING DIMENSIONAL PLAN, dated February 14, 2023.
- Sheet G7.0 EQUIPMENT SCHEDULES, dated February 14, 2023.
- Sheet G7.1 EQUIPMENT SCHEDULES, revised September 19, 2023.
- Sheet G8.0 FUELING CANOPY LAYOUT, dated February 14, 2023.
- Sheet G8.1 SIGNAGE DETAILS, dated February 14, 2023.
- Sheet G9.0 UST ELECTRICAL PLAN, ONE-LINE DIAGRAM AND PANEL SCHEDULE, dated February 14, 2023.
- Sheet G9.1 N.E.C. CLASSIFIED AREA, dated February 14, 2023.
- Sheet G10.0 MISCELLANEOUS ELECTRICAL DETAILS, dated February 14, 2023.
- Sheet G11.0 ISOLATION RELAY BOX DETAIL, dated February 14, 2023.
- Sheet G12.0 SITE MONITORING EQUIPMENT DIAGRAM, dated February 14, 2023.
- Sheet G13.0 FUELING SPECIFICATIONS, dated February 14, 2023.

- Sheet G14.0 FUELING SPECIFICATIONS, dated February 14, 2023.
- Sheet G15.0 FUELING SPECIFICATIONS, dated February 14, 2023.
- Sheet G16.0 FUELING SPECIFICATIONS, dated February 14, 2023.
- Sheet G17.0 FUELING SPECIFICATIONS, dated February 14, 2023.
- Sheet CPC-1 FUELING REMODEL PAVEMENT AND CURBING DETAILS, dated February 14, 2023.
- Sheet SCB-1 FUELING REMODEL STANDARD CANOPY BASE DETAILS, dated February 14, 2023.

Project Description

The subject property is a 0.53 Ac lot located in the commercial- mixed use (CMU) district on Route 9. An existing gas station and convenience store are located on the lot. The applicant is proposing to remove and replace underground fuel storage tanks, fuel dispensers, pumps and associated piping and electrical work and associated paving.

Required Approvals

- Site Plan Approval from the Planning Board

Based on our review of the submitted documents, we offer the following comments, which may warrant discussion with the applicant and/or action by the Board:

Engineer Review

1. Applicant should submit a completed Environmental Assessment Form.
2. Plan should show all existing and proposed utilities; water, sewer, stormwater, gas, fuel, electric and telephone lines. If new infrastructure is required, provide details, profiles and types of materials proposed.
3. Provide an erosion and sediment control plan in accordance with the NYSDEC Erosion and Sediment Control Manual.
4. Provide a detailed project construction schedule.
5. Applicant should address any possible leakage or contamination which may be encountered when excavating to remove existing tanks or installing new tanks.

This information is based on my review of the documents submitted. Additional review comments may be provided throughout the process as the application is evaluated. Written responses to these comments **MUST BE PROVIDED** with any future submittals.

Should you have any questions or comments, please feel free to contact our office.

Sincerely,

Village of Wappingers Falls
1524 Route 9, 7-Eleven, Speedway, 1st Review
Tax ID#: 6158-19-582114
November 30, 2023
Page 3

Todd W. Atkinson, P.E.
Village Engineer

TWA/jac

cc: Brenda Alfonso (via email)
Lisa M. Cobb, Esq. (via email)
Michelle Greig (via email)
Brian Murphy (via email)
Applicant
File

November 30, 2023

Village of Wappingers Falls Planning Board
Mr. Tom Morris, Chairman
2582 South Avenue
Wappingers Falls, New York 12590

Re: 2544 South Avenue, 1st Review
Tax ID#: 6157-06-301997
*JRFA Job #061202***

Dear Chairman Morris and Members of the Board:

Our office has received and reviewed the following documents submitted for the above referenced project, prepared by J Sullivan, Associate A.I.A:

- “Existing and Proposed Site Plan”, Sheet S-1 dated November 8, 2023.
- “Proposed Site Plan, w/Landscaping, Lighting & Floor Plans”, Sheet S-2 dated November 8, 2023.
- Application for Planning Board Review, dated November 8, 2023.
- Short Environmental Assessment Form dated November 8, 2023.
- Consent Form dated November 8, 2023.
- Owner / Applicant Affidavit dated November 2, 2023.

Project Description

The subject property is a 0.195 acre parcel in Village Residential (VR) district. It located on South Avenue, north of the intersection with Maple Street. The applicant is seeking site plan approval for an addition to the existing two-family dwelling. The proposed work would involve the conversion of an existing two-family dwelling to a four-family multi-residential building by converting the basement and attic to two additional dwellings. Existing parking would be marked out for four parking spaces. The final structure would be a 4-family dwelling.

Required Approvals

- Site Plan Approval from the Planning Board
- Dutchess County Health Department approval for the water supply and sewer connection

Based on our review of the submitted documents, we offer the following comments, which may warrant discussion with the applicant and/or action by the Board:

Engineer Review

1. Plan should show all existing and proposed utilities; water, sewer and telephone lines. If new infrastructure is required, provide details, profiles and types of materials proposed.
2. Provide an erosion and sediment control plan in accordance with the NYSDEC Erosion and Sediment Control Manual.
3. Provide an estimated project construction schedule.
4. Sections or floor elevations should be shown on the plans

This information is based on my review of the documents submitted. Additional review comments may be provided throughout the process as the application is evaluated. Written responses to these comments **MUST BE PROVIDED** with any future submittals.

Should you have any questions or comments, please feel free to contact our office.

Sincerely,

Todd W. Atkinson, P.E.
Village Engineer

TWA/jac

cc: Brenda Alfonso (via email)
Lisa M. Cobb, Esq. (via email)
Michelle Greig (via email)
Brian Murphy (via email)
Applicant
File



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: November 6, 2023

Date of Meeting: December 7, 2023

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website www.wappingersfallsny.gov.

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision Site Review Lot Line Adjustment

Items to be submitted for review: (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

(Separate Application)



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: November 6, 2023 Date of Meeting: December 7, 2023

Property Identification:

Address: 1542 Route 9, Wappingers Falls, NY 12590

Zoning District: VC-Village Commercial Existing site area: 0.53

Owner Information:

Name: Samuel Finnerman

Address: 2678 South Road, Suite 103

City: Poughkeepsie State: NY Zip: 12601

Contact Numbers: (H) 713-980-5631 (C) 713-302-1962

(E-mail) sam@hudsoncommercial.com

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name: 7-Eleven, Inc.

Address: PO Box 711, Attn: Gasoline Compliance

City: Dallas State: TX Zip: 75221

Contact Numbers: (H) 937-863-7071 (C) 937-207-1712

E-mail Address: Brandie.Lehman@7-11.com

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: David Leiffer

Title: PE

Architect Engineer

Company: Core States Group

Address: 6060 North Central Expressway, Suite 850, Dallas, TX 75221

Telephone #: 972-689-5412

E-mail Address: ccarr@core-states.com



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
 (Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): Retail Gas Station

Proposed square footage: No change to existing square footage.

Project Description : *(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

Scope of work is detailed on Sheet G0.1. Install new: 2 x 20,000 gallon, double walled, fiberglass USTs, pumps, dispensers, OPW loop system, vapor/vent risers, fiberglass piping, concrete at disturbed areas, U bollards, Intercoms, fire extinguishers, trash cans / wash buckets, Veeder Root TLS-450 Plus, E-stop on building exterior, E-stop on building interior, pump toppers, and dispenser islands. Paint LED sign frame, poles, bollards, and canopy columns per Speedway brand specifications.
 Removal of existing 4 x 10,000 gallon USTs.

Items to be submitted for review: (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.

Brandis K. Lehman

Signature of Applicant Signed

9/5/2023

Date

Office use only:

[] FEE : _____ Receipt No. : _____ Cash / Check # _____ Date: _____

Revised by : _____ Revision date : _____
 Zoning Administrator/Code Enforcement Officer



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: Samuel Finnerman
Address of property owner: 2678 South Road, Suite 103
City: Poughkeepsie State: NY Zip: 12601
Phone number of property owner: (Include home, work, mobile number and e-mail address):
(H) _____ (C) 713-302-1962
(W) 713-980-5631 (Email) rfinnerman@welcomegroup.com
Address of site where work is being conducted: 1542 Route 9, Wappingers Falls, NY 12590
7-Eleven Store No. 45895 / Speedway Store No. 7645
Description of work: Fuel remodel - removal of 4 existing 10,000 gallon underground storage tanks. Installation of 2 x 20,000 gallon USTs, dispensers, pumps, and associated work.

Name of person doing work: Metro Environmental Services, LLC
Address of person doing work: 208 Route 109, Suite 106
City: Farmingdale State: NY Zip: 11735
Phone number of person doing work (Include home, work, mobile numbers and e-mail address):
(H) 631-393-6655 (C) _____
(W) _____ (Email) stephent@mesllc.org

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.

Samuel H. Finnerman
Signature of Property Owner

9/19/2023
Date Signed

Sam@hudsoncommercial.com

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information	
7-Eleven, Inc.	
Name of Action or Project: Fuel Remodel at Store No. 46895	
Project Location (describe, and attach a location map): 1542 Route 9, Wappingers Falls, NY 12590 (The Village of Wappingers Falls)	
Brief Description of Proposed Action: Replacement of the existing underground storage tanks and associated equipment. The canopy deck (roof) will be replaced as well.	
Name of Applicant or Sponsor: 7-Eleven Inc. (Brandie K. Lehman)	Telephone: 937.207.1712
	E-Mail: <small>Brandie.Lehman@7-11.com</small>
Address: PO Box 711, Attn: Gasoline Compliance	
City/PO: Dallas	State: TX Zip Code: 75221
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO YES <input checked="" type="checkbox"/> <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO YES <input type="checkbox"/> <input checked="" type="checkbox"/>
Village of Wappingers Falls, Site Review and Building Permit	
3.a. Total acreage of the site of the proposed action? <u>0.53</u> acres	
b. Total acreage to be physically disturbed? <u>0.18</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <u>0.53</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.	
Urban Rural (non-agriculture) Industrial <input checked="" type="checkbox"/> Commercial Residential (suburban)	
Forest Agriculture Parkland Aquatic Other (specify): _____	

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: <u>Use of existing connections will continue</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ <small>Use of existing connections will continue</small>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural/grassland Early mid-successional Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (off and storm drains)? If Yes, briefly describe: <small>Existing drainage patterns will be maintained</small>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Kristen Schawalder		Date: 9/5/2023
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	October 23, 2023
Name of Lead Agency	Date
_____	Project Manager
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	Kristen Schawalder
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PART "A"
OWNER AFFIDAVIT

State of New York }
County of Dutchess } ss:

Samuel Finnerman being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change (Site Plan) / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize Sevan Multi Site Solutions & 7-Eleven Inc., to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

Samuel H. Finnerman
Applicant/Owner

Applicant/Owner

Sworn to before me this 19 day of
September, 2023.

Theresa A. Walters
Notary Public

Theresa A. Walters
Notary Public, State of New York
No. 01WA4939897
Qualified in Dutchess County
Commission Expires August 08, 2026

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of _____)
County of _____) ss:

Brandie Lehman being duly sworn, deposes and says:

1. That I/we are the Applicant named in the foregoing application for Planning Board for Subdivision / Lot Line Change Site Plan Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 1542 Route 9, Wappingers Falls in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Brandie Lehman
Applicant/Agent

Applicant/Agent

Sworn to before me this 8 day of September, 2023.

Meghan Allen
Notary Public exp 11-17-24





Job Title: 7 Eleven #46895 1542
Route 9

Wappinger Falls, NY

Job No. 23-1177R0

Calc'd By V. Herrera

Checked by T. Sadler, PE

Date 27-Oct-2023

Date 27-Oct-2023

STRUCTURAL CALCULATIONS
FOR

7-Eleven Inc. - Cypress Waters



Project: 7 Eleven #46895 1542
Route 9
Wappinger Falls, NY

Job#: 23-1177R0

ASCE 7-16

ASCE 7-16 Wind Forces (Chapter 27 Directional Procedure)

Open Building w/Monoslope roof (Section 27.3.2) w/ Fascia Panels as Parapets (Section 27.3.4)

Gust Effect Factor (Section 26.9)

The Canopy's Fundamental natural frequency is greater than 1Hz, and is therefore rigid as defined in Section 26.2. Therefore, as per Section 26.9.1

$G = 0.85$

as per table (26.6-1) Directional factor

$K_d = 0.85$

Wind Velocity pressure section 27.3.2, Eq-27.3.2

For Open Buildings: $q_z = 0.00256(K_z)(K_{zt})(K_d)(V^2)$

Terrain Exposure Constants	$\alpha = 9.50$	Canopy Clear Hgt (H)=	14.50 ft
z _g (Table 26.9-1) =	900.0 ft	Fascia Hgt =	3.00 ft
Fascia Hgt (Parapet) =	3.00 ft	h =	16.00 ft
$K_z = 2.01(h/z_g^2/\alpha)$	0.860	Parapet Hgt = Clear Hgt + Fascia Hgt =	17.50 ft
Topographic Factor $K_{zt} =$	1.00	$K_p = 2.01(h/z_g^2/\alpha)$	0.88
$q_z = 0.00256(K_z)(K_{zt})(K_d)(V^2)$		$q_p = 0.00256(K_p)(K_{pt})(K_d)(V^2)$	
Therefore, $q_z =$	<u>24.76 psf</u>	Therefore, $q_p =$	<u>25.23 psf</u>

MWFRS Horizontal Forces (Section 27.4.3)

Wind Design Load for Fascia: $q_p = 0.00256(K_p)(K_{pt})(K_d)(V^2)$

Parapet Wind Pressure for MWFRS: $p = q_p(GC_p, GC_{pi})$

From Section (6.5.12.4.4)

Windward $GC_{pn} =$	1.5
Leeward $GC_{pn} =$	-1.0
Windward Fascia $P_p =$	<u>37.85 psf</u>
Leeward Fascia $P_p =$	<u>-25.23 psf</u>

Wind Shear for maximum Tributary Area to the Column $P_w = p_p * A$

Maximum Tributary Area of Single Column C2, $A = h * B$

Fascia Hgt: $h = 3.00$ ft

Tributary Width = $B =$	41.50 ft
$A =$	124.50 SqFt

Thus,

$P_w = 7.85$ kips for Single Column

MWFRS (Section 27.3-4)

When Flat Roof:

Clear Leeward or Windward flow will control design (obstructions always < 50%)

From Figure 27.4.4, Worst case $C_n = -1.10$

From Figure 27.4.4, Worst case $C_n = 1.20$

$q = qGC_n$	$U_{p\text{lift}} =$	-23.15 psf
	$Q_{\text{downward}} =$	25.26 psf

Uplift Force $P_{\text{uplift}} = (\text{Uplift Area} * \text{Uplift pressure } q_{\text{uplift}})$

$P_{\text{uplift}} = A * q_{\text{uplift}}$

Uplift Area = Max Tributary column Length * Max. Cantilever Width

Max Tributary column Length =

L	41.50 ft
B	29.00 ft
$P_{\text{uplift}} =$	27.87 psf

Total Wind Force = 15708.56 lbs = 15.71 kips

Project Title:
 Engineer:
 Project ID:
 Project Descr:

Steel Beam

Project File: Wappinger Falls Falls NY.ec6

LIC#: KW-06020175, Build:20.23.10.02

YSC Solution LLC

(c) ENERCALC INC 1983-2023

DESCRIPTION: Purlin Beam, WITH 1" CAMBER

CODE REFERENCES

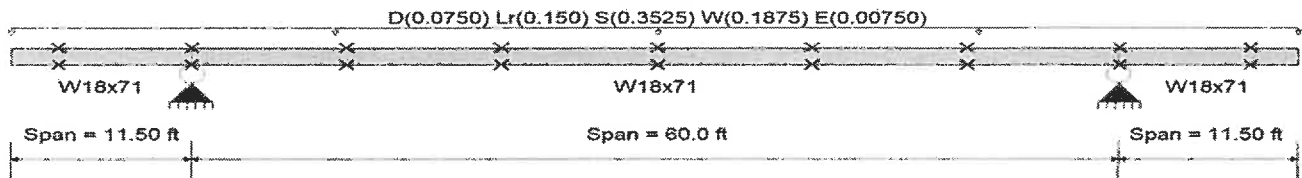
Calculations per AISC 360-16, IBC 2018, CBC 2019, ASCE 7-16
 Load Combination Set : IBC 2021

Material Properties

Analysis Method : Allowable Strength Design
 Beam Bracing : Beam bracing is defined Beam-by-Beam
 Bending Axis : Major Axis Bending
 Fy : Steel Yield : 50.0 ksi
 E : Modulus : 29,000.0 ksi

Unbraced Lengths

Span # 1, Defined Brace Locations, First Brace at 3.0 ft, Second Brace at ft, Third Brace at ft
 Span # 2, Defined Brace Spacing, First Brace at 10.0 ft and spaced at 10.0 ft
 Span # 3, Defined Brace Locations, First Brace at 8.50 ft, Second Brace at ft, Third Brace at ft



Applied Loads

Service loads entered. Load Factors will be applied for calculations.

Beam self weight calculated and added to loading
 Loads on all spans...

Uniform Load on ALL spans : D = 0.010, Lr = 0.020, S = 0.0470, W = 0.0250, E = 0.0010 ksf, Tributary Width = 7.50 ft

DESIGN SUMMARY

Design OK

Maximum Bending Stress Ratio =	0.577 : 1	Maximum Shear Stress Ratio =	0.082 : 1
Section used for this span	W18x71	Section used for this span	W18x71
Ma : Applied	191.362 k-ft	Va : Applied	14.955 k
Mn / Omega : Allowable	331.430 k-ft	Vn/Omega : Allowable	183.150 k
Load Combination	+D+S	Load Combination	+D+S
Span # where maximum occurs	Span # 2	Location of maximum on span	11.500 ft
		Span # where maximum occurs	Span # 1
Maximum Deflection			
Max Downward Transient Deflection	2.519 in Ratio = 285 >=90.0	Span: 3 : S Only	
Max Upward Transient Deflection	-1.409 in Ratio = 195 >=90.0	Span: 3 : S Only	
Max Downward Total Deflection	3.564 in Ratio = 202 >=90.0	Span: 3 : +D+S	
Max Upward Total Deflection	-1.993 in Ratio = 138 >=90.0	Span: 3 : +D+S	

Vertical Reactions

Support notation : Far left is #

Values in KIPS

Load Combination	Support 1	Support 2	Support 3	Support 4
Max Upward from all Load Conditions		20.688	20.688	
Max Upward from Load Combinations		20.688	20.688	
Max Upward from Load Cases		14.629	14.629	
D Only		6.059	6.059	
+D+Lr		12.284	12.284	
+D+S		20.688	20.688	
+D+0.750Lr		10.728	10.728	
+D+0.750S		17.031	17.031	
+D+0.60W		10.728	10.728	
+D+0.70E		6.277	6.277	
+D+0.750Lr+0.450W		14.229	14.229	
+D+0.750S+0.450W		20.532	20.532	
+D+0.750S+0.5250E		17.194	17.194	
+0.60D+0.60W		8.304	8.304	
+0.60D+0.70E		3.853	3.853	
Lr Only		6.225	6.225	
S Only		14.629	14.629	
W Only		7.781	7.781	

Project Title:
 Engineer:
 Project ID:
 Project Descr:

Steel Beam

Project File: Wappinger Falls Falls NY.ec6

LIC# : KW-06020175, Build:20.23.10.02

YSC Solution LLC

(c) ENERCALC INC 1983-2023

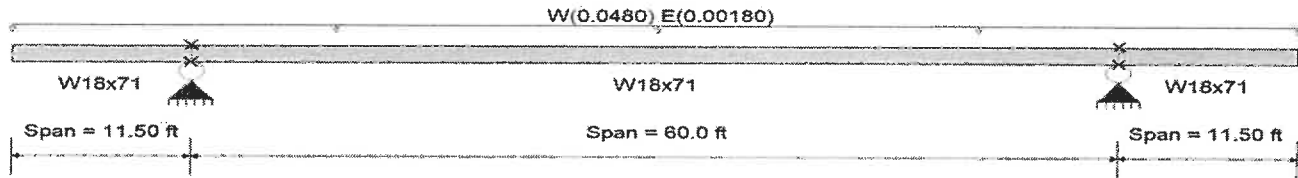
DESCRIPTION: Purlin Beam, Weak Axis

CODE REFERENCES

Calculations per AISC 360-16, IBC 2018, CBC 2019, ASCE 7-16
 Load Combination Set : IBC 2021

Material Properties

Analysis Method : Allowable Strength Design	Fy : Steel Yield :	50.0 ksi
Beam Bracing : Completely Unbraced	E : Modulus :	29,000.0 ksi
Bending Axis : Minor Axis Bending		



Applied Loads

Service loads entered. Load Factors will be applied for calculations.

Beam self weight NOT internally calculated and added
 Loads on all spans...
 Uniform Load on ALL spans : W = 0.0480, E = 0.00180 k/ft

DESIGN SUMMARY

Design OK

Maximum Bending Stress Ratio =	0.179 : 1	Maximum Shear Stress Ratio =	0.003 : 1
Section used for this span	W18x71	Section used for this span	W18x71
Ma : Applied	11.056 k-ft	Va : Applied	0.8640 k
Mn / Omega : Allowable	61.627 k-ft	Vn/Omega : Allowable	247.536 k
Load Combination	+0.60W	Load Combination	+0.60W
Span # where maximum occurs	Span # 2	Location of maximum on span	11.500 ft
		Span # where maximum occurs	Span # 1
Maximum Deflection			
Max Downward Transient Deflection	6.616 in Ratio = 108 >=60.0	Span: 3 : W Only	
Max Upward Transient Deflection	-3.723 in Ratio = 74 >=60.0	Span: 3 : W Only	
Max Downward Total Deflection	3.996 in Ratio = 180 >=60.0	Span: 3 : +0.60W	
Max Upward Total Deflection	-2.234 in Ratio = 124 >=60.0	Span: 3 : +0.60W	

Vertical Reactions

Support notation : Far left is #'

Values in KIPS

Load Combination	Support 1	Support 2	Support 3	Support 4
Max Upward from all Load Conditions		1.992	1.992	
Max Upward from Load Combinations		1.195	1.195	
Max Upward from Load Cases		1.992	1.992	
+0.60W		1.195	1.195	
E Only * 0.70		0.052	0.052	
+0.450W		0.896	0.896	
E Only * 0.5250		0.039	0.039	
W Only		1.992	1.992	
E Only		0.075	0.075	

Project Title:
Engineer:
Project ID:
Project Descr:

Steel Beam

Project File: Wappinger Falls Falls NY.ec6

LIC# : KW-06020175, Build:20.23.10.02

YSC Solution LLC

(c) ENERCALC INC 1983-2023

DESCRIPTION: Header Beam, Strong Axis

Vertical Reactions

Support notation : Far left is #'

Values in KIPS

Load Combination	Support 1	Support 2
W Only		15.560
E Only		0.620

Job No: 23-1177R0

Lateral Bracing Calculations for beams - AISC 360 Appendix 6.3

Angle Bridging for Purlins

The angle bridging spans each purlin and doesn't connect to a separate fixed point. Therefore the bridging is considered a relative brace.

Section 1.a Relative Bracing

Purlin Beam	W18X71	Simple Span	Cantilever
Required flexural Strength of Purlin		Mr= 200.0 k-ft (ASD)	Mr= 35.0 k-ft (ASD)
	Cd= 1		
	ho= 17.7 in		
	Ω= 2		
Required Bridging Axial Strength		Prb= 1.085 kips	Prb= 0.190 kips
Required Bridging Axial Stiffness		βrb= 9.04 k/in (ASD)	βrb= 11.86 k/in (ASD)

Bridging Angle	L2x2x3/16	Deck and Deck Clip	Deck Capacity - 40ksi -20ga
Unbraced Length of Purlin		(Only used as bridging for cantilever)	
Angle Spacing	Lb= 10.00 ft	Deck Spacing	Lb= 1.33 ft
	K= 1		K= 1
Max Purlin Spacing	L= 7.50 ft	Max Purlin Spacing	L= 7.50 ft
	r= 0.389 in		r= 0.761 in
	b= 2 in		b= 16 in
	t= 0.188 in		t= 0.0359 in
	A= 0.722 in ²		A= 0.855 in ²
	E= 29000 ksi		E= 29000 ksi
	Fy= 36 ksi		Fy= 40 ksi

Limiting Width to Thickness Ratio	λr= 12.77	Clip Shear Strength	563 lbs
b/t= 10.64 <	12.77	(See Decking Sheet)	
Angle is Not Slender for Compression			
KL/r= 231.4 >	133.68		
	Fe= 5.35 ksi		
	Fcr= 4.69 ksi		
	Ω= 1.67		
Pn/Ω= 2.03 kips >	1.085 kips	0.563 kips >	0.190 kips
Bridging Angle has adequate strength.		Clip has adequate strength.	
AE/L= 232.64 k/in >	9.04 k/in	275.50 k/in >	11.86 k/in
Bridging Angle has adequate stiffness.		Decking has adequate stiffness.	

Project: 7 Eleven #46895 1542
Route 9
Wappinger Falls, NY

Job#: 23-1177R0

Ponding Check: (AISC 15th - App 2.1)

Lp=	14.5 ft	(Max Span Header)	Primary - W12X96	(Header)
Ls=	60 ft	(Max Span Purlin)	Secondary W18X71	(Purlin)
S=	7.5 ft	(Max Purlin Spacing)		
Ip=	833 in ⁴			
Is=	1170 in ⁴			
Id=	0.079 in ⁴	<	Decking -	40 KSI Metal Works, LLC Deck
			lx Pos =	0.8020 in ⁴ OK
			lx Neg =	0.411 in ⁴
Cs=	0.27			
Cp=	0.01			
Cp+0.9Cs=	0.25	<=	0.25	OK

Project:
 Project no:
 Author:

Project item 23-1177R0 Moment Connection

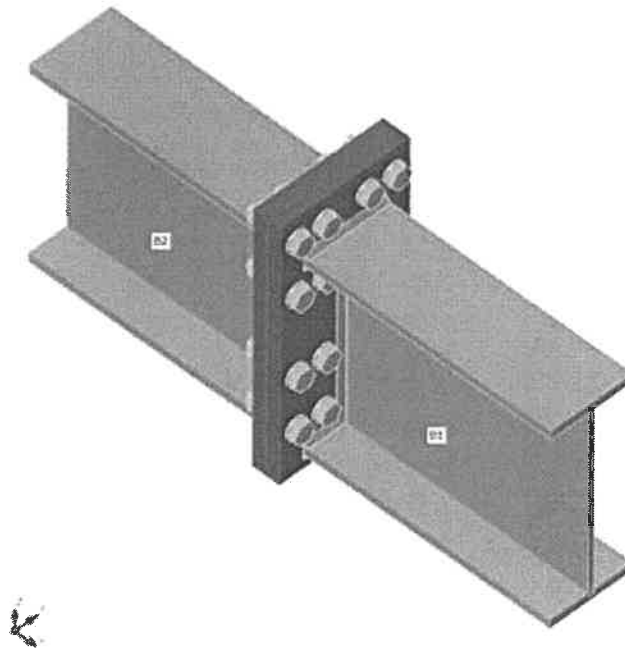
Design

Name 23-1177R0 Moment Connection
 Description Wappinger Falls Falls, NY
 Analysis Stress, strain/ loads in equilibrium
 Design code AISC - ASD 2016

Members

Geometry

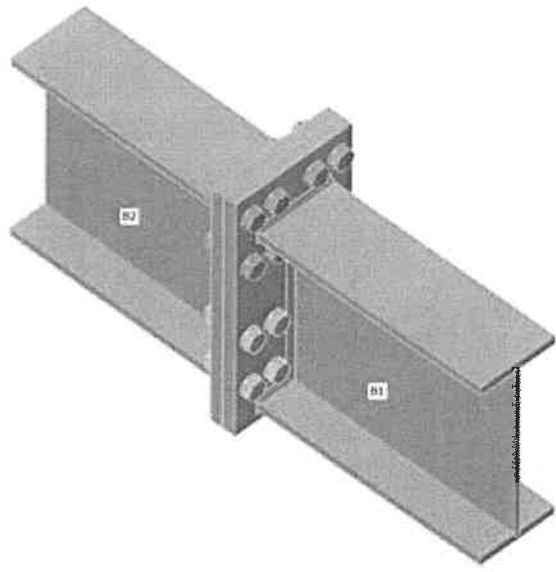
Name	Cross-section	β - Direction [°]	γ - Pitch [°]	α - Rotation [°]	Offset ex [in]	Offset ey [in]	Offset ez [in]	Forces in
B1	4 - Purlin Beam Right(W(Imp)18X71)	0.0	0.0	0.0	0.000	0.000	0.000	Node
B2	5 - Purlin Beam Left(W(Imp)18X71)	180.0	0.0	0.0	0.000	0.000	0.000	Node



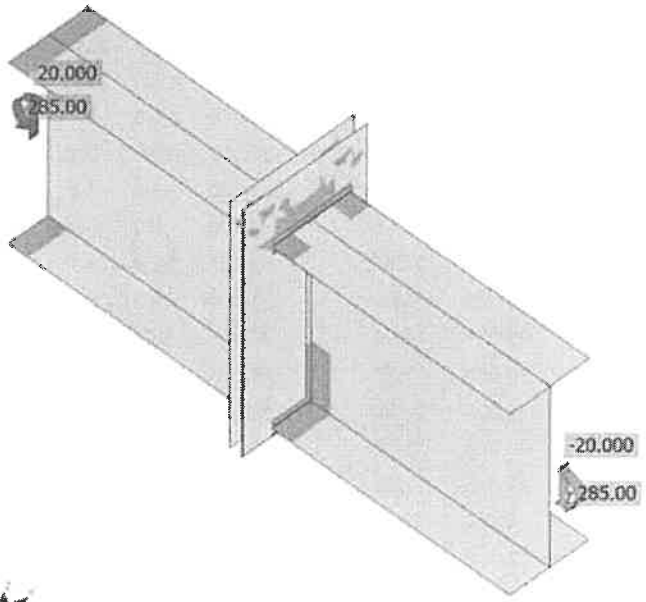
Cross-sections

Name	Material
4 - Purlin Beam Right(W(Imp)18X71)	A992
5 - Purlin Beam Left(W(Imp)18X71)	A992

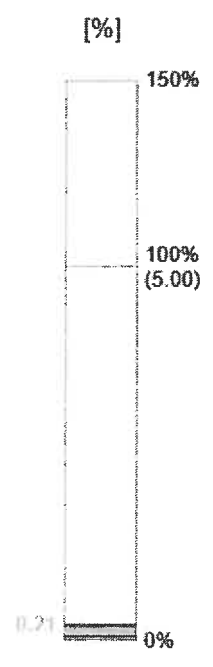
Project:
Project no:
Author:



Overall check, LE1



Strain check, LE1



Project:
Project no:
Author:

Symbol explanation

F_t	Tension force
V	Resultant of bolt shear forces V_y and V_z in shear planes
$R_n/\Omega_{\text{Bearing}}$	Bolt bearing resistance
U_{t_t}	Utilization in tension
U_{t_s}	Utilization in shear
$U_{t_{ts}}$	Utilization in tension and shear
$R_n/\Omega_{\text{Tension}}$	Bolt tension resistance - AISC 360-16: J3.6
$R_n/\Omega_{\text{Shear}}$	Bolt shear resistance - AISC 360-16: J3.6

Detailed result for B22

Tension resistance check (AISC 360-16: J3-1)

$$\frac{R_n}{\Omega} = \frac{F_{nt} \cdot A_b}{\Omega} = 35.313 \text{ kip} \geq F_t = 31.736 \text{ kip}$$

Where:

$$F_{nt} = 89.9 \text{ ksi} \quad \text{– nominal tensile stress AISC 360-16: Table J3.2}$$

$$A_b = 0.785 \text{ in}^2 \quad \text{– gross bolt cross-sectional area}$$

$$\Omega = 2.00 \quad \text{– safety factor for tension and shear}$$

Shear resistance check (AISC 360-16: J3-1)

$$\frac{R_n}{\Omega} = \frac{F_{nv} \cdot A_b}{\Omega} = 21.188 \text{ kip} \geq V = 0.784 \text{ kip}$$

Where:

$$F_{nv} = 54.0 \text{ ksi} \quad \text{– nominal shear stress AISC 360-16: Table J3.2}$$

$$A_b = 0.785 \text{ in}^2 \quad \text{– gross bolt cross-sectional area}$$

$$\Omega = 2.00 \quad \text{– safety factor for tension and shear}$$

Bearing resistance check (AISC 360-16: J3-6)

$$R_n = 1.20 \cdot l_c \cdot t \cdot F_u \leq 2.40 \cdot d \cdot t \cdot F_u$$

$$\frac{R_n}{\Omega} = 97.500 \text{ kip} \geq V = 0.784 \text{ kip}$$

Where:

$$l_c = 3.875 \text{ in} \quad \text{– clear distance, in the direction of the force, between the edge of the hole and the edge of the adjacent hole or edge of the material}$$

$$t = 1.250 \text{ in} \quad \text{– thickness of the plate}$$

$$d = 1.000 \text{ in} \quad \text{– diameter of a bolt}$$

$$F_u = 65.0 \text{ ksi} \quad \text{– tensile strength of the connected material}$$

$$\Omega = 2.00 \quad \text{– safety factor for bearing at bolt holes}$$


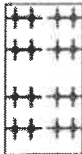
Interaction of tension and shear check (AISC 360-16: J3-2)

The required stress, in either shear or tension, is less than or equal to 30% of the corresponding available stress and the effects of combined stresses need not to be investigated.

Project:
 Project no:
 Author:

Bill of material

Manufacturing operations

Name	Plates [in]	Shape	Nr.	Welds [in]	Length [in]	Bolts	Nr.
PP1	P1"1/4x12.0-24.0 (A572 Gr.50)		1	Double fillet: a = 5/16	65.9	1 A325	16
	P1"1/4x12.0-24.0 (A572 Gr.50)		1				

Welds

Type	Material	Throat thickness [in]	Leg size [in]	Length [in]
Double fillet	E70xx	5/16	1/2	65.9

Bolts

Name	Grip length [in]	Count
1 A325	2.520	16

Drawing

PP1 - PP1a

Project:
Project no:
Author:



Code settings

Item	Value	Unit	Reference
Friction coefficient - concrete	0.40	-	ACI 349 – B.6.1.4
Friction coefficient in slip-resistance	0.30	-	AISC 360-16 J3.8
Limit plastic strain	0.05	-	
Detailing	No		
Distance between bolts [d]	2.66	-	AISC 360-16 – J3.3
Distance between bolts and edge [d]	1.25	-	AISC 360-16 – J.3.4
Concrete breakout resistance check	Both		
Base metal capacity check at weld fusion face	No		AISC 360-16: J2-2
Deformation at bolt hole at service load is design consideration	Yes		AISC 360-16: J3.10
Cracked concrete	Yes		ACI 318-14 – Chapter 17
Local deformation check	No		
Local deformation limit	0.03	-	CIDECT DG 1, 3 - 1.1
Geometrical nonlinearity (GMNA)	Yes		Analysis with large deformations for hollow section joints



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Name of Applicant Rena Barrett-Baas
Address 14 Calburn Ct
Wappingers Falls NY 12590
Email rbaas1186@yahoo.com
Phone (203) 496-3245

Owner of Property 70 East Main Street
Address Wappingers Falls NY 12590
Phone _____

Location of Property Village of Wappingers
Linear Frontage of building _____ Zoning District _____

Types of Signs existing - just name change
 Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping. existing - just change color / name nic Brig i map

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following: !!

Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.

Awning, Window, Wall or Projecting signs- the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications Type awning existing Post & Arm - existing Placement Same
Landscaping ___ Yes ___ No Size of Sign ___ Height ___ Width ___
___ Single Faced ___ Double Faced ___ Lighted
Material ___ Wood ___ Metal ___ other Durable

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- ___ Application form (ten sets)
- ___ Sign design drawings (ten sets) - *Same post* - *Same design - just name change*
- ___ Color swatch (if any color other than black/white) - *Awning Renew* *Bright*
- ___ Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval) *& pink*

Applicant Name Reina Barrett Baas

Applicant Signature *[Signature]* Date: 8/29/23

Owner of Property Signature *[Signature]* Date: 8/29/23

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____



VILLAGE OF WAPPINGERS FALLS
 BUILDING DEPARTMENT
 2582 SOUTH AVENUE
 WAPPINGERS FALLS, NY 12590
 PHONE: (845) 297-5277
 FAX: (845) 296-0379

COPY

SIGN PERMIT APPLICATION

Name of Applicant GNS Group, Ltd.
 Address 97 N. Clinton St.
Poughkeepsie, NY 12601

Owner of Property MFR II LLC Mr. Bill Dupuis
 Address PO Box 909
Ludlow, MA 01056

Location of Property 1671 Rte 9
 Linear Frontage of building storefront Zoning District CMU1

Types of Signs Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:
 Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.
 Awning, Window, Wall or Projecting signs- the location on awning, window, wall or building, size of awning, total window area of principal facade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications Type Electric Box w/ push thru letters Placement over entrance
 Landscaping Yes No Size of Sign 3' Height 16' Width
 Single Faced Double Faced Lighted
 Material Wood Metal other Durable acrylic

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)
- Sign design drawings (ten sets)
- Color swatch (if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Nancy Forrest

Applicant Signature Nancy Forrest Date 10/19/23

* Owner of Property Signature [Signature] Date 10/23/23

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

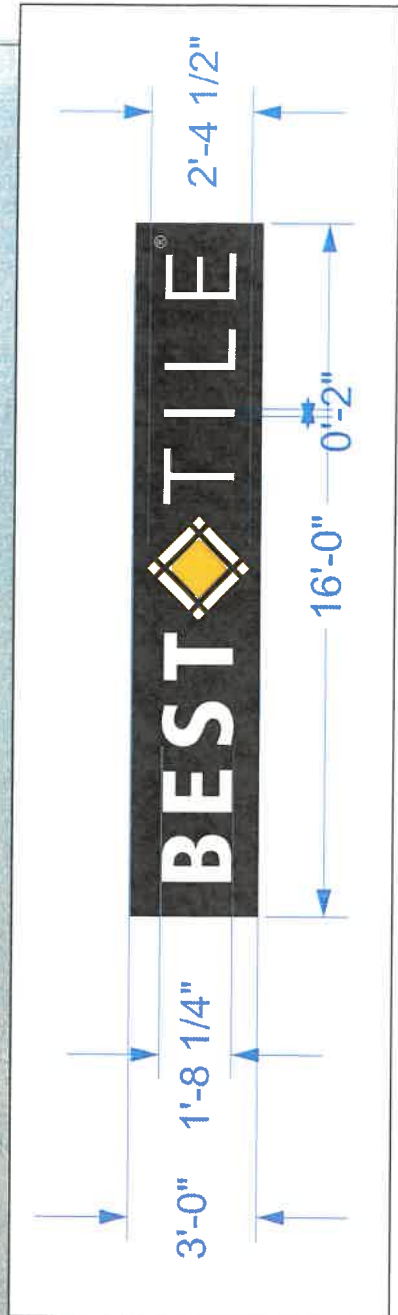
Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____



3' x 16' Cabinet with opaque face.
Individual push-thru letters and logo.



97 North Clinton Street
Poughkeepsie, NY 12601
845-471-4366 - phone
845-471-0987 - fax
www.gnsgroupltd.com

Client\ Project Location: File Name:
Best Tile\ 1671 Rt 9, Best Tile\
Wappingers Falls
[Village], NY

Date: 9/13/2023

Client Approval:

Date:

This diagram is the property of GNS Group Inc., and may not be reproduced without written consent until such time an agreement has been reached as to the terms and conditions of the sale of this diagram.
GNS Group Inc. reserves the right to alter components and materials at any time without notice.

Sheet:

3.1

Please note that the colors represented on this proof are not exact representations of the finished product. All computer screens, cell phone screens and printers display colors in different manners. If exact





VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Name of Applicant Frohling Sign Company
Address 711 Executive Blvd. Ste G
Valley Cottage, N.Y. 10989
Email brian@frohlingsign.com
Phone 845-623-2258

Owner of Property S&R Restaurants Inc.
Address 611 Route 46 W Ste 108
Hasbrouck Heights, N.J. 07604
Phone 201-746-6400

Location of Property Wendy's 1601 Route 9
Linear Frontage of building 40'0" **Zoning District** _____

Types of Signs Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:

Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.

Awning, Window, Wall or Projecting signs- the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.


Sign Specifications **Type** Freestanding Pylon Sign **Placement** Existing - Reface only
Landscaping ___ Yes ___ No **Size of Sign** 13'6" **Height** 9'0" **Width** _____
Single Faced X **Double Faced** X **Lighted** _____
Material _____ Wood X _____ Metal X _____ other Durable

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)
- Sign design drawings (ten sets)
- Color swatch (if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Brian O'Connor

Applicant Signature  Date: 10/19/23

Owner of Property Signature SEE ATTACHED Date: _____

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____



Frohling Sign Co.

DESIGNERS > FABRICATORS > INSTALLERS

RE: Wendy's
1601 Route 9
Wappingers Falls, N.Y.

AUTHORIZATION AND CONSENT FORM

By my signature below, I hereby represent that I am the owner of the property indicated above or otherwise duly authorized by the Lease to grant authorization to Frohling Sign Company and/or their subcontractor to apply for permits and install new signage at the above referenced location as per the attached brand book.

LANDLORD APPROVAL

Signature *Colleen Call* Print Name Colleen Call Date 10/12/23
 Title/Company Director of Operations Email colleen@ckamgmt.com
 Address CKA Management LLC Phone 845-754-1141
1050 Wall Street - W Suite 660
Lyndhurst, N.J. 07071

Return form to: Frohling Sign Company
711 Executive Boulevard
Suite G
Valley Cottage, NY 10989

Email (preferred): kaitlyn@frohlingsign.com

Fax: 845-623-2799

711 EXECUTIVE BOULEVARD, SUITE G
VALLEY COTTAGE, NY 10989
T (845)623-2258 F (845)623-2799
WWW.FROHLINGSIGN.COM



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Name of Applicant Frohling Sign Company
Address 711 Executive Blvd. Ste G
Valley Cottage, N.Y. 10989
Email brian@frohlingsign.com
Phone 845-623-2258

Owner of Property S&R Restaurants Inc.
Address 611 Route 46 W Ste 108
Hasbrouck Heights, N.J. 07604
Phone 201-746-6400

Location of Property Wendy's 1601 Route 9
Linear Frontage of building 40'0" **Zoning District** _____

Types of Signs Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:

Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.

Awning, Window, Wall or Projecting signs-the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications **Type** Directional Sign (Pick Up Window) **Placement** Existing - Reface only
Landscaping ___ Yes ___ No **Size of Sign** 1-11" Height 2'1" Width
____ Single Faced _____ Double Faced _____ Lighted
Material _____ Wood _____ Metal _____ other Durable

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)
- Sign design drawings (ten sets)
- Color swatch (if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Brian O'Connor

Applicant Signature  Date: 10/10/23

Owner of Property Signature SEE ATTACHED Date: _____

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____



Frohling Sign Co.

DESIGNERS ▶ FABRICATORS ▶ INSTALLERS

RE: Wendy's
1601 Route 9
Wappingers Falls, N.Y.

AUTHORIZATION AND CONSENT FORM

By my signature below, I hereby represent that I am the owner of the property indicated above or otherwise duly authorized by the Lease to grant authorization to Frohling Sign Company and/or their subcontractor to apply for permits and install new signage at the above referenced location as per the attached brand book.

LANDLORD APPROVAL

Signature *Colleen Call* Print Name Colleen Call Date 10/12/23
 Title/Company Director of Operations Email colleen@ckamgmt.com
 Address CKA Management LLC Phone 845-754-1141
1050 Wall Street - W Suite 660
Lyndhurst, N.J. 07071

Return form to: Frohling Sign Company
711 Executive Boulevard
Suite G
Valley Cottage, NY 10989

Email (preferred): kaitlyn@frohlingsign.com

Fax: 845-623-2799

711 EXECUTIVE BOULEVARD, SUITE G
VALLEY COTTAGE, NY 10989
T (845)623-2258 F (845)623-2799
WWW.FROHLINGSIGN.COM



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Name of Applicant Frohling Sign Company
Address 711 Executive Blvd. Ste G
Valley Cottage, N.Y. 10989
Email brian@frohlingsign.com
Phone 845-623-2258

Owner of Property S&R Restaurants Inc.
Address 611 Route 46 W Ste 108
Hasbrouck Heights, N.J. 07604
Phone 201-746-6400

Location of Property Wendy's 1601 Route 9
Linear Frontage of building 40'0" **Zoning District** _____

Types of Signs **Post & Arm** **Projecting** **Seasonal** **Multi-Tenant**
 Wall **Window** **Awning** **Free Standing** **Sidewalk**

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:

Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.

Awning, Window, Wall or Projecting signs-the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.


Sign Specifications **Type** Wall sign **Placement** Front (East) Elevation
Landscaping ___ Yes ___ No **Size of Sign** 13'6" **Height** 9'0" **Width**
x **Single Faced** _____ **Double Faced** _____ **Lighted**
Material _____ **Wood** x **Metal** x _____ **other Durable**

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)
- Sign design drawings (ten sets)
- Color swatch (if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Brian O'Connor

Applicant Signature  Date: 10/12/23

Owner of Property Signature SEE ATTACHED Date: _____

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____



Frohling Sign Co.

DESIGNERS ▶ FABRICATORS ▶ INSTALLERS

RE: Wendy's
1601 Route 9
Wappingers Falls, N.Y.

AUTHORIZATION AND CONSENT FORM

By my signature below, I hereby represent that I am the owner of the property indicated above or otherwise duly authorized by the Lease to grant authorization to Frohling Sign Company and/or their subcontractor to apply for permits and install new signage at the above referenced location as per the attached brand book.

LANDLORD APPROVAL

Signature X *Colleen Call* Print Name Colleen Call Date 10/12/23
 Title/Company Director of Operations Email colleen@ckamgmt.com
 Address CKA Management LLC Phone 845-754-1141
1050 Wall Street - W Suite 660
Lyndhurst, N.J. 07071

Return form to: Frohling Sign Company
711 Executive Boulevard
Suite G
Valley Cottage, NY 10989

Email (preferred): kaitlyn@frohlingsign.com

Fax: 845-623-2799

711 EXECUTIVE BOULEVARD, SUITE G
VALLEY COTTAGE, NY 10989
T (845)623-2258 F (845)623-2799
WWW.FROHLINGSIGN.COM



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Name of Applicant Frohling Sign Company
Address 711 Executive Blvd. Ste G
Valley Cottage, N.Y. 10989
Email brian@frohlingsign.com
Phone 845-623-2258

Owner of Property S&R Restaurants Inc.
Address 611 Route 46 W Ste 108
Hasbrouck Heights, N.J. 07604
Phone 201-746-6400

Location of Property Wendy's 1601 Route 9
Linear Frontage of building 40'0" **Zoning District** _____

Types of Signs **Post & Arm** **Projecting** **Seasonal** **Multi-Tenant**
 Wall **Window** **Awning** **Free Standing** **Sidewalk**

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:

Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.

Awning, Window, Wall or Projecting signs- the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications **Type** Directional Sign (Enter) **Placement** Existing - Reface only
Landscaping ___ Yes ___ No **Size of Sign** 1-11" Height 2'1" Width _____
Single Faced **Double Faced** **Lighted** _____
Material _____ Wood _____ Metal _____ other Durable _____

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)
- Sign design drawings (ten sets)
- Color swatch (if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Brian O'Connor

Applicant Signature  Date: 10/16/23

Owner of Property Signature See ATTACHED Date: _____

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____


Comments: _____

RE: Wendy's
1601 Route 9
Wappingers Falls, N.Y.

AUTHORIZATION AND CONSENT FORM

By my signature below, I hereby represent that I am the owner of the property indicated above or otherwise duly authorized by the Lease to grant authorization to Frohling Sign Company and/or their subcontractor to apply for permits and install new signage at the above referenced location as per the attached brand book.

LANDLORD APPROVAL

Signature  Print Name Colleen Call Date 10/12/23
Title/Company Director of Operations Email colleen@ckamgmt.com
Address CKA Management LLC Phone 845-754-1141
1050 Wall Street - W Suite 660
Lyndhurst, N.J. 07071

Return form to: Frohling Sign Company
711 Executive Boulevard
Suite G
Valley Cottage, NY 10989

Email (preferred): kaitlyn@frohlingsign.com

Fax: 845-623-2799



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/12/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).


PRODUCER Acisure Insurance Partners Services of NY, LLC 90 S. Ridge Street Rye Brook, NY 10573	CONTACT NAME: Katie Bakunas		
	PHONE (A/C, No, Ext):	FAX (A/C, No):	
	E-MAIL ADDRESS: kbakunas@keevily.com		
INSURED P & B Signs Inc. T/A Frohling Sign Co. 711 Executive Blvd Suite G Valley Cottage 10989	INSURER(S) AFFORDING COVERAGE		NAIC #
	INSURER A : Selective Insurance Company of New York		13730
	INSURER B :		
	INSURER C :		
	INSURER D :		
	INSURER E :		

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> CONTRACTUAL LIAB GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:			S 2190463	1/15/2023	1/15/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000 MED EXP (Any one person) \$ 15,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			S 2190463	1/15/2023	1/15/2024	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 10,000			S 2190463	1/15/2023	1/15/2024	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY <input type="checkbox"/> Y <input checked="" type="checkbox"/> N ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				PER STATUTE <input type="checkbox"/> OTH-FR <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
All operations of the insured.

CERTIFICATE HOLDER Village of Wappingers Falls 2582 South Avenue Wappingers Falls, NY 12590	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
---	---

CERTIFICATE OF WORKERS' COMPENSATION INSURANCE (RENEWED)

***** 133402716
KEEVILY, SPERO-WHITELAW INC.
500 MAMARONECK AVENUE
HARRISON NY 10528



SCAN TO VALIDATE
AND SUBSCRIBE

POLICYHOLDER P & B SIGNS INC T/A FROHLING SIGN CO 711 Executive Blvd. Suite G Valley Cottage NY 10989		CERTIFICATE HOLDER VILLAGE OF WAPPINGERS FALLS 2582 SOUTH AVENUE WAPPINGERS FALLS NY 12590	
POLICY NUMBER G 311 806-4	CERTIFICATE NUMBER 302020	POLICY PERIOD 11/01/2022 TO 11/01/2023	DATE 10/12/2023

THIS IS TO CERTIFY THAT THE POLICYHOLDER NAMED ABOVE IS INSURED WITH THE NEW YORK STATE INSURANCE FUND UNDER POLICY NO. 311806-4, COVERING THE ENTIRE OBLIGATION OF THIS POLICYHOLDER FOR WORKERS' COMPENSATION UNDER THE NEW YORK WORKERS' COMPENSATION LAW WITH RESPECT TO ALL OPERATIONS IN THE STATE OF NEW YORK, EXCEPT AS INDICATED BELOW.

IF YOU WISH TO RECEIVE NOTIFICATIONS REGARDING SAID POLICY, INCLUDING ANY NOTIFICATION OF CANCELLATIONS, OR TO VALIDATE THIS CERTIFICATE, VISIT OUR WEBSITE AT [HTTPS://WWW.NYSIF.COM/CERT/CERTVAL.ASP](https://www.nysif.com/cert/certval.asp). THE NEW YORK STATE INSURANCE FUND IS NOT LIABLE IN THE EVENT OF FAILURE TO GIVE SUCH NOTIFICATIONS.

THE POLICY INCLUDES A WAIVER OF SUBROGATION ENDORSEMENT UNDER WHICH NYSIF AGREES TO WAIVE ITS RIGHT OF SUBROGATION TO BRING AN ACTION AGAINST THE CERTIFICATE HOLDER TO RECOVER AMOUNTS WE PAID IN WORKERS' COMPENSATION AND/OR MEDICAL BENEFITS TO OR ON BEHALF OF AN EMPLOYEE OF OUR INSURED IN THE EVENT THAT, PRIOR TO THE DATE OF THE ACCIDENT, THE CERTIFICATE HOLDER HAS ENTERED INTO A WRITTEN CONTRACT WITH OUR INSURED THAT REQUIRES THAT SUCH RIGHT OF SUBROGATION BE WAIVED.

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS NOR INSURANCE COVERAGE UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICY.

NEW YORK STATE INSURANCE FUND

DIRECTOR, INSURANCE FUND UNDERWRITING

VALIDATION NUMBER: 13165289

CERTIFICATE OF WORKERS' COMPENSATION INSURANCE (RENEWED)

***** 133402716
KEEVILY, SPERO-WHITELAW INC.
500 MAMARONECK AVENUE
HARRISON NY 10528



SCAN TO VALIDATE
AND SUBSCRIBE

<p>POLICYHOLDER P & B SIGNS INC T/A FROHLING SIGN CO 711 Executive Blvd. Suite G Valley Cottage NY 10989</p>
--

<p>CERTIFICATE HOLDER VILLAGE OF WAPPINGERS FALLS 2582 SOUTH AVENUE WAPPINGERS FALLS NY 12590</p>

POLICY NUMBER G 311 806-4	CERTIFICATE NUMBER 687122	POLICY PERIOD 11/01/2023 TO 11/01/2024	DATE 10/12/2023
------------------------------	------------------------------	---	--------------------

THIS IS TO CERTIFY THAT THE POLICYHOLDER NAMED ABOVE IS INSURED WITH THE NEW YORK STATE INSURANCE FUND UNDER POLICY NO. 311806-4, COVERING THE ENTIRE OBLIGATION OF THIS POLICYHOLDER FOR WORKERS' COMPENSATION UNDER THE NEW YORK WORKERS' COMPENSATION LAW WITH RESPECT TO ALL OPERATIONS IN THE STATE OF NEW YORK, EXCEPT AS INDICATED BELOW.

IF YOU WISH TO RECEIVE NOTIFICATIONS REGARDING SAID POLICY, INCLUDING ANY NOTIFICATION OF CANCELLATIONS, OR TO VALIDATE THIS CERTIFICATE, VISIT OUR WEBSITE AT [HTTPS://WWW.NYSIF.COM/CERT/CERTVAL.ASP](https://www.nysif.com/cert/certval.asp). THE NEW YORK STATE INSURANCE FUND IS NOT LIABLE IN THE EVENT OF FAILURE TO GIVE SUCH NOTIFICATIONS.

THE POLICY INCLUDES A WAIVER OF SUBROGATION ENDORSEMENT UNDER WHICH NYSIF AGREES TO WAIVE ITS RIGHT OF SUBROGATION TO BRING AN ACTION AGAINST THE CERTIFICATE HOLDER TO RECOVER AMOUNTS WE PAID IN WORKERS' COMPENSATION AND/OR MEDICAL BENEFITS TO OR ON BEHALF OF AN EMPLOYEE OF OUR INSURED IN THE EVENT THAT, PRIOR TO THE DATE OF THE ACCIDENT, THE CERTIFICATE HOLDER HAS ENTERED INTO A WRITTEN CONTRACT WITH OUR INSURED THAT REQUIRES THAT SUCH RIGHT OF SUBROGATION BE WAIVED.

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS NOR INSURANCE COVERAGE UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICY.

NEW YORK STATE INSURANCE FUND

DIRECTOR, INSURANCE FUND UNDERWRITING

VALIDATION NUMBER: 71988240



**CERTIFICATE OF INSURANCE COVERAGE
DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW**

PART 1. To be completed by Disability and Paid Family Leave Benefits Carrier or Licensed Insurance Agent of that Carrier

<p>1a. Legal Name & Address of Insured (use street address only) P&B Signs Inc Frohling Sign Co 711 Executive Blvd Suite G VALLEY COTTAGE NY 10989 Work Location of Insured (Only required if coverage is specifically limited to certain locations in New York State, i.e., Wrap-Up Policy)</p>	<p>1b. Business Telephone Number of Insured (845) 623-2258</p> <p>1c. Federal Employer Identification Number of Insured or Social Security Number 13-3402716</p>
<p>2. Name and Address of Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder) Village of Wappingers Falls</p> <p>2582 South Avenue WAPPINGERS FALLS, NY 12590</p>	<p>3a. Name of Insurance Carrier Standard Security Life Insurance Company of New York</p> <p>3b. Policy Number of Entity Listed in Box "1a" D98235-000</p> <p>3c. Policy effective period 1/1/2008 to 10/10/2024</p>

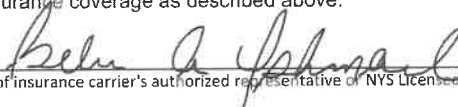
4. Policy provides the following benefits:

A. Both disability and paid family leave benefits.
 B. Disability benefits only.
 C. Paid family leave benefits only.

5. Policy covers:

A. All of the employer's employees eligible under the NYS Disability and Paid Family Leave Benefits Law.
 B. Only the following class or classes of employer's employees:

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has NYS Disability and/or Paid Family Leave Benefits insurance coverage as described above.

Date Signed 10/12/2023 By 
(Signature of insurance carrier's authorized representative or NYS Licensed Insurance Agent of that insurance carrier)

Telephone Number (212) 355-4141 Name and Title Bebi Ishmail, Supervisor-DBL/Policy Services

IMPORTANT: If Boxes 4A and 5A are checked, and this form is signed by the insurance carrier's authorized representative or NYS Licensed Insurance Agent of that carrier, this certificate is COMPLETE. Mail it directly to the certificate holder.

If Box 4B, 4C or 5B is checked, this certificate is NOT COMPLETE for purposes of Section 220, Subd. 8 of the NYS Disability and Paid Family Leave Benefits Law. It must be mailed for completion to the Workers' Compensation Board, Plans Acceptance Unit, PO Box 5200, Binghamton, NY 13902-5200.

PART 2. To be completed by the NYS Workers' Compensation Board (Only if Box 4C or 5B of Part 1 has been checked)

**State of New York
Workers' Compensation Board**

According to information maintained by the NYS Workers' Compensation Board, the above-named employer has complied with the NYS Disability and Paid Family Leave Benefits Law with respect to all of his/her employees.

Date Signed _____ By _____
(Signature of Authorized NYS Workers' Compensation Board Employee)

Telephone Number _____ Name and Title _____

Please Note: Only insurance carriers licensed to write NYS disability and paid family leave benefits insurance policies and NYS licensed insurance agents of those insurance carriers are authorized to issue Form DB-120.1. Insurance brokers are NOT authorized to issue this form.



SITE NUMBER:	04621
BASE MODEL:	SPECIAL
ASST TYPE:	FRANCHISE
CLASSIFICATION:	REPRESENTATIVE
OWNER:	DKA
BASE VERSION:	2020
UPDATE CLASSIFICATION:	OKA
STANDARD BASE:	
PROJECT YEAR:	2020
FURNITURE PACKAGE:	2020
DESIGN BULLETIN:	

Wallin + Gomez
ARCHITECTS LTD
711 South Hudson Street, Suite 606
P.O. 2437-4702 W. F. 312-827-6811
E: ADMIN@WGLTD.COM

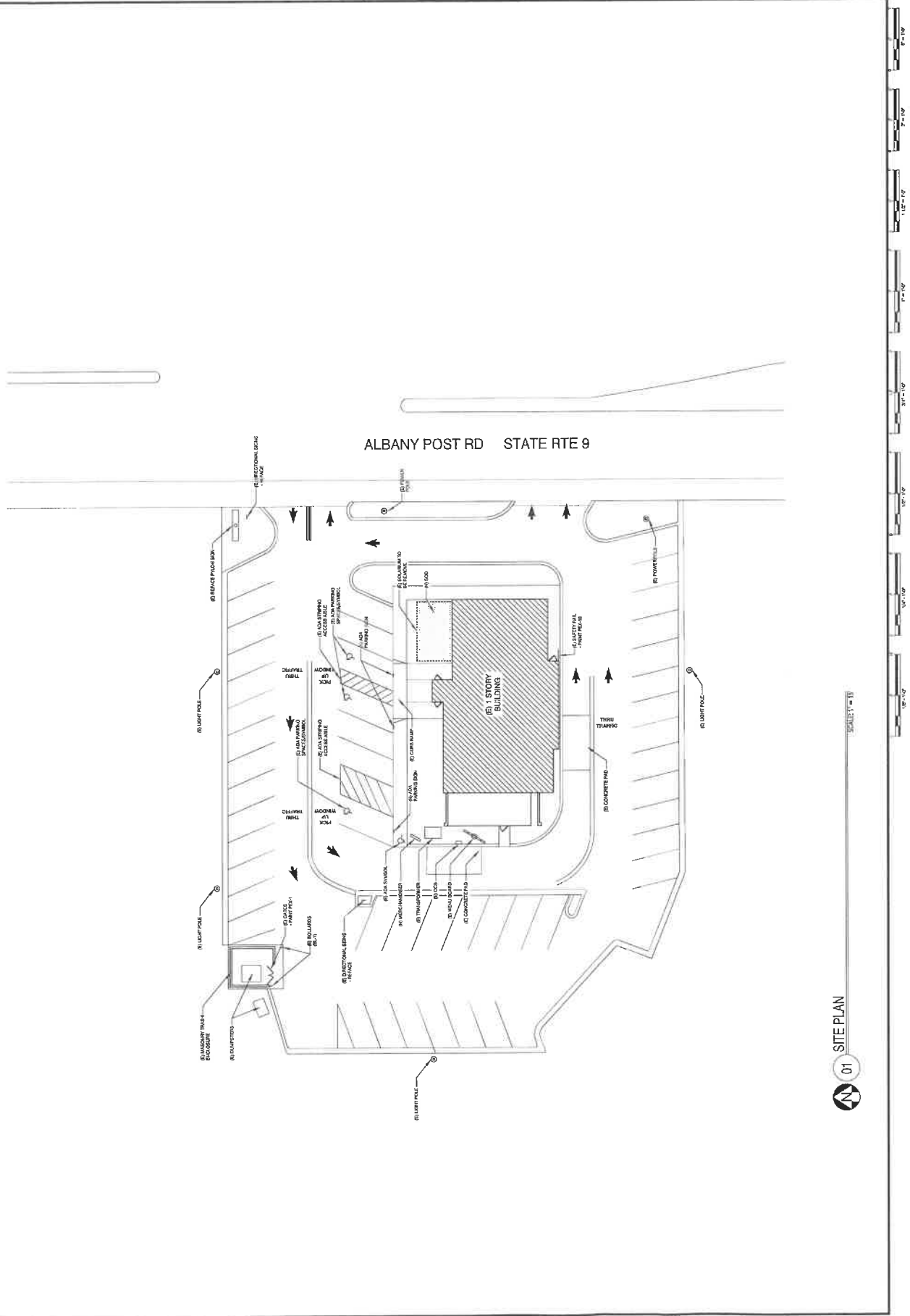
Wendy's
100 US-9
WAPPINGERS FALLS, NY, 12590

REV	DATE	DESCRIPTION
1	04.11.2020	ISSUED FOR REVIEW

PROJECT NUMBER: 04621
PROJECT NUMBER: 2325
DRAWN BY: **SS**
CHECKED BY: **DAM**

NOTES:
1. ALL DIMENSIONS SHOWN ON THIS PLAN ARE APPROXIMATE. FIELD DIMENSIONS SHALL BE OBTAINED IN THE FIELD BY THE ARCHITECT OR ARCHITECTURAL CONSULTANT.
2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND RECORDS FROM ALL APPLICABLE AGENCIES.
4. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM ALL APPLICABLE AGENCIES.
5. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM ALL APPLICABLE AGENCIES.
6. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM ALL APPLICABLE AGENCIES.
7. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM ALL APPLICABLE AGENCIES.
8. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM ALL APPLICABLE AGENCIES.
9. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM ALL APPLICABLE AGENCIES.
10. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS FROM ALL APPLICABLE AGENCIES.

STATE OF NEW YORK
REGISTERED ARCHITECT
DONALD J. WALLIN
EXPIRES 08/31/2021



01 SITE PLAN
SCALE: 1/8\"/>

WWW.SUNLIVING.COM © 2020 Sun Living, Inc. All rights reserved. SUNLIVING.COM 04/21/2020 10:52 AM

PROPOSED SIGNAGE CALCULATIONS

EAST	42.8 SF
TOTAL	42.8 SF

LEGEND

[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A
[Pattern]	1/2" BRUNNEN COMPACTED #27.4, 1/4" N/A

NOTE: REFER TO MATERIAL / FINISH / RESPONSIBILITY SCHEDULE ON SHEET AS.1 FOR SPECIFICATIONS OF ALL EXTERIOR MATERIALS AND FINISHES

Wallin + Gomez ARCHITECTS LTD
 711 N. WASHINGTON ST. SUITE 506
 CHICAGO, ILLINOIS 60605-1827
 P: 312.467.4702 F: 312.467.8611
 E: ADMIN@WGO.COM

Wendy's
 WAPPENERS FALLS, NY, 12590

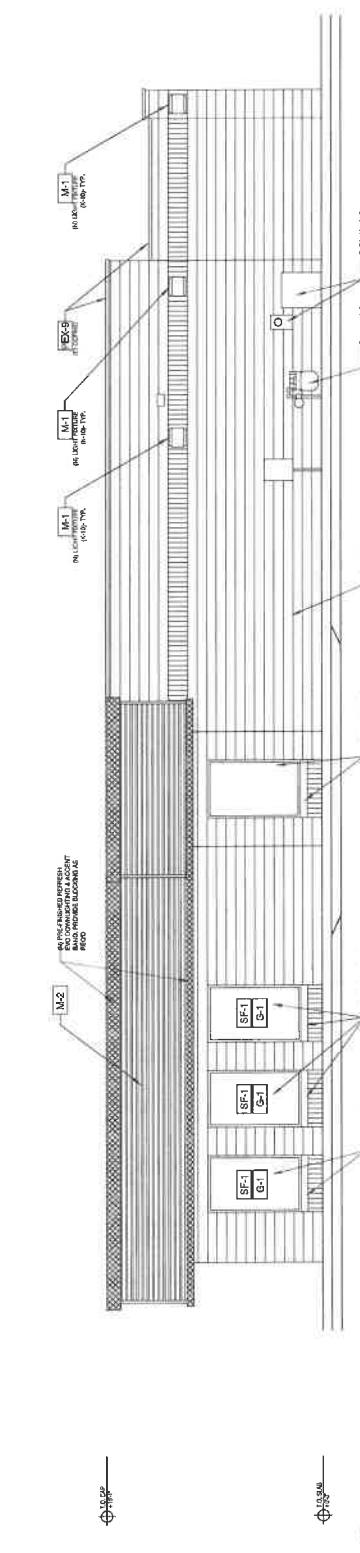
04621
 1801 US-9

REV	DATE	DESCRIPTION
1	10/17/2023	ISSUED FOR REVIEW
2		
3		
4		
5		
6		

PROJECT NUMBER: 2336
 PROJECT DATE: 7/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

STATE OF NEW YORK
 REGISTERED ARCHITECT
 WALLIN + GOMEZ ARCHITECTS LTD
 EXPIRES 12/31/2025

EXTERIOR ELEVATIONS
 SHEET NAME: **A2.1**



01 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

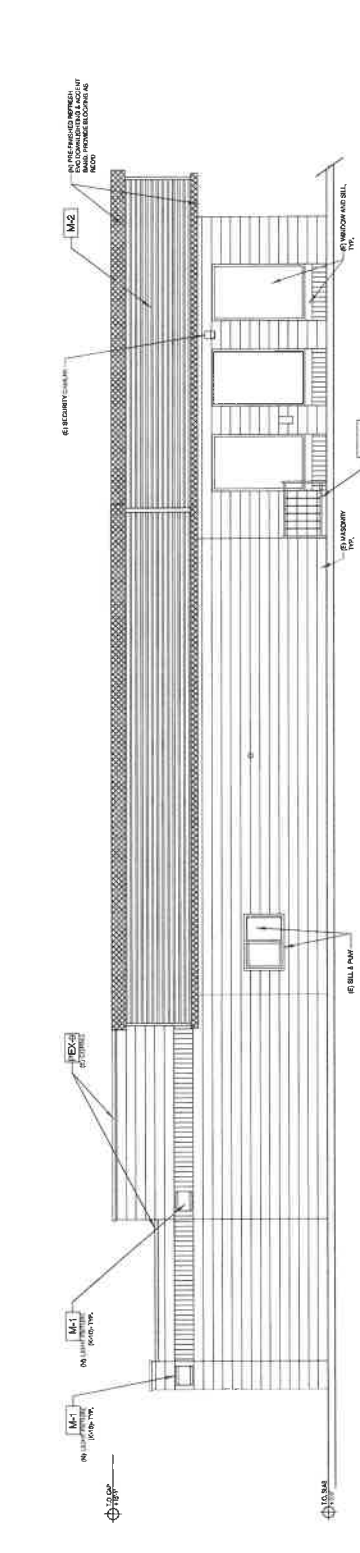
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



02 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

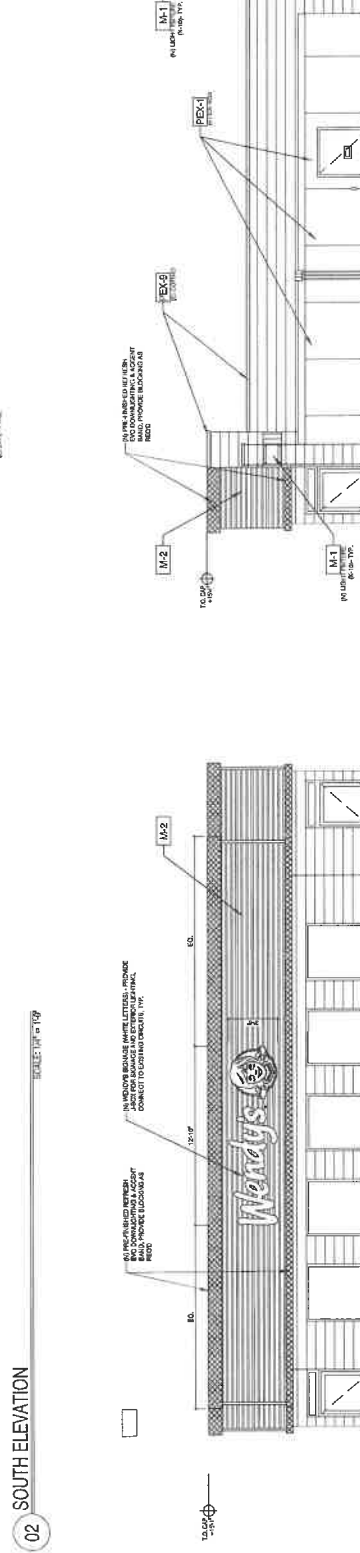
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



03 WEST ELEVATION

SCALE: 1/8" = 1'-0"

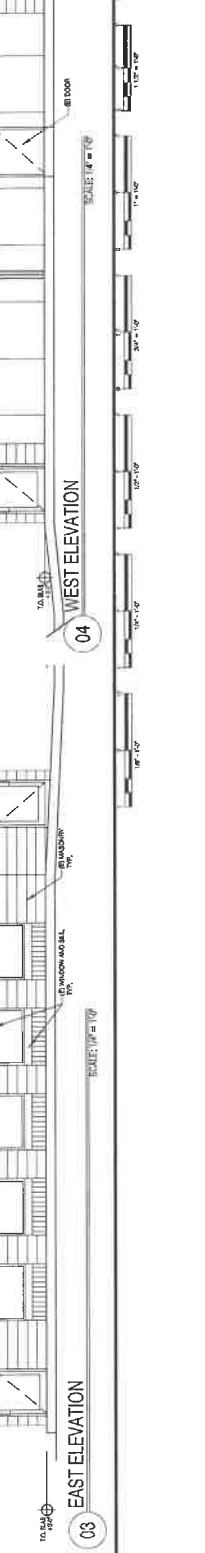
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



04 EAST ELEVATION

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

ARTPARK & WAYFINDING LEGEND
 AP-24: BACK WALL FRAME (AI)
 AP-25: CAME PARTIAL (A - CAME)
 WF-21: TIGHT FIT RISER
 WF-22: HARD WOOD BEAM
 WF-23: HARD WOOD BEAM
 WF-24: WOOD BEAM (STRUCTURAL)
 WF-25: WOOD BEAM (STRUCTURAL)
 WF-26: WOOD BEAM (STRUCTURAL)
 WF-27: WOOD BEAM (STRUCTURAL)
 WF-28: WOOD BEAM (STRUCTURAL)
 WF-29: WOOD BEAM (STRUCTURAL)
 WF-30: WOOD BEAM (STRUCTURAL)
 WF-31: WOOD BEAM (STRUCTURAL)
 WF-32: WOOD BEAM (STRUCTURAL)
 WF-33: WOOD BEAM (STRUCTURAL)
 WF-34: WOOD BEAM (STRUCTURAL)
 WF-35: WOOD BEAM (STRUCTURAL)
 WF-36: WOOD BEAM (STRUCTURAL)
 WF-37: WOOD BEAM (STRUCTURAL)
 WF-38: WOOD BEAM (STRUCTURAL)
 WF-39: WOOD BEAM (STRUCTURAL)
 WF-40: WOOD BEAM (STRUCTURAL)
 WF-41: WOOD BEAM (STRUCTURAL)
 WF-42: WOOD BEAM (STRUCTURAL)
 WF-43: WOOD BEAM (STRUCTURAL)
 WF-44: WOOD BEAM (STRUCTURAL)
 WF-45: WOOD BEAM (STRUCTURAL)
 WF-46: WOOD BEAM (STRUCTURAL)
 WF-47: WOOD BEAM (STRUCTURAL)
 WF-48: WOOD BEAM (STRUCTURAL)
 WF-49: WOOD BEAM (STRUCTURAL)
 WF-50: WOOD BEAM (STRUCTURAL)
 WF-51: WOOD BEAM (STRUCTURAL)
 WF-52: WOOD BEAM (STRUCTURAL)
 WF-53: WOOD BEAM (STRUCTURAL)
 WF-54: WOOD BEAM (STRUCTURAL)
 WF-55: WOOD BEAM (STRUCTURAL)
 WF-56: WOOD BEAM (STRUCTURAL)
 WF-57: WOOD BEAM (STRUCTURAL)
 WF-58: WOOD BEAM (STRUCTURAL)
 WF-59: WOOD BEAM (STRUCTURAL)
 WF-60: WOOD BEAM (STRUCTURAL)
 WF-61: WOOD BEAM (STRUCTURAL)
 WF-62: WOOD BEAM (STRUCTURAL)
 WF-63: WOOD BEAM (STRUCTURAL)
 WF-64: WOOD BEAM (STRUCTURAL)
 WF-65: WOOD BEAM (STRUCTURAL)
 WF-66: WOOD BEAM (STRUCTURAL)
 WF-67: WOOD BEAM (STRUCTURAL)
 WF-68: WOOD BEAM (STRUCTURAL)
 WF-69: WOOD BEAM (STRUCTURAL)
 WF-70: WOOD BEAM (STRUCTURAL)
 WF-71: WOOD BEAM (STRUCTURAL)
 WF-72: WOOD BEAM (STRUCTURAL)
 WF-73: WOOD BEAM (STRUCTURAL)
 WF-74: WOOD BEAM (STRUCTURAL)
 WF-75: WOOD BEAM (STRUCTURAL)
 WF-76: WOOD BEAM (STRUCTURAL)
 WF-77: WOOD BEAM (STRUCTURAL)
 WF-78: WOOD BEAM (STRUCTURAL)
 WF-79: WOOD BEAM (STRUCTURAL)
 WF-80: WOOD BEAM (STRUCTURAL)
 WF-81: WOOD BEAM (STRUCTURAL)
 WF-82: WOOD BEAM (STRUCTURAL)
 WF-83: WOOD BEAM (STRUCTURAL)
 WF-84: WOOD BEAM (STRUCTURAL)
 WF-85: WOOD BEAM (STRUCTURAL)
 WF-86: WOOD BEAM (STRUCTURAL)
 WF-87: WOOD BEAM (STRUCTURAL)
 WF-88: WOOD BEAM (STRUCTURAL)
 WF-89: WOOD BEAM (STRUCTURAL)
 WF-90: WOOD BEAM (STRUCTURAL)
 WF-91: WOOD BEAM (STRUCTURAL)
 WF-92: WOOD BEAM (STRUCTURAL)
 WF-93: WOOD BEAM (STRUCTURAL)
 WF-94: WOOD BEAM (STRUCTURAL)
 WF-95: WOOD BEAM (STRUCTURAL)
 WF-96: WOOD BEAM (STRUCTURAL)
 WF-97: WOOD BEAM (STRUCTURAL)
 WF-98: WOOD BEAM (STRUCTURAL)
 WF-99: WOOD BEAM (STRUCTURAL)
 WF-100: WOOD BEAM (STRUCTURAL)

MARK	QTY.	DESCRIPTION OF EQUIPMENT	REMARKS	INSTALLED BY	FINISHED BY	MARK	QTY.	DESCRIPTION OF EQUIPMENT	REMARKS	INSTALLED BY	FINISHED BY
A103	1	PRESSURE VESSEL ABOVE DRAIN ROOM									
A104	4	KIOSK TO IMPROVE USER EXPERIENCE									
0128	1	SHIRT DISPENSER									
0129	1	SHIRT DISPENSER									
0130	1	SHIRT DISPENSER									
0131	1	SHIRT DISPENSER									
0132	1	SHIRT DISPENSER									
0133	1	SHIRT DISPENSER									
0134	1	SHIRT DISPENSER									
0135	1	SHIRT DISPENSER									
0136	1	SHIRT DISPENSER									
0137	1	SHIRT DISPENSER									
0138	1	SHIRT DISPENSER									
0139	1	SHIRT DISPENSER									
0140	1	SHIRT DISPENSER									
0141	1	SHIRT DISPENSER									
0142	1	SHIRT DISPENSER									
0143	1	SHIRT DISPENSER									
0144	1	SHIRT DISPENSER									
0145	1	SHIRT DISPENSER									
0146	1	SHIRT DISPENSER									
0147	1	SHIRT DISPENSER									
0148	1	SHIRT DISPENSER									
0149	1	SHIRT DISPENSER									
0150	1	SHIRT DISPENSER									
0151	1	SHIRT DISPENSER									
0152	1	SHIRT DISPENSER									
0153	1	SHIRT DISPENSER									
0154	1	SHIRT DISPENSER									
0155	1	SHIRT DISPENSER									
0156	1	SHIRT DISPENSER									
0157	1	SHIRT DISPENSER									
0158	1	SHIRT DISPENSER									
0159	1	SHIRT DISPENSER									
0160	1	SHIRT DISPENSER									
0161	1	SHIRT DISPENSER									
0162	1	SHIRT DISPENSER									
0163	1	SHIRT DISPENSER									
0164	1	SHIRT DISPENSER									
0165	1	SHIRT DISPENSER									
0166	1	SHIRT DISPENSER									
0167	1	SHIRT DISPENSER									
0168	1	SHIRT DISPENSER									
0169	1	SHIRT DISPENSER									
0170	1	SHIRT DISPENSER									
0171	1	SHIRT DISPENSER									
0172	1	SHIRT DISPENSER									
0173	1	SHIRT DISPENSER									
0174	1	SHIRT DISPENSER									
0175	1	SHIRT DISPENSER									
0176	1	SHIRT DISPENSER									
0177	1	SHIRT DISPENSER									
0178	1	SHIRT DISPENSER									
0179	1	SHIRT DISPENSER									
0180	1	SHIRT DISPENSER									
0181	1	SHIRT DISPENSER									
0182	1	SHIRT DISPENSER									
0183	1	SHIRT DISPENSER									
0184	1	SHIRT DISPENSER									
0185	1	SHIRT DISPENSER									
0186	1	SHIRT DISPENSER									
0187	1	SHIRT DISPENSER									
0188	1	SHIRT DISPENSER									
0189	1	SHIRT DISPENSER									
0190	1	SHIRT DISPENSER									
0191	1	SHIRT DISPENSER									
0192	1	SHIRT DISPENSER									
0193	1	SHIRT DISPENSER									
0194	1	SHIRT DISPENSER									
0195	1	SHIRT DISPENSER									
0196	1	SHIRT DISPENSER									
0197	1	SHIRT DISPENSER									
0198	1	SHIRT DISPENSER									
0199	1	SHIRT DISPENSER									
0200	1	SHIRT DISPENSER									

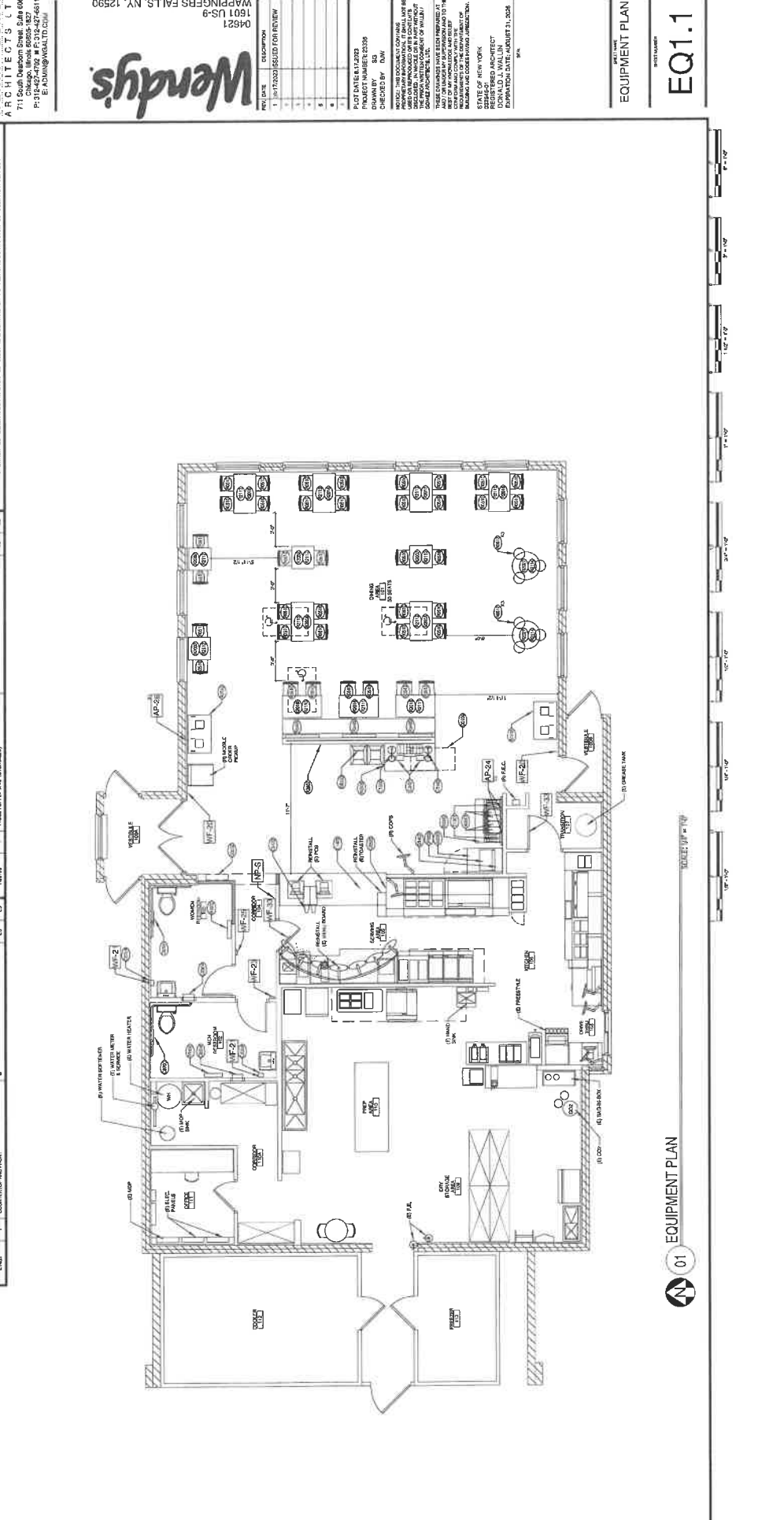
wallin + gomez
 ARCHITECTS LTD
 711 South Deborah Street, Suite 1006
 P-312-422-4792 F-312-427-6511
 E-ADMIN@WGLTD.COM

Wendy's
 WPP/PP/NS FALLS, NY, 12590

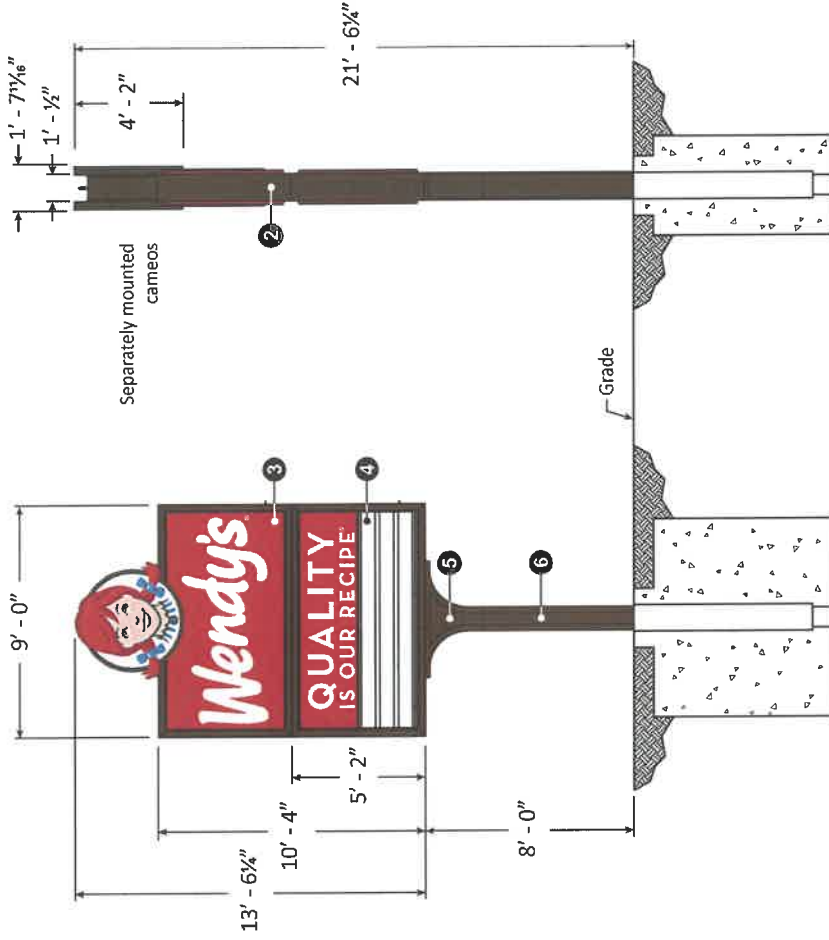
REV DATE DESCRIPTION
 1 10/17/2022 ISSUED FOR REVIEW

PROJECT NUMBER: 23139
 DRAWN BY: BS
 CHECKED BY: DMF

STATE OF NEW YORK
 REGISTERED ARCHITECT
 DONALD J. WALLIN
 LICENSE NUMBER: 14624



EQUIPMENT PLAN
 EQ1.1



Foundation specifications are site specific and subject to local soil and code requirements.

MATERIALS & SPECS

Actual: 101.38 ft² | Nearest Rectangle: 117 ft²

- PMS 186c - hair, freckles
- PMS 201c - hair, outline
- PMS 698c - face, neck
- PMS 299c - bow, shirt, brooch
- PMS 439c - outline
- Dark Bronze ALC #313 - pole, pole cover
- White

- ② Cabinet - 12 1/2" deep extruded aluminum with 2 1/2" aluminum retainers
- ③ Face - (2) 1 1/2" deep thermoformed .143" acrylic with 1/2" deep embossed copy
- ④ Featureboard + Readerboard - (2) thermoformed acrylic with 1/2" deep embossed copy and tracked for 3 lines of 6" characters
- ⑤ Thermoformed 1/2" ABS plastic decorative pole cover
- ⑥ 5" Schedule 40 sign pole stubbed out of sign 18" and shimmed to fit ground pole at 14' long

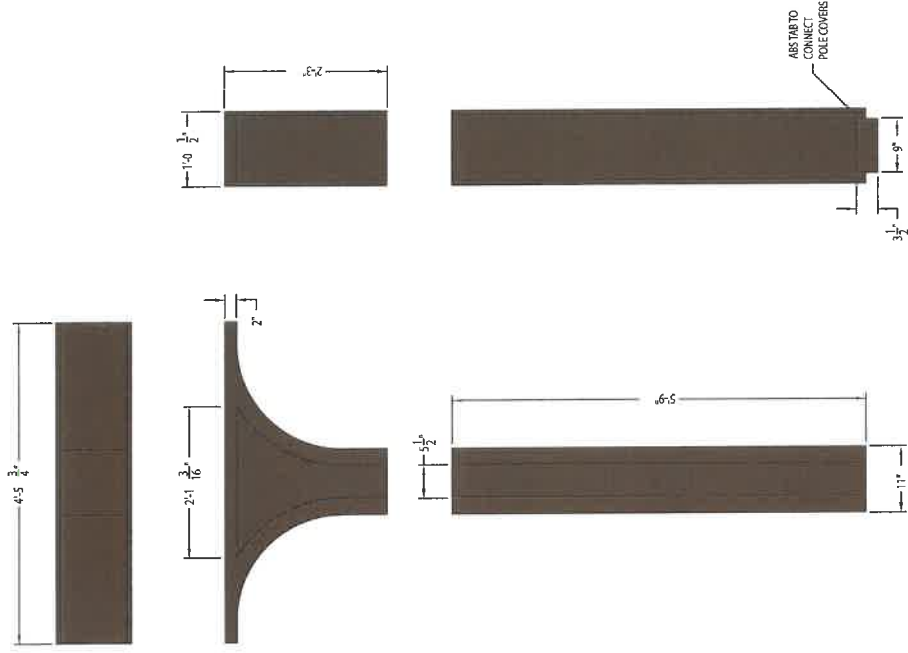
*Total electrical load: 16.04 amps.
Requires (1) 20 amp circuit @ 120V/60Hz (all components UL listed)

rev 6/17

POLE COVER



SMALL
NSS#: 81007293 / 81007294



MATERIALS & SPECS

ABS plastic painted

● Dark Bronze ALC #313 - pole, pole cover

rev. 6/17



National Sign Systems®

4200 Lyman Court
Hilliard Ohio, 43026

800.544.5726
614.850.2540

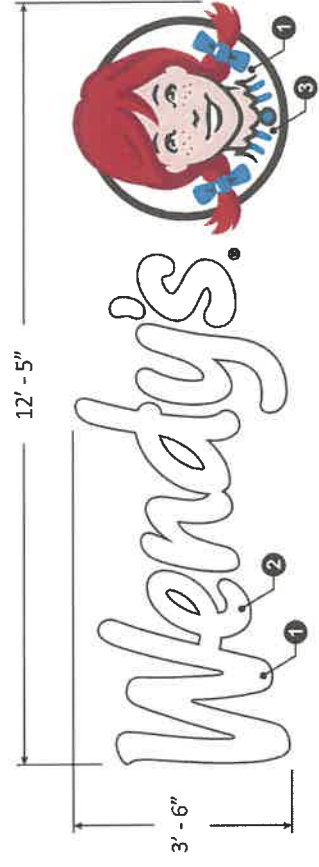
sales@natsignsys.com
nationalsignsystems.com



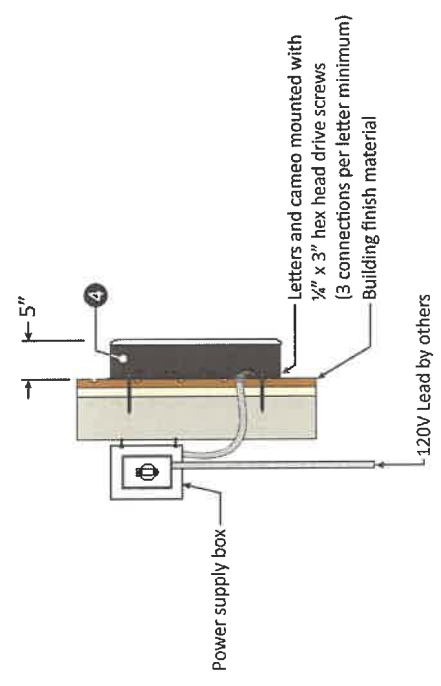


WIL42C
NSS#: 90012896

FLUSH MOUNT
CHANNEL LETTERS



Available on raceway.
Cameo available for individual purchase.



MATERIALS & SPECS

Actual: 21.08 ft² | Nearest Rectangle: 40.83 ft²

- 1 Illumination - white LEDs*
 - 2 Letter faces - thermoformed white acrylic
 - 3 Cameo face - digitally printed second surface thermoformed acrylic
 - 4 Letter & Cameo returns - 4 3/4" deep .040 aluminum
- PMS 186c - hair, freckles
 - PMS 201c - hair, outline
 - PMS 698c - face, neck
 - PMS 299c - bow, shirt, brooch
 - PMS 439c - outline
 - White

*Total electrical load: 2.4 amps.
Requires (1) 20 amp circuit @ 120V/60Hz (all components UL listed)

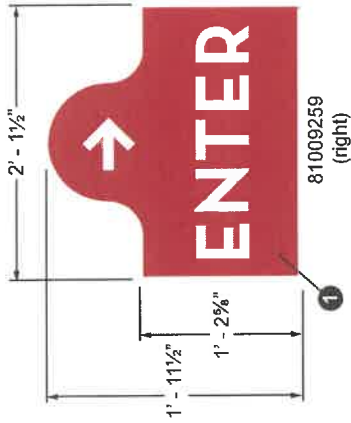
Wordmark available in Red **Wendy's**
NSS#: 90012897

rev. 6/17

FACE REPLACEMENT



DIRECTIONAL
(NO CAMEO)



MATERIALS & SPECS

- 1 Face - (2) 1/8" flat polycarbonate digitally printed second surface
- PMS 186c - hair, freckles
- White

rev 6.17