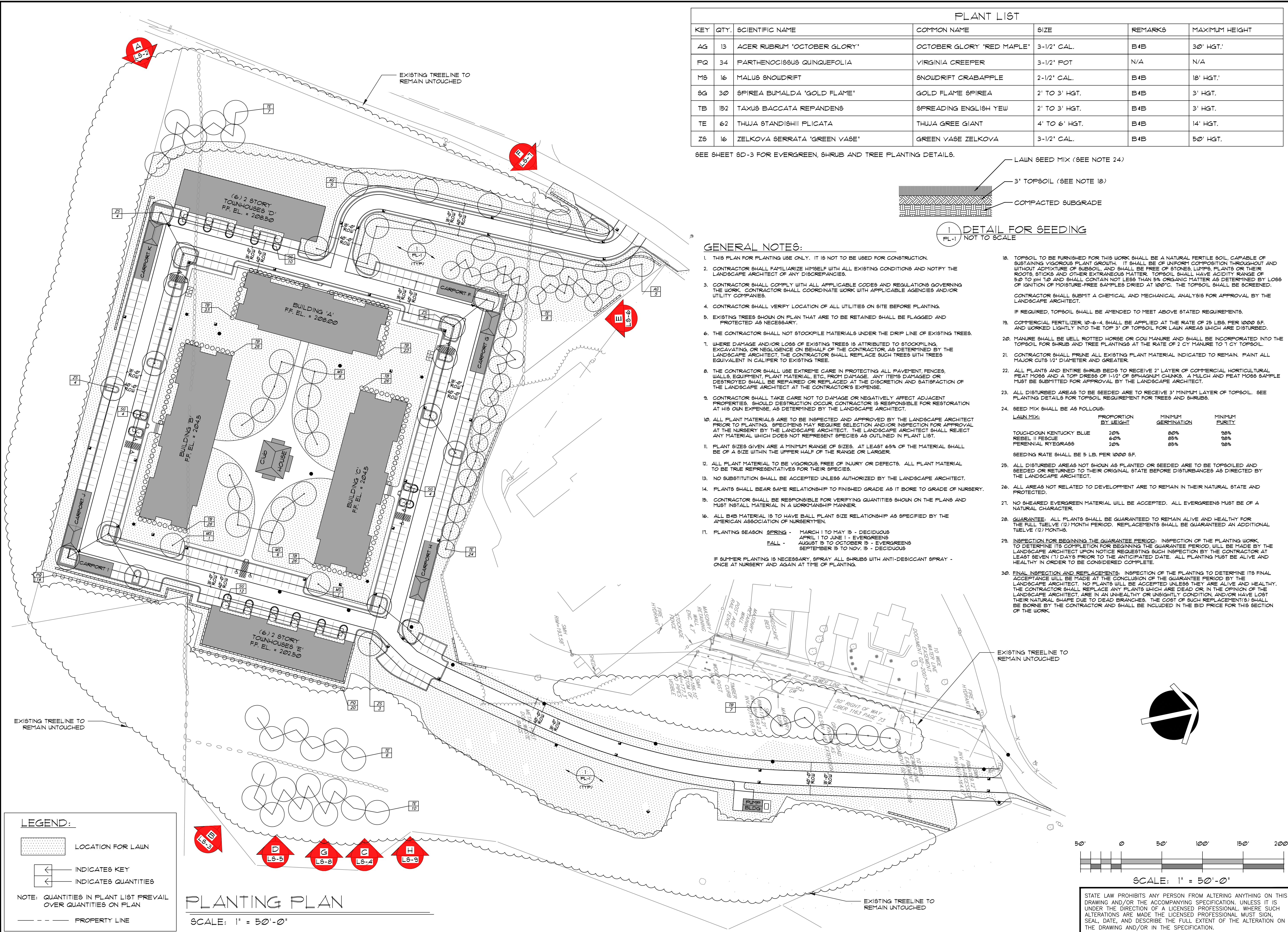
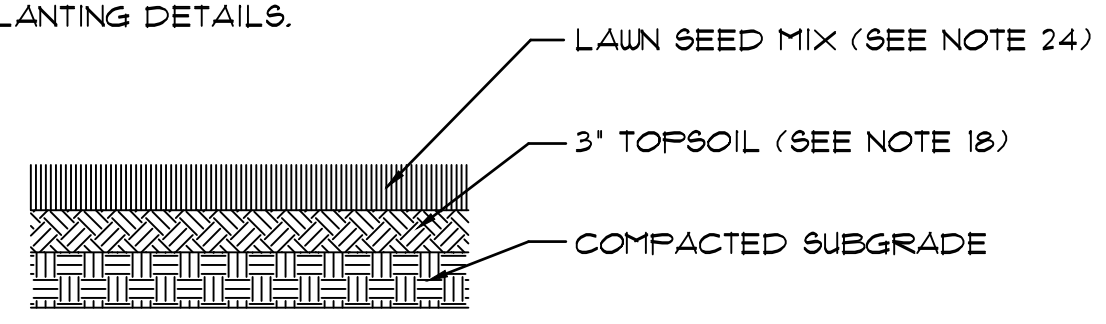


Drawing Name: C:\PROJECTS\BUCKINGHAM PROPERTIES\VISUAL REFERENCE FILES\PLV-1.DWG Date: 01/02/20 Time: 2:58 PM
 Referenced Drawings: DigSafe Distribution_Box_9hole Fill GateValve SepticTank_1000cal SlitFence SwatDetail Trench_Absorption Water_HouseConnection



PLANT LIST						
KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	MAXIMUM HEIGHT
AG	13	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY 'RED MAPLE'	3-1/2' CAL.	B4B	30' HGT.
PQ	34	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	3-1/2' POT	N/A	N/A
MS	16	MALUS SNOUDDRIFT	SNOUDDRIFT CRABAPPLE	2-1/2' CAL.	B4B	18' HGT.
SG	30	SPIREA BUMALDA 'GOLD FLAME'	GOLD FLAME SPIREA	2' TO 3' HGT.	B4B	3' HGT.
TB	152	TAXUS BACCATA REPANDENS	SPREADING ENGLISH YEW	2' TO 3' HGT.	B4B	3' HGT.
TE	62	THUJA STANDISHII PPLICATA	THUJA GREE GIANT	4' TO 6' HGT.	B4B	14' HGT.
ZS	16	ZELKOVA GERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3-1/2' CAL.	B4B	50' HGT.

SEE SHEET 6D-3 FOR EVERGREEN, SHRUB AND TREE PLANTING DETAILS.



GENERAL NOTES:

- THIS PLAN FOR PLANTING USE ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK. CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE AGENCIES AND/OR UTILITY COMPANIES.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES ON SITE BEFORE PLANTING.
- EXISTING TREES SHOWN ON PLAN THAT ARE TO BE RETAINED SHALL BE FLAGGED AND PROTECTED AS NECESSARY.
- THE CONTRACTOR SHALL NOT STOCKPILE MATERIALS UNDER THE DRIP LINE OF EXISTING TREES.
- WHERE DAMAGE AND/OR LOSS OF EXISTING TREES IS ATTRIBUTED TO STOCKPILING, EXCAVATING, OR NEGLIGENCE ON BEHALF OF THE CONTRACTOR, AS DETERMINED BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL REPLACE SUCH TREES WITH TREES EQUIVALENT IN CALIBER TO EXISTING TREE.
- THE CONTRACTOR SHALL USE EXTREME CARE IN PROTECTING ALL PAVEMENT, FENCES, WALLS, EQUIPMENT, PLANT MATERIAL, ETC. FROM DAMAGE. ANY ITEMS DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED AT THE DISCRETION AND SATISFACTION OF THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR NEGATIVELY AFFECT ADJACENT PROPERTIES. SHOULD DESTRUCTION OCCUR, CONTRACTOR IS RESPONSIBLE FOR RESTORATION AT HIS OWN EXPENSE, AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS ARE TO BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. SPECIMENS MAY REQUIRE SELECTION AND/OR INSPECTION FOR APPROVAL AT THE NURSERY BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL REJECT ANY MATERIAL WHICH DOES NOT REPRESENT SPECIES AS OUTLINED IN PLANT LIST.
- PLANT SIZES GIVEN ARE A MINIMUM RANGE OF SIZES. AT LEAST 65% OF THE MATERIAL SHALL BE OF A SIZE WITHIN THE UPPER HALF OF THE RANGE OR LARGER.
- ALL PLANT MATERIAL TO BE VIGOROUS, FREE OF INJURY OR DEFECTS. ALL PLANT MATERIAL TO BE TRUE REPRESENTATIVES FOR THEIR SPECIES.
- NO SUBSTITUTION SHALL BE ACCEPTED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- PLANTS SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO GRADE OF NURSERY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES SHOWN ON THE PLANS AND MUST INSTALL MATERIAL IN A WORKSMANSHIP MANNER.
- ALL B4B MATERIAL IS TO HAVE BALL PLANT SIZE RELATIONSHIP AS SPECIFIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTING SEASON:
 - SPRING - MARCH 1 TO MAY 15 - DECIDUOUS
 - APRIL 1 TO JUNE 1 - EVERGREENS
 - FALL - AUGUST 15 TO OCTOBER 15 - EVERGREENS
 - SEPTEMBER 15 TO NOV. 15 - DECIDUOUS
- IF SUMMER PLANTING IS NECESSARY, SPRAY ALL SHRUBS WITH ANTI-DESICCANT SPRAY - ONCE AT NURSERY AND AGAIN AT TIME OF PLANTING.
- TOPSOIL TO BE FURNISHED FOR THIS WORK SHALL BE A NATURAL FERTILE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL BE OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURE OF SUBSOIL, AND SHALL BE FREE OF STONES, LUMPS, PLANTS OR THEIR ROOTS, STICKS AND OTHER EXTRANEIOUS MATTER. TOPSOIL SHALL HAVE ACIDITY RANGE OF 5.0 TO 6.0 AND SHALL CONTAIN NOT LESS THAN 5% ORGANIC MATTER AS DETERMINED BY LOSS OF IGNITION OF MOISTURE-FREE SAMPLES DRIED AT 100°C. THE TOPSOIL SHALL BE SCREENED. CONTRACTOR SHALL SUBMIT A CHEMICAL AND MECHANICAL ANALYSIS FOR APPROVAL BY THE LANDSCAPE ARCHITECT. IF REQUIRED, TOPSOIL SHALL BE AMENDED TO MEET ABOVE STATED REQUIREMENTS.
- COMMERCIAL FERTILIZER 10-6-4, SHALL BE APPLIED AT THE RATE OF 25 LBS. PER 1000 SF. AND WORKED LIGHTLY INTO THE TOP 3\"/>

LAWN MIX:	PROPORTION BY WEIGHT	MINIMUM GERMINATION	MINIMUM PURITY
TOUCHDOWN KENTUCKY BLUE	20%	80%	98%
REBEL 11 FESCUE	60%	85%	98%
PERENNIAL RYEGRASS	20%	85%	98%

SEEDING RATE SHALL BE 5 LB. PER 1000 SF.

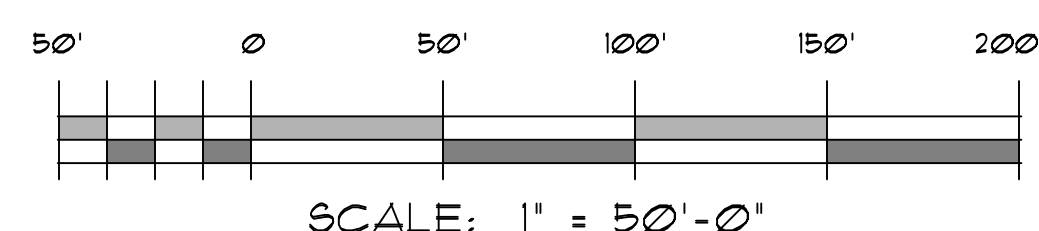
LEGEND:

- [Pattern] LOCATION FOR LAWN
- [Arrow] INDICATES KEY
- [Arrow] INDICATES QUANTITIES

NOTE: QUANTITIES IN PLANT LIST PREVAIL OVER QUANTITIES ON PLAN

--- PROPERTY LINE

PLANTING PLAN
 SCALE: 1" = 50'-0"



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

NO.	DATE	BY	REVISIONS
			DESCRIPTION

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windsor Highway | 1073 Main Street, Suite 203
 New Windsor, New York 12555 | Fishkill, New York 12524
 845-567-3030 | 845-896-2747
 charlespmay@aol.com



BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601-6156-13-011325

DATE	DRAWN	CHECKED
12/23/2019	SJC	CFM1

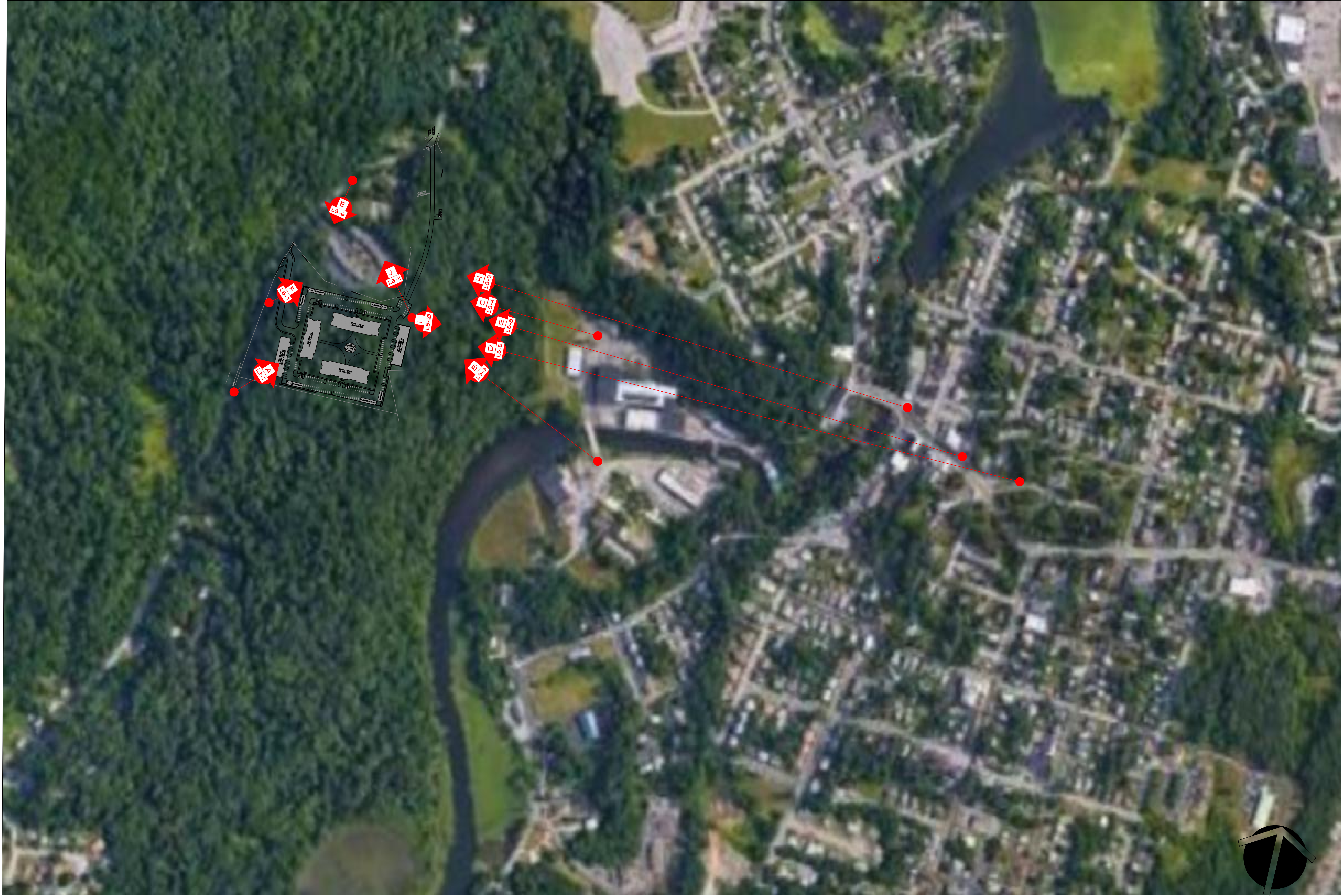
SCALE: AS NOTED

SHEET TITLE
PLANTING PLAN

PROJECT NUMBER
 2016-04

PLV-1

DRAWING NUMBER
 SHEET 1 OF 15




STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM
SCALE 1" = 200'-0"		
SHEET TITLE		
LINE OF SIGHT LOCATIONS		

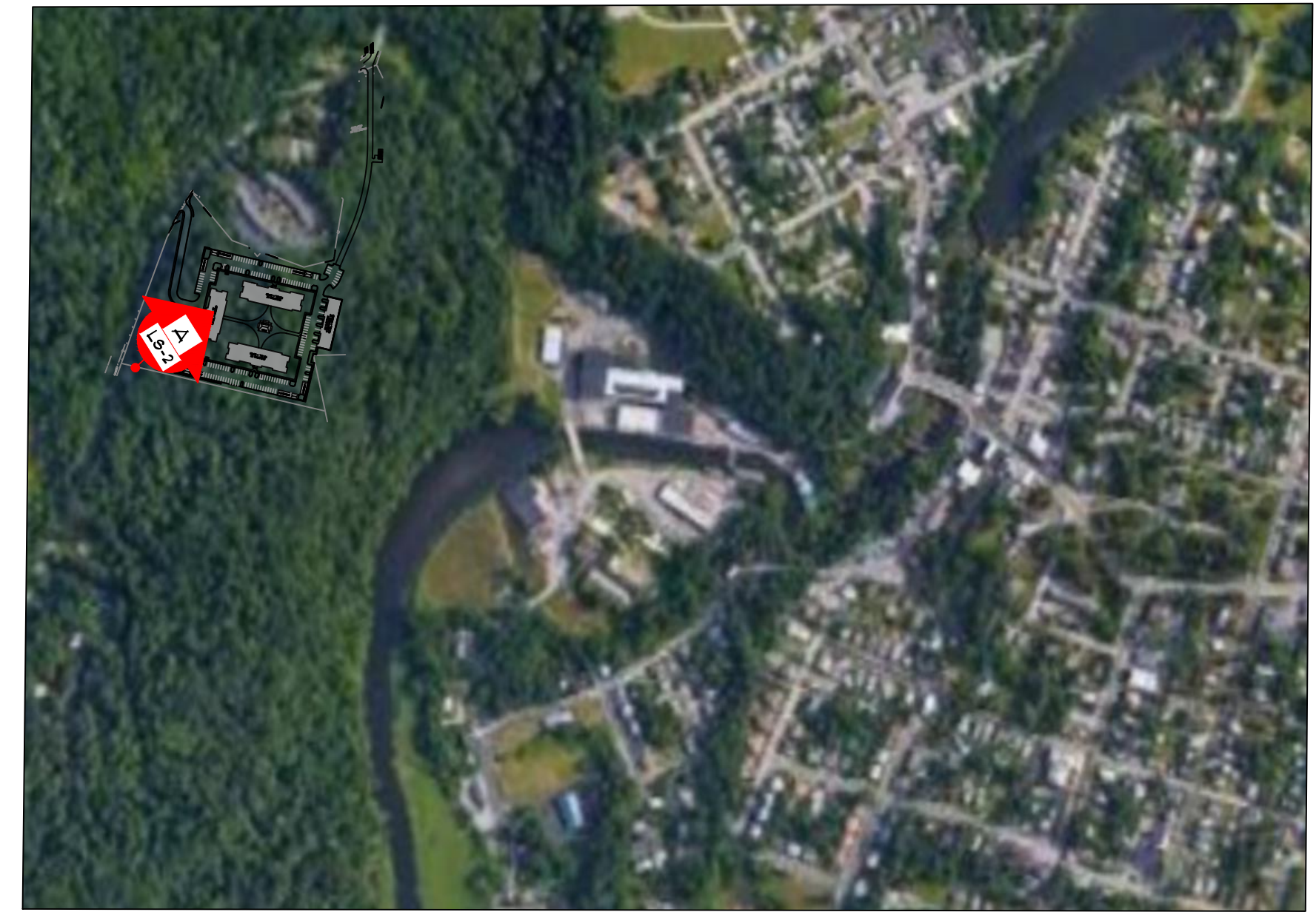
BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAFFINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325



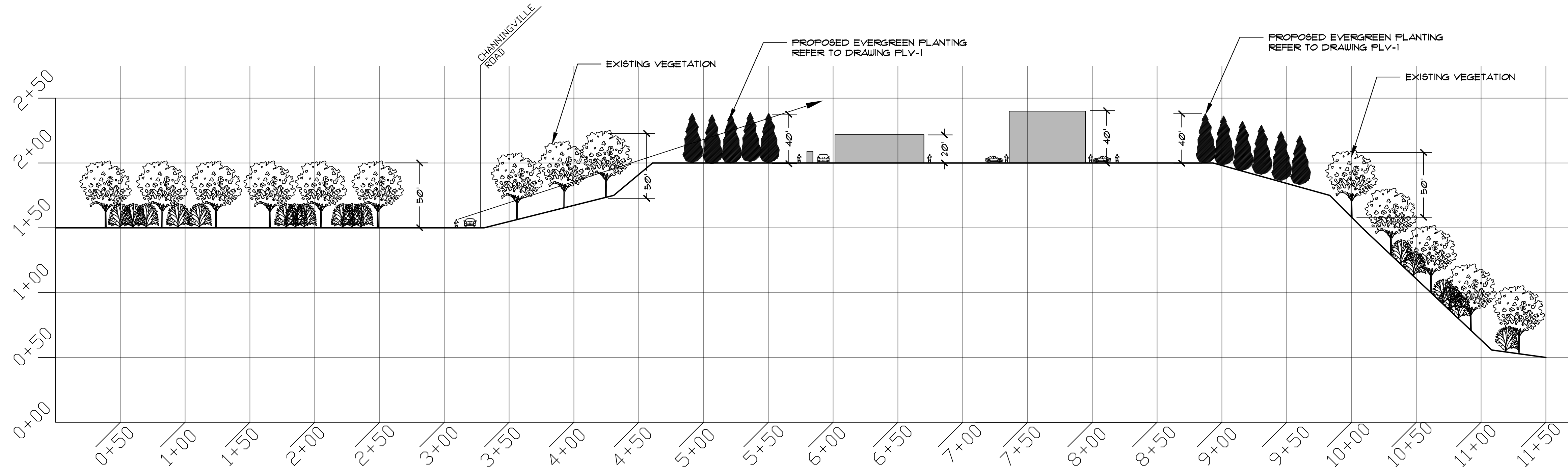
CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS
 367 Windsor Highway □ 1073 Main Street, Suite 203
 New Windsor, New York 12553 Fishkill, New York 12524
 843-536-1300 P.O. Box 308 843-896-2747
 charlesmayassoc.com

REVISIONS		DATE	BY	CHECKED	DESCRIPTION
NO.	1	12-28-14	FKG	CFM	Revised wet well

PROJECT NUMBER
 2016-04
LS-1
 DRAWING NUMBER
 SHEET 2 OF 15



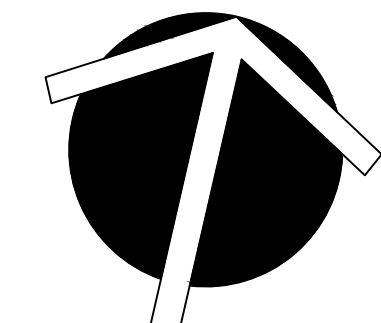
NOTES:
 THIS PHOTOGRAPH IS TAKEN IN FRONT OF PROPERTY ADJACENT TO BOWDOIN PARK, ON CHANNINGVILLE ROAD, FACING NORTH. HEAVY VEGETATION AND HIGH SLOPES PROVIDES A COMPLETELY COVERED SCREEN OF THE SITE. REFER TO DWG. PLV-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



VISUAL REFERENCE POINT A - BOWDOIN PARK
 SCALE: HORIZ: 1"=50' VERT: 1"=50'

LEGEND:

- POINT (red arrow)
- VIEWSHED (red arrow with 'X')
- SHEET NUMBER (red circle with 'XX-X')
- PHOTO POINT OF LOCATION (red dot)



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

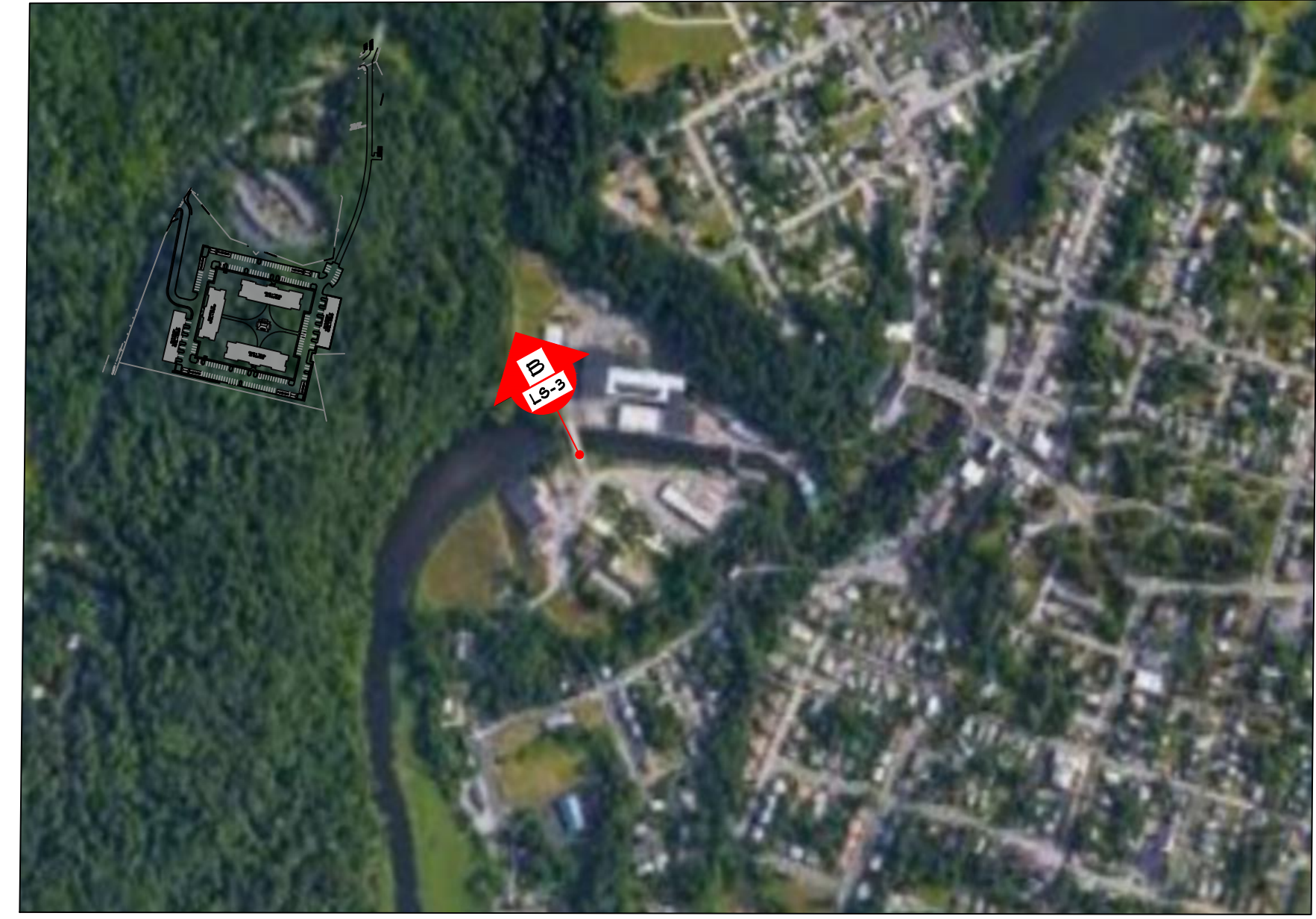
REVISIONS	
NO.	1
DATE	12-28-14
BY	FKG
CHECKED	CFM
DESCRIPTION	Revised wet well

CHARLES P. MAY & ASSOCIATES, P.C.
 DESIGN PROFESSIONALS
 367 Windoor Highway, Suite 203
 New Windsor, New York 12553
 843-561-8663
 charlesmay@cpma.com

BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAFFINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

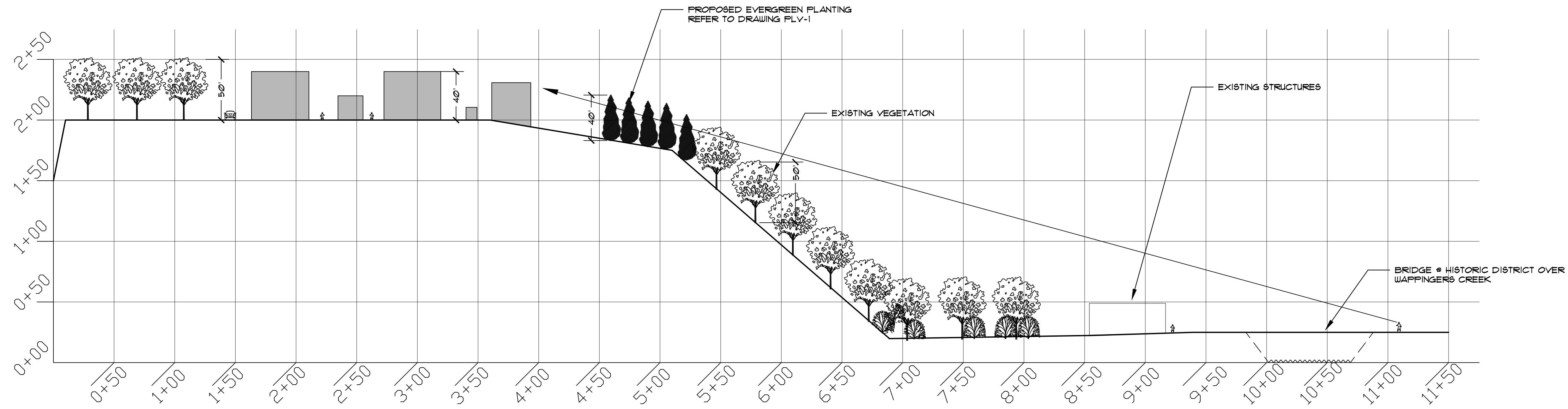
DATE	12/23/2019	DRAWN	LN	CHECKED	CFM
SCALE:					
SHEET TITLE					
LINE OF SIGHT PROFILES					

PROJECT NUMBER
 2016-04
LS-2
 DRAWING NUMBER
 SHEET 3 OF 15



SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)

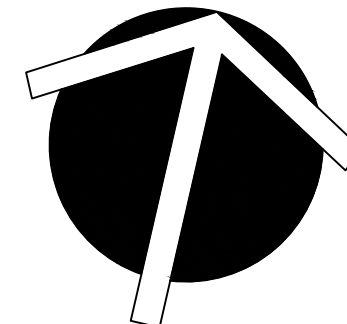
NOTES:
 THIS PHOTOGRAPH IS TAKEN AT THE HISTORIC DISTRICT IN THE VILLAGE OF WAPPINGERS FALLS.
 THIS LOCATION IS 150 FT BELOW SITE ELEVATION FACING NORTH WEST TOWARDS PROPOSED SITE.
 THIS VIEW DEMONSTRATES HEAVY VEGETATION COVERING THE SITE COMPLETELY. REFER TO DWG
 PLV-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



B
LS-3 VISUAL REFERENCE POINT B- WAPPINGERS FALLS - HISTORIC DISTRICT
 SCALE: HORIZ: 1"=50' VERT: 1"=50'

LEGEND:

- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



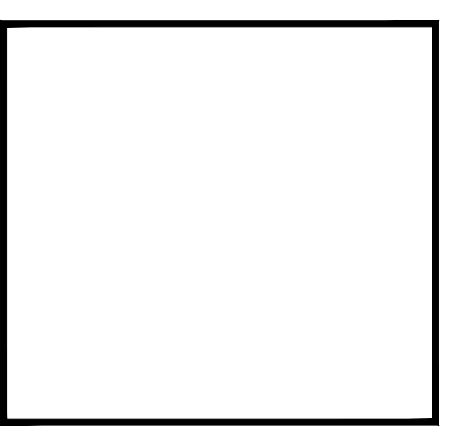
STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

REVISIONS	
NO.	1
DATE	12-28-14
BY	PKG CPT
CHECKED	
DESCRIPTION	Rev/Issued with well

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windoor Highway □ 1075 Main Street, Suite 203
 New Windsor, New York 12553 Fishkill, New York 12524
 843-367-8883 □ 843-367-8883 □ 843-367-8883
 charlesmay@cpma.com



BUCKINGHAM PROPERTY MANAGEMENT

CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM
SCALE:		
SHEET TITLE		
LINE OF SIGHT PROFILES		

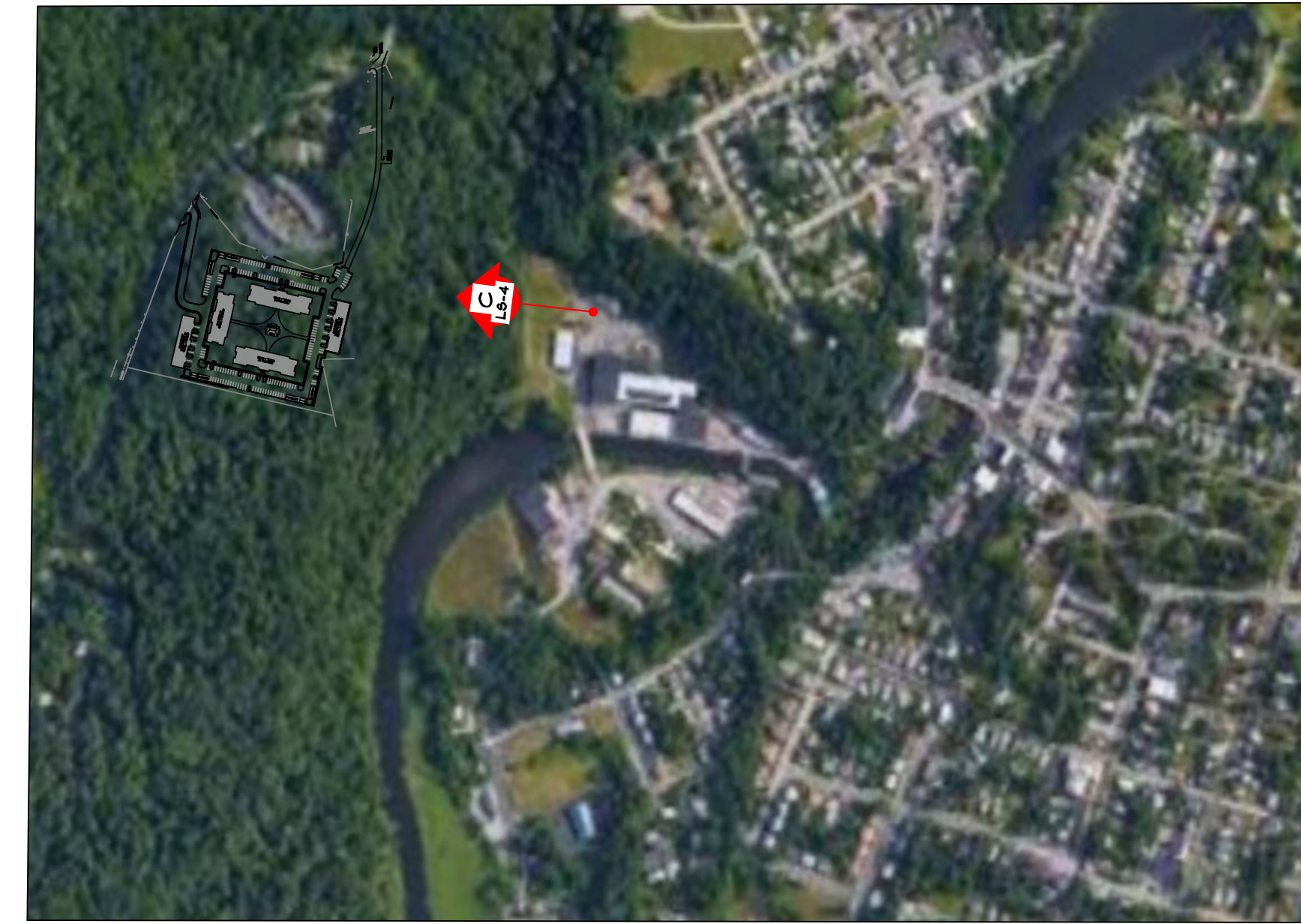
PROJECT NUMBER
 2016-04

LS-3

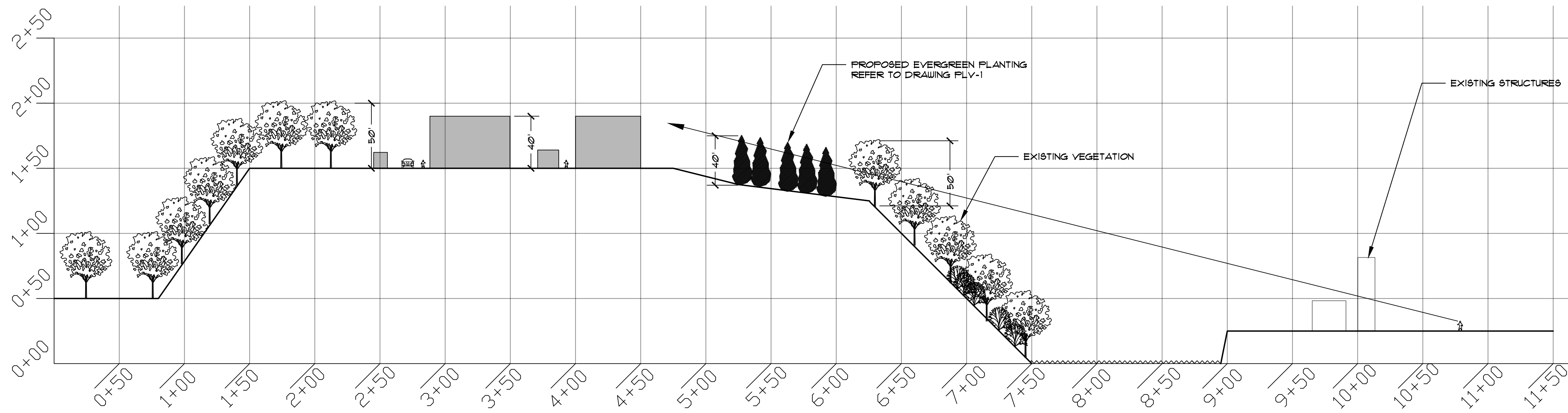
DRAWING NUMBER
 SHEET 4 OF 15



NOTES:
 THIS PHOTOGRAPH IS TAKEN AT THE INDUSTRIAL DISTRICT OF THE VILLAGE OF WAPPINGERS FALLS, FACING WEST TOWARDS LOCATION OF PROPOSED SITE. HEAVY SLOPES AND HIGH, HEAVY VEGETATION PROVIDES A COMPLETELY COVERED SCREEN OF THE SITE. REFER TO DWG PLY-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



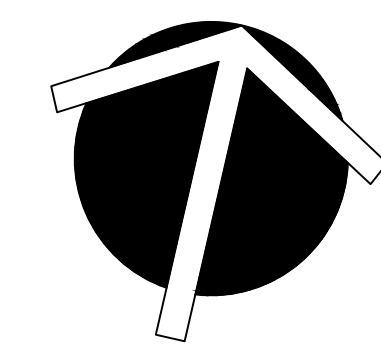
SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)



C
 LS-4 VISUAL REFERENCE POINT C - WAPPINGERS FALLS - INDUSTRIAL DISTRICT
 SCALE: HORIZ: 1"=50' VERT: 1"=50'

LEGEND:

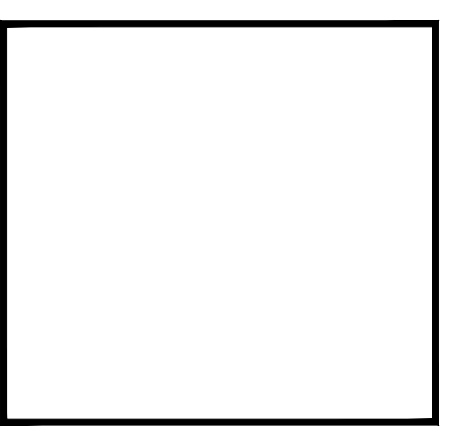
- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

REVISIONS		DESCRIPTION
NO.	DATE	BY
1	13-28-14	FKG
		CFP
		Rev/Issued with well

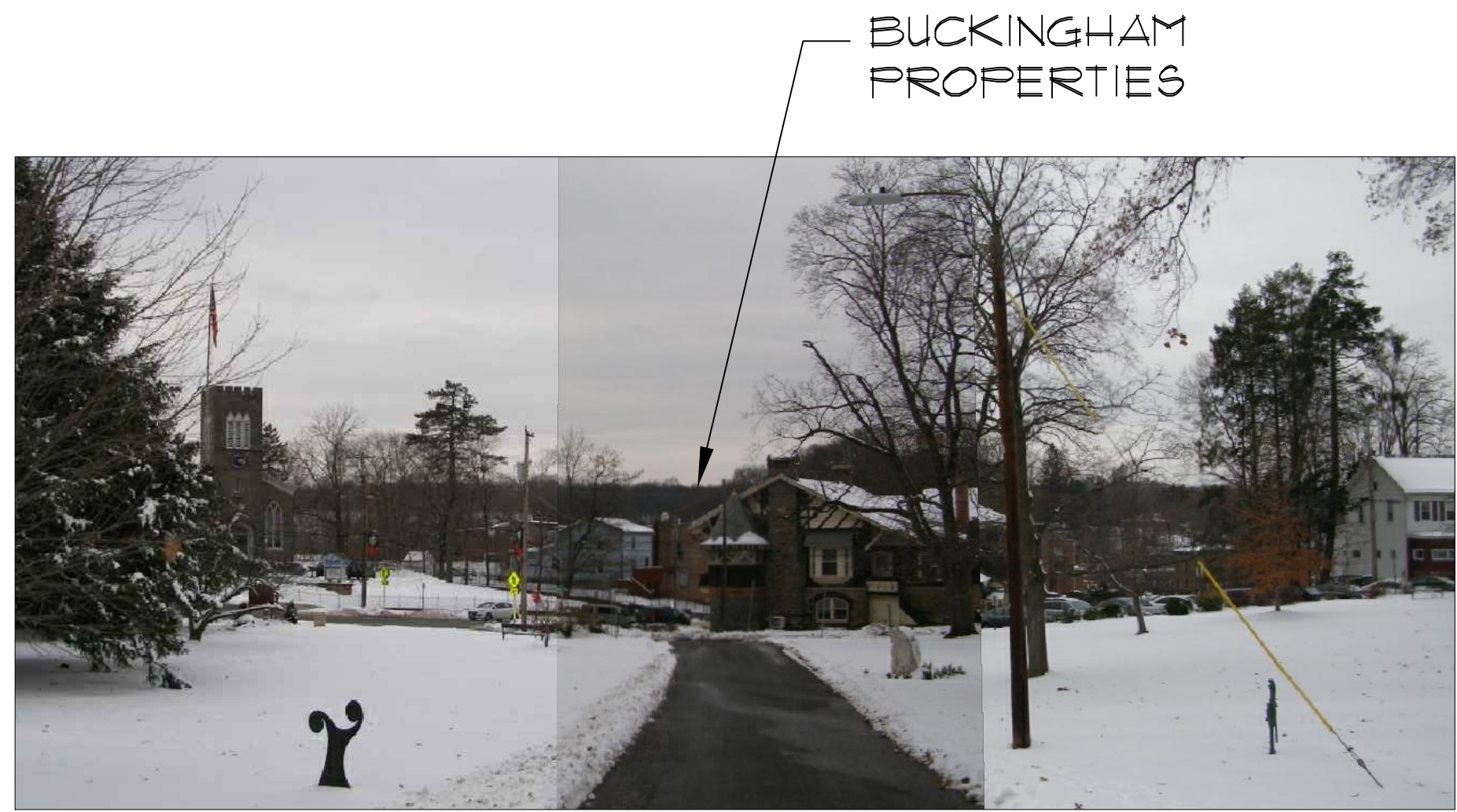
CHARLES P. MAY & ASSOCIATES, P.C.
 DESIGN PROFESSIONALS
 367 Windsor Highway
 New Windsor, New York 12553
 843-5361
 charlesmayassociates.com



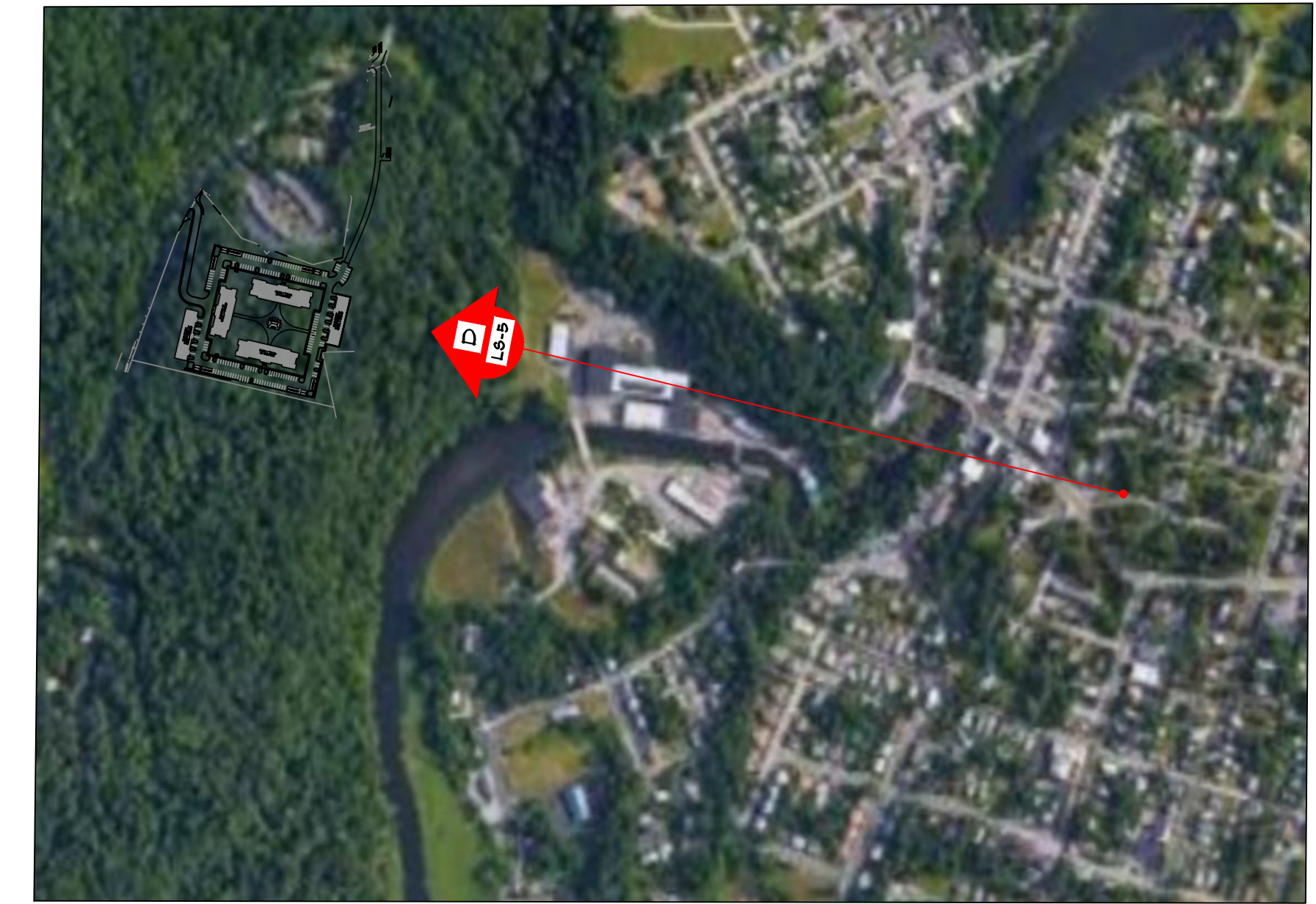
BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM
SCALE:		
SHEET TITLE		
LINE OF SIGHT PROFILES		

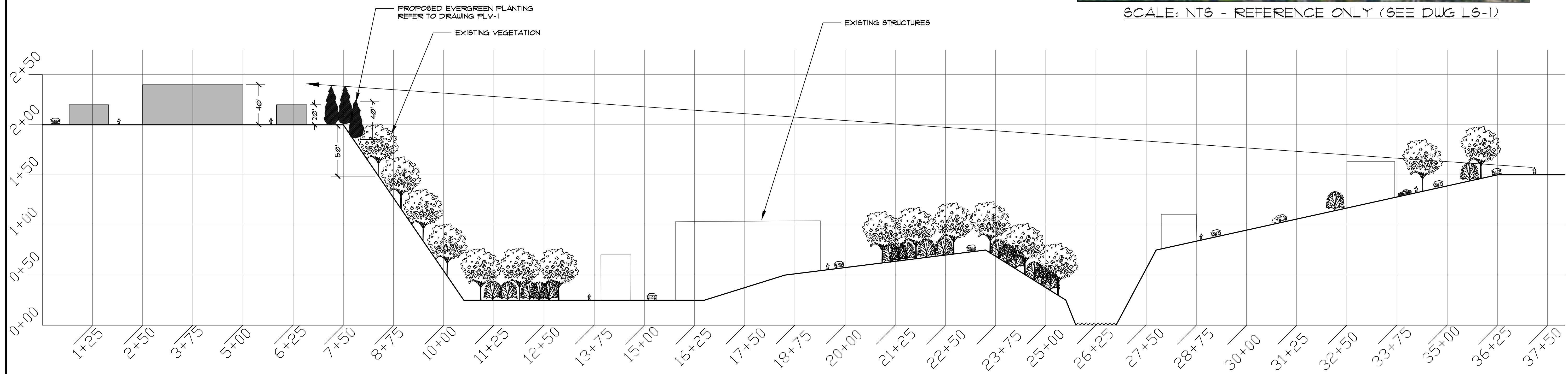
PROJECT NUMBER
 2016-04
LS-4
 DRAWING NUMBER
 SHEET 5 OF 15



NOTES:
 THIS PHOTOGRAPH IS TAKEN AT THE CENTER OF MESIER PARK IN THE VILLAGE OF WAPPINGER FALLS FACING WEST TOWARDS LOCATION OF PROPOSED SITE. SHOWS EXISTING STRUCTURES & HEAVY VEGETATION. THIS LOCATION IS ONE OF THE HIGHEST ELEVATIONS WITH THE LEAST AMOUNT OF EXISTING STRUCTURES VISIBLE TO THE PROPOSED SITE. REFER TO DWG PLV-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



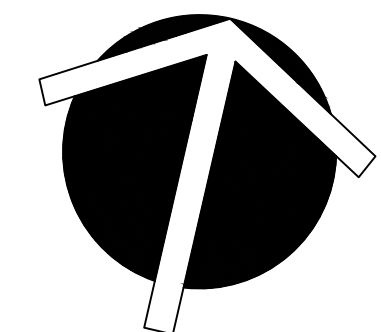
SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)



D
LS-5 VISUAL REFERENCE POINT D - WAPPINGERS FALLS - MESIER PARK
 SCALE: HORIZ: 1"=125' VERT: 1"=50'

LEGEND:

- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

NO.	DATE	BY	CHKD	DESCRIPTION
1	12-28-14	FKG	CFM	Rev/Issued with well

CHARLES P. MAY & ASSOCIATES, P.C.
DESIGN PROFESSIONALS
 367 Windbor Highway
 New Windsor, New York 12553
 843-5367
 charlesmay@cpma.com

BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

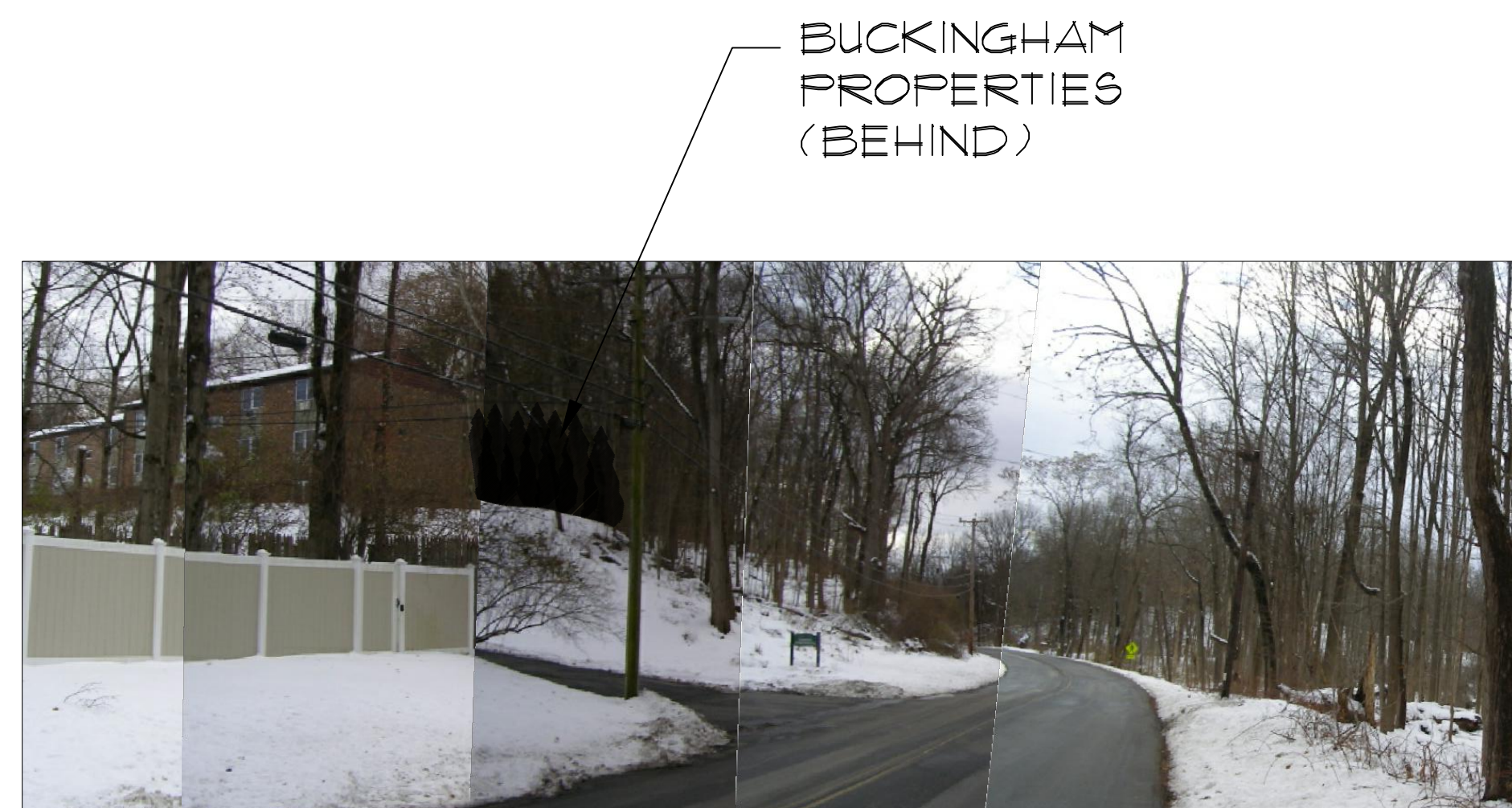
DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

SCALE:
 SHEET TITLE:
 LINE OF SIGHT PROFILES

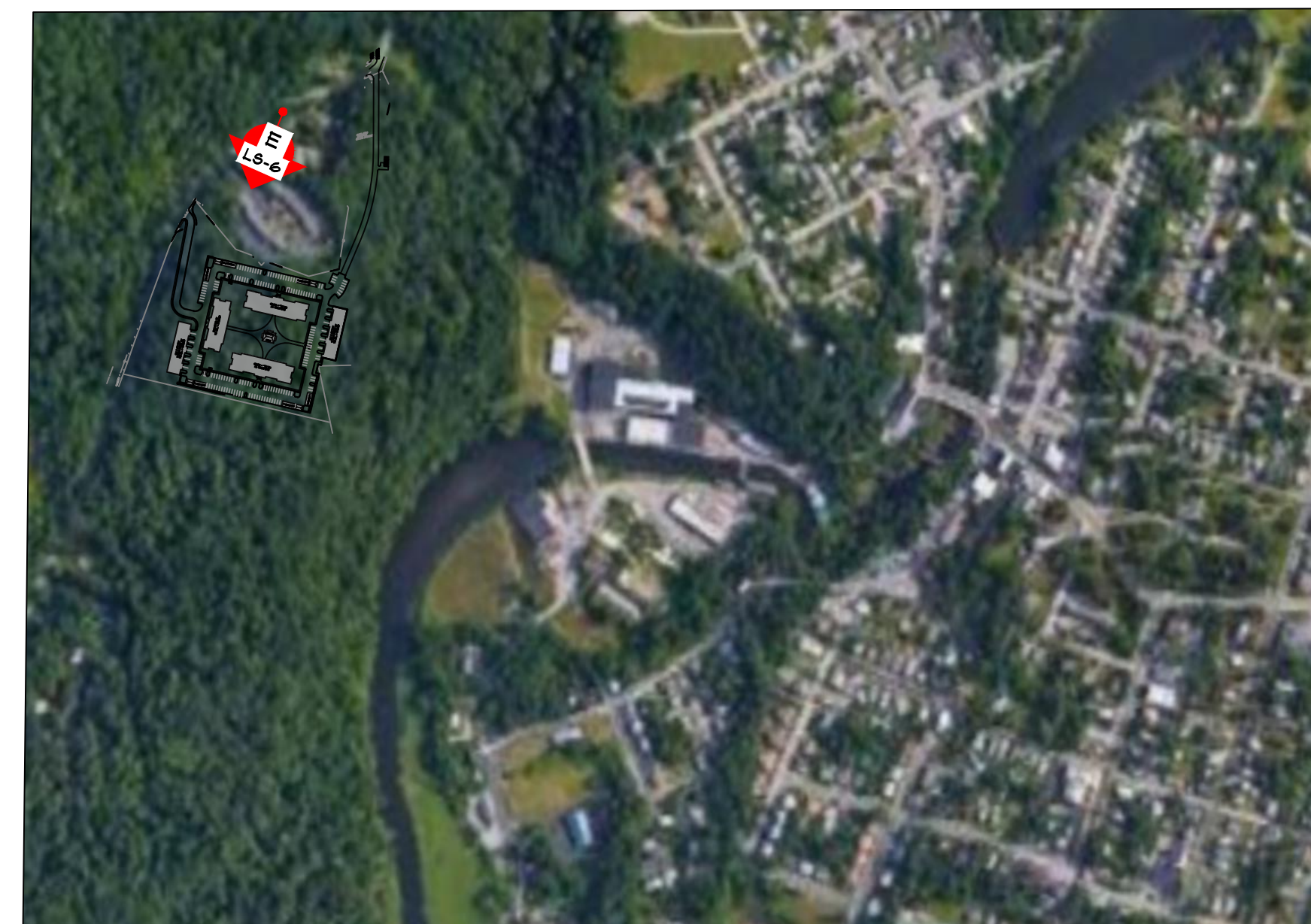
PROJECT NUMBER:
 2016-04

LS-5
 DRAWING NUMBER

SHEET 6 OF 15

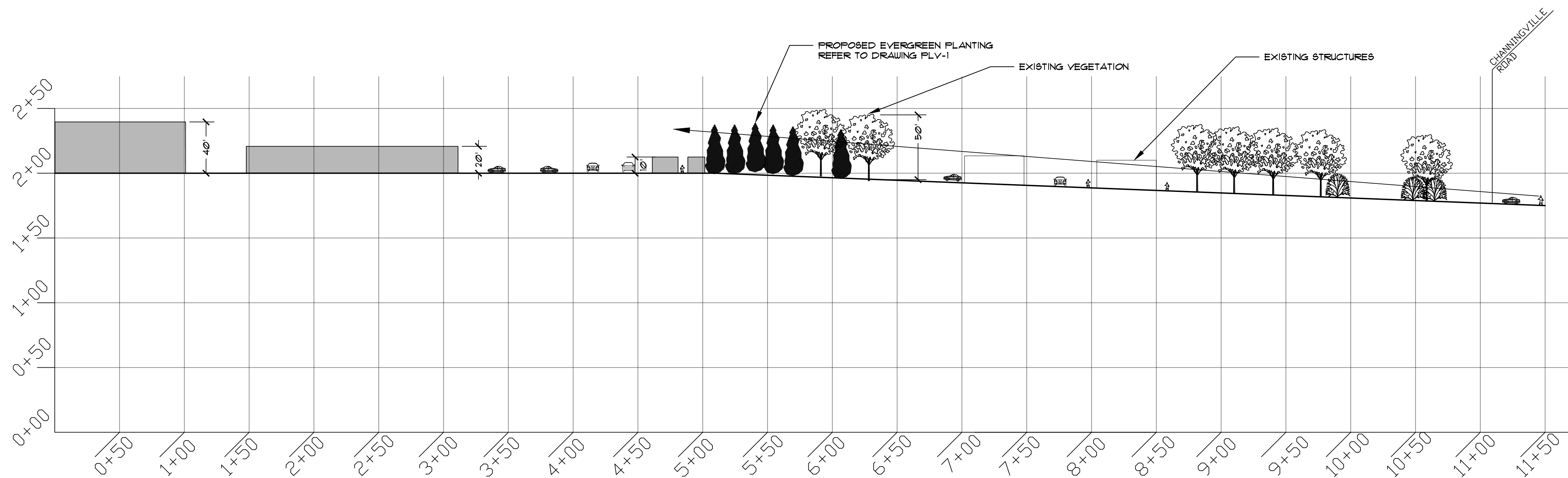


BUCKINGHAM PROPERTIES (BEHIND)



SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)

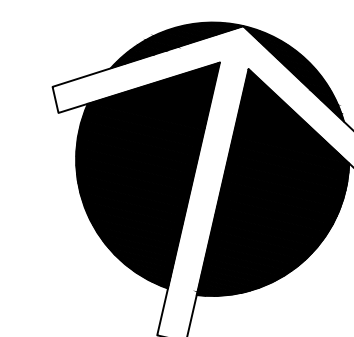
NOTES:
 THIS PHOTOGRAPH IS TAKEN IN FRONT OF OAK TREE GARDENS APTS IN WAPPINGER FALLS., FACING SOUTH OFF OF CHANNINGVILLE ROAD, TOWARDS THE PROPOSED SITE SHOWS EXISTING STRUCTURES & HEAVY VEGETATION. WHICH WILL SCREEN THE SITE COMPLETELY. REFER TO DWG PLY-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



E L5-6 VISUAL REFERENCE POINT E - CHANNINGVILLE ROAD VICINITY OF SITE - FACING SOUTH
 SCALE: HORIZ: 1"=50' VERT: 1"=50'

LEGEND:

- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

NO.	DATE	BY	CHECKED	DESCRIPTION
1	12-28-14	FKG	CFM	Rev/Issued with well

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windoor Highway
 New Windsor, New York 12553
 843-3567

1073 Main Street, Suite 203
 Fishkill, New York 12524
 843-3600

charlesmayassociates.com

BUCKINGHAM PROPERTY MANAGEMENT

CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGER FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

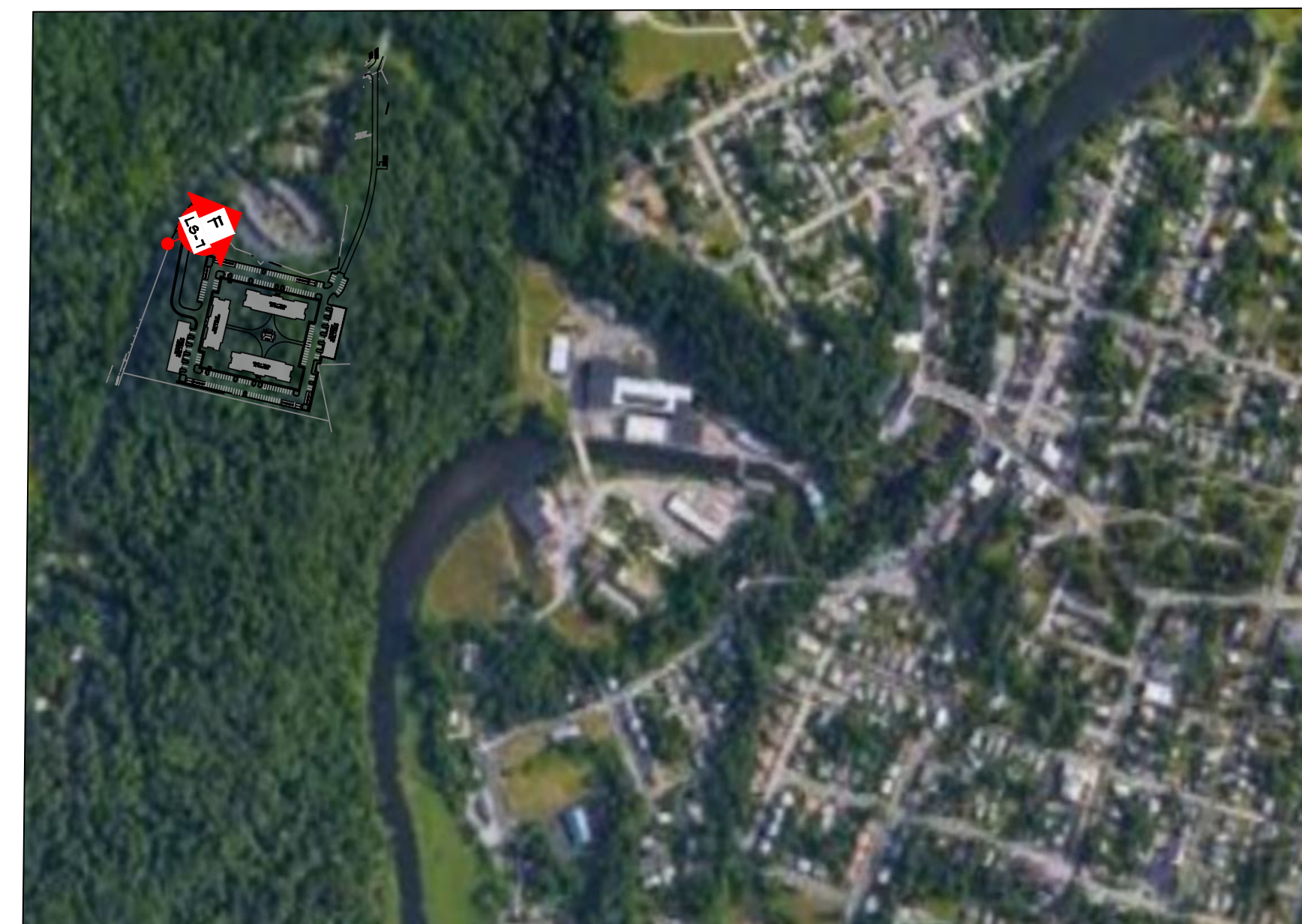
SCALE:
 SHEET TITLE:
 LINE OF SIGHT PROFILES

PROJECT NUMBER
 2016-04

LS-6

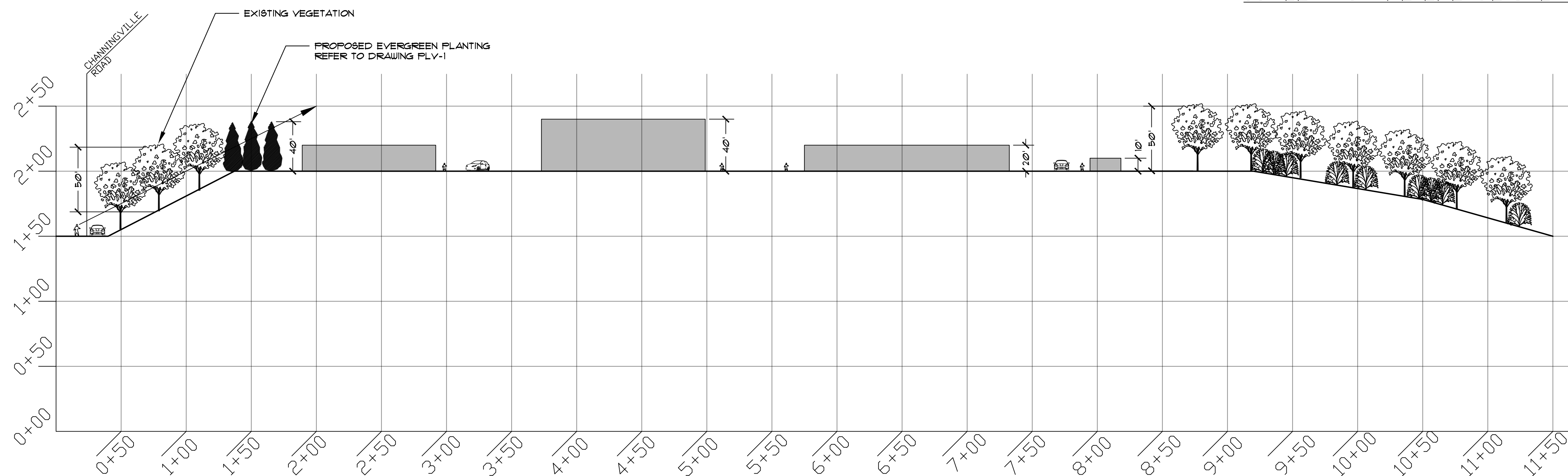
DRAWING NUMBER
 SHEET 1 OF 15

BUCKINGHAM PROPERTIES W/ PROPOSED PLANTING.
 REFER TO NOTE BELOW REGARDING VISIBILITY.



SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)

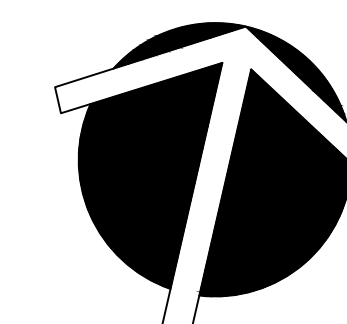
NOTES:
 THIS PHOTOGRAPH IS TAKEN IN FRONT OF THE PROPOSED SITE LOCATION, FACING NORTH OF CHANNINGVILLE ROAD, SHOWS HEAVY VEGETATION & A HIGH SLOPE WHICH WILL SCREEN THE SITE COMPLETELY. REFER TO DWG PLY-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



F
 LS-7 VISUAL REFERENCE POINT F - CHANNINGVILLE ROAD VICINITY OF SITE - FACING NORTH
 SCALE: HORIZ: 1"=50' VERT: 1"=50'

LEGEND:

- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

REVISIONS	
NO.	1
DATE	12-28-14
BY	FKG
CHECKED	CFM
DESCRIPTION	Rev/Issued with well

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windoor Highway
 New Windsor, New York 12553
 843-3361

1075 Main Street, Suite 203
 Fishkill, New York 12524
 843-3361

charlesmay@cpma.com

BUCKINGHAM PROPERTY MANAGEMENT

CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAFFINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

SCALE:
 SHEET TITLE
 LINE OF SIGHT PROFILES

PROJECT NUMBER
 2016-04

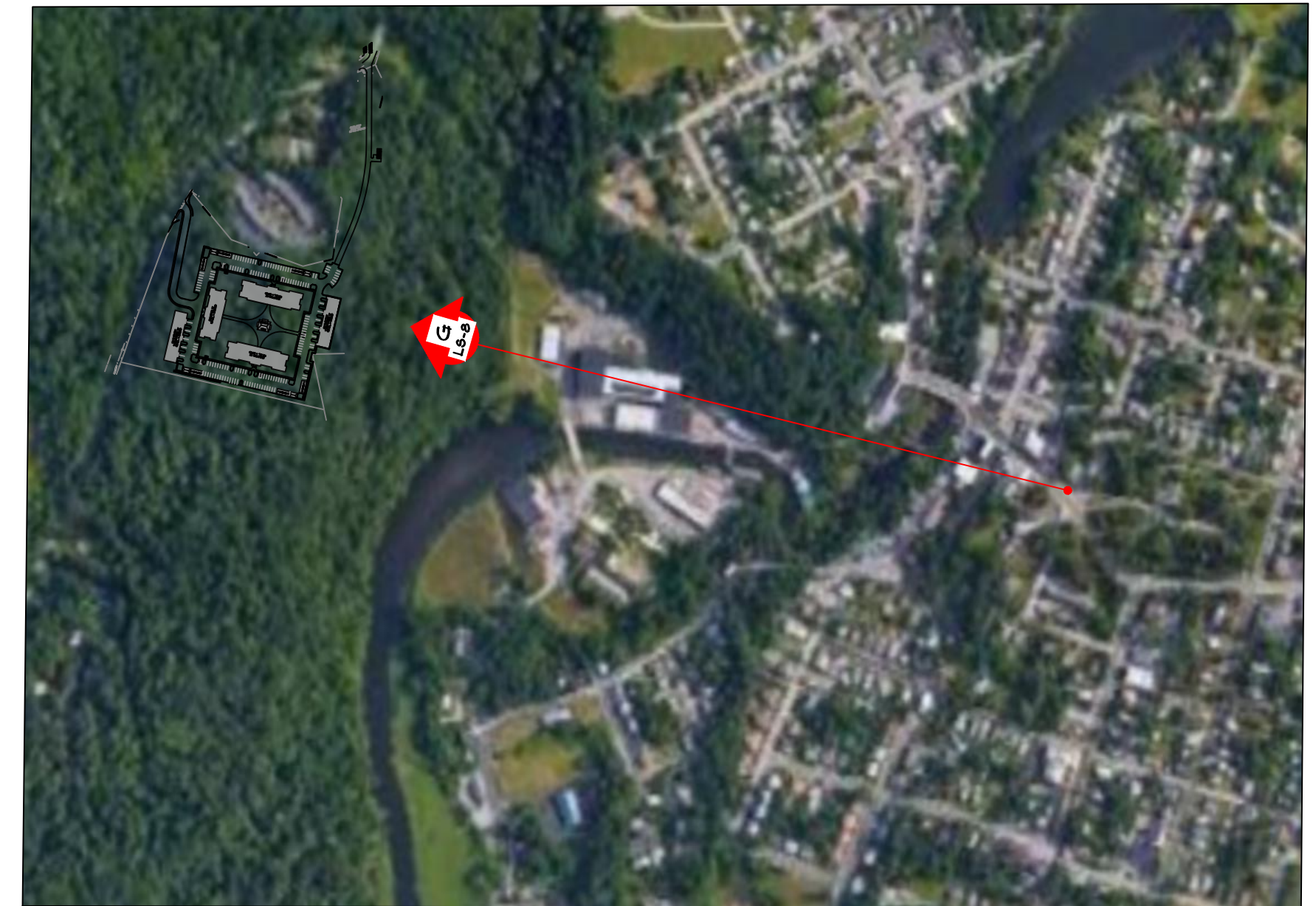
LS-7

DRAWING NUMBER
 SHEET 8 OF 15

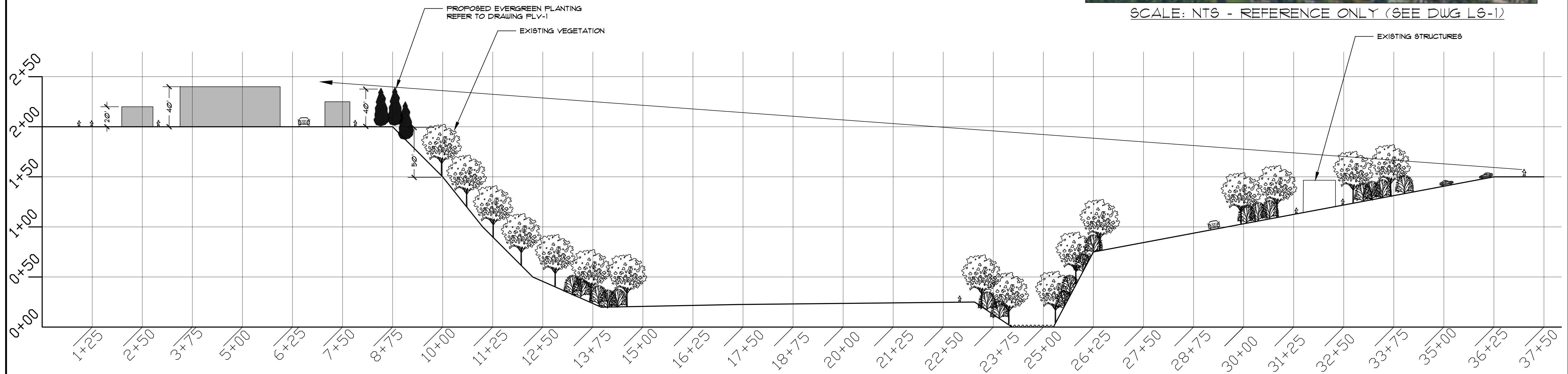


BUCKINGHAM PROPERTIES

NOTES:
 THIS PHOTOGRAPH IS TAKEN IN FRONT THE GRINNELL LIBRARY IN THE VILLAGE OF WAPPINGER FALLS., FACING WEST OF MAIN ST, THE VIEW FROM THIS LOCATION PROVIDES THE PROPOSED SITE WITH COVERAGE BY THE EXISTING STRUCTURES & HEAVY VEGETATION BEYOND. REFER TO DWG PLY-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



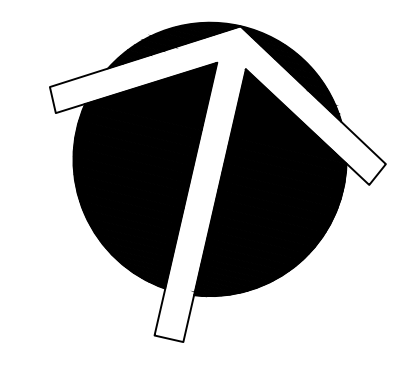
SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)



G VISUAL REFERENCE POINT G - VILLAGE OF WAPPINGERS FALLS - CENTRAL BUSINESS DISTRICT
 SCALE: HORIZ: 1"=125' VERT: 1"=50'

LEGEND:

- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

NO.	DATE	BY	CHKD	DESCRIPTION
1	12-28-14	FKG	CFM	Rev/Issd w/et well

CHARLES P. MAY & ASSOCIATES, P.C.
 DESIGN PROFESSIONALS
 367 Windbor Highway □ 1075 Main Street, Suite 203
 New Windsor, New York 12553 Fishkill, New York 12524
 843-5367 843-5368 843-5369 843-5370 843-5371
 charlesmay@cpma.com

BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

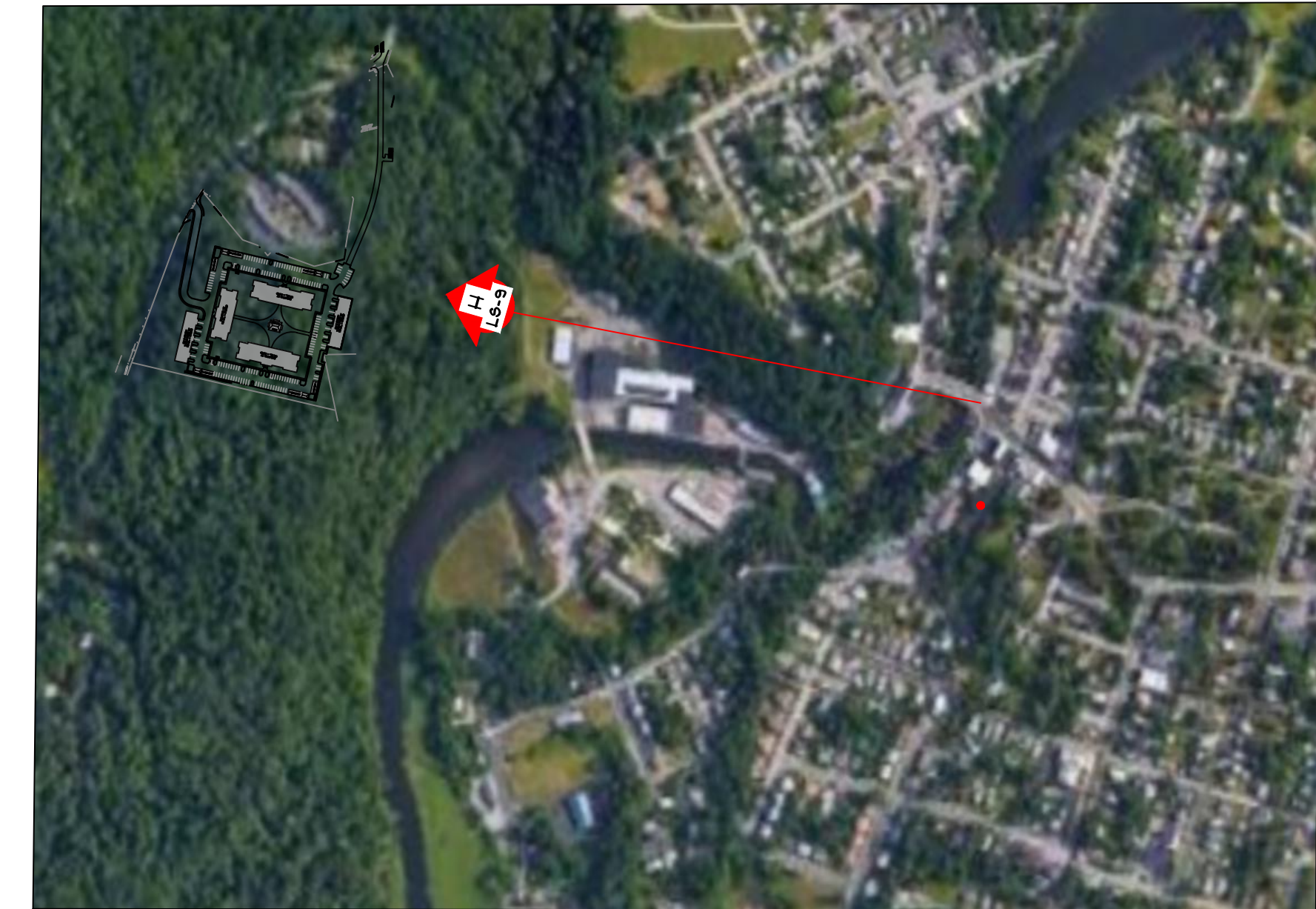
DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

SCALE:
 SHEET TITLE
 LINE OF SIGHT PROFILES

PROJECT NUMBER
 2016-04

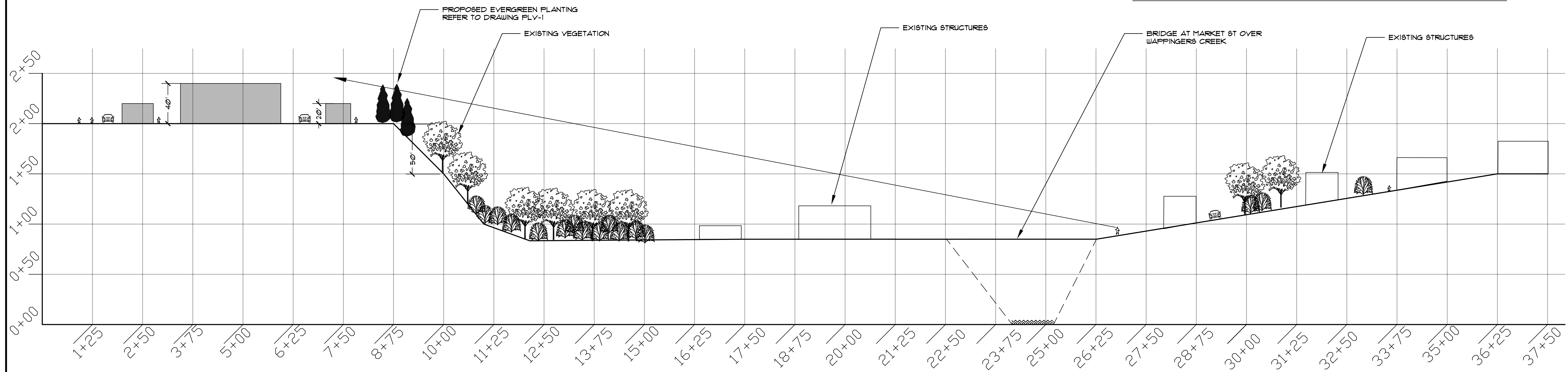
LS-8

DRAWING NUMBER
 SHEET 8 OF 15



SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)

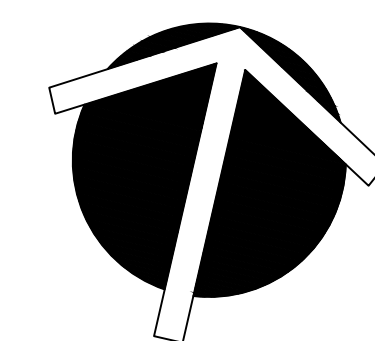
NOTES:
 THIS PHOTOGRAPH IS TAKEN IN FRONT OF KNIGHTS OF COLUMBUS IN THE VILLAGE OF WAPPINGER FALLS. FACING WEST OFF OF MAIN ST, TOWARDS THE PROPOSED SITE DEMONSTRATES HEAVY VEGETATION & HIGH HILLS COMPLETELY SCREENING THE SITE LOCATION. REFER TO DWG PLY-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



H
 LS-9 VISUAL REFERENCE POINT H - VILLAGE OF WAPPINGERS FALLS - 3 MARKET ST. VICINITY
 SCALE: HORIZ: 1"=125' VERT: 1"=50'

LEGEND:

- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

NO.	DATE	BY	CHECKED	DESCRIPTION
1	12-28-14	FKG	CFM	Revised west wall

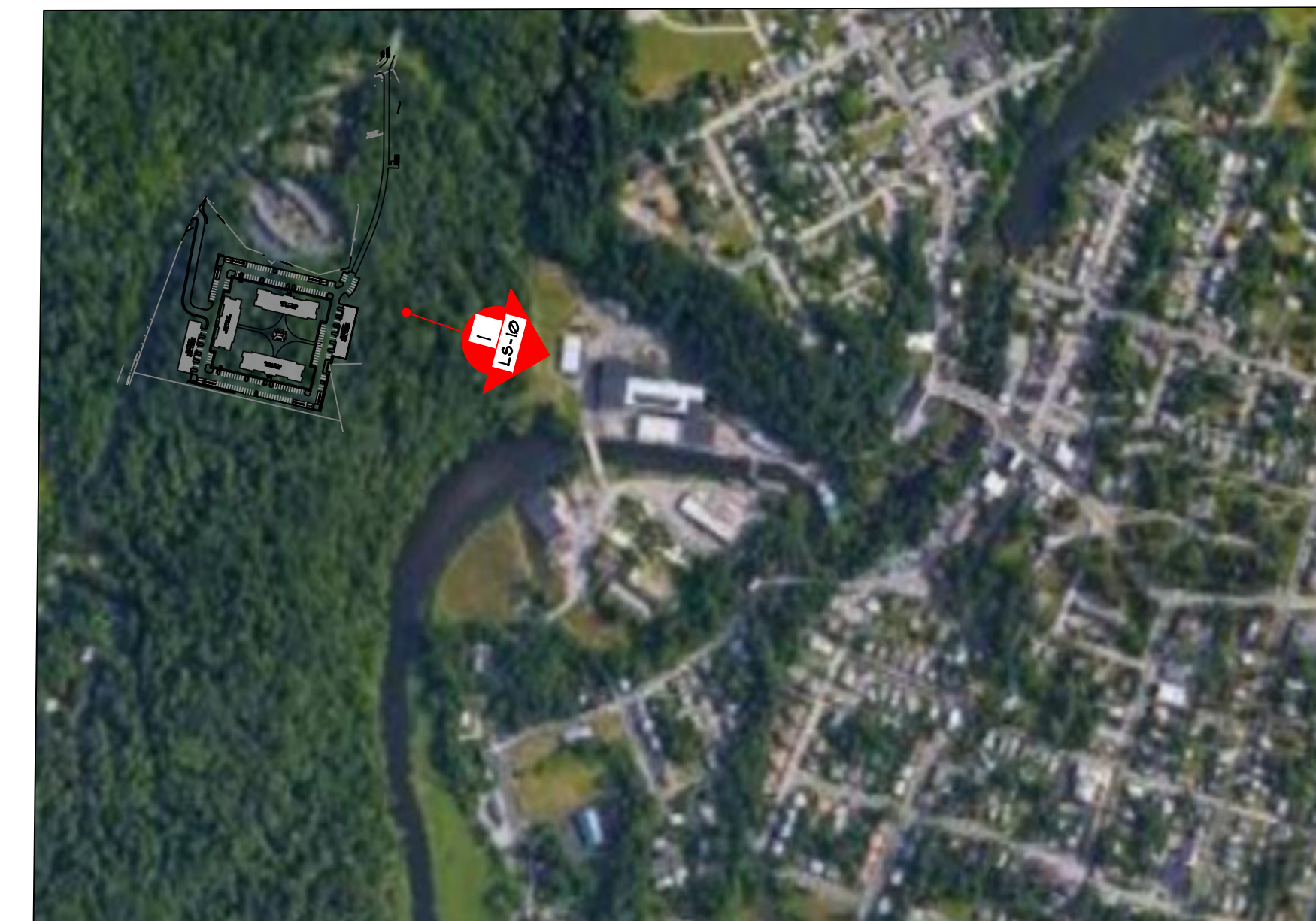
CHARLES P. MAY & ASSOCIATES, P.C.
DESIGN PROFESSIONALS
 367 Windoor Highway
 New Windsor, New York 12553
 843-3567
 charlesmay@cpma.com

BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

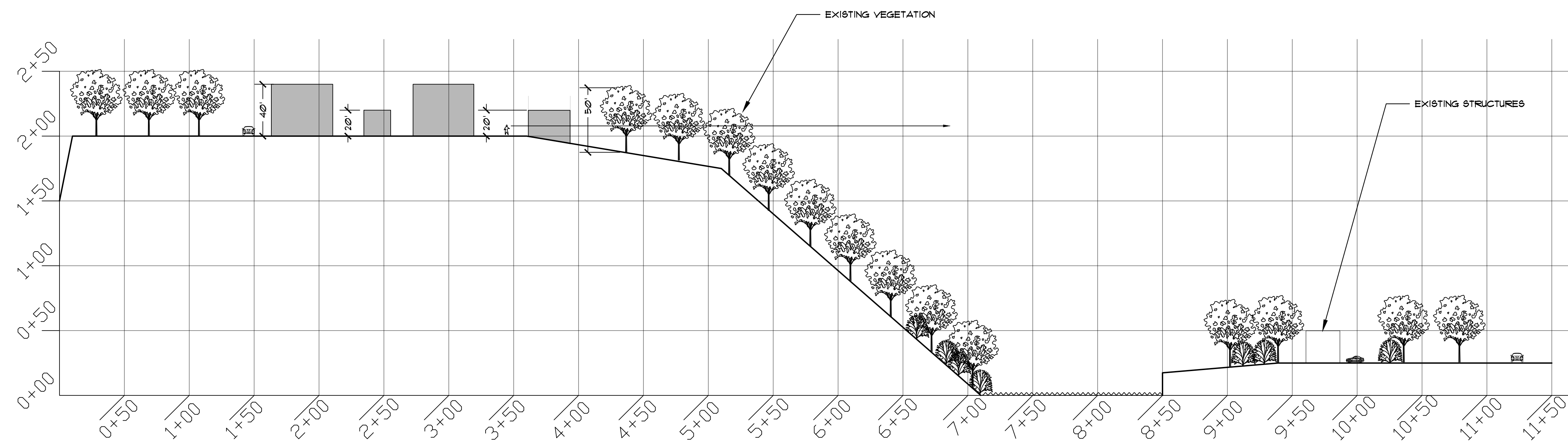
SCALE:
 SHEET TITLE
LINE OF SIGHT PROFILES

PROJECT NUMBER
 2016-04
LS-9
 DRAWING NUMBER
 SHEET 10 OF 15



SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)

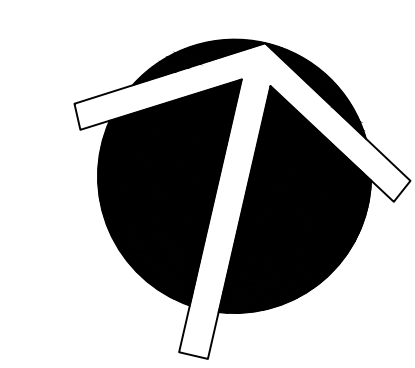
NOTES:
 THIS PHOTOGRAPH IS TAKEN WITHIN THE INTERIOR OF THE PROPOSED SITE. FACING SOUTH EAST, HEAVY VEGETATION COMPLETELY SCREENS THE NEARBY DISTRICTS AND PARKS FROM THE SITE. REFER TO DWG PLV-1 FOR PRESERVED BUFFER AND NEW PLANTINGS.



1 VISUAL REFERENCE POINT 1- WAPPINGERS FALLS - INTERIOR OF SITE (FACING SOUTHEAST)
 SCALE: HORIZ: 1"=100' VERT: 1"=50'

LEGEND:

- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

Drawing Name: C:\PROJECTS\BUCKINGHAM PROPERTIES\VISUAL REFERENCE FILES\LS1 - LS8 LINE OF SIGHT PROFILES.DWG Date: 01/02/20 Time: 2:59 PM
 Referenced Drawings: DigSafe

REVISIONS	
NO.	DESCRIPTION
1	Revised west wall
DATE	BY
13-28-14	PKG CPT

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

□ 367 Windoor Highway □ 1075 Main Street, Suite 203
 New Windsor, New York 12553 Fishkill, New York 12524
 843-367-8843 843-896-2747
 charlesmay@cpma.com

BUCKINGHAM PROPERTY MANAGEMENT

CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-071325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

SCALE:

SHEET TITLE

LINE OF SIGHT PROFILES

PROJECT NUMBER

2016-04

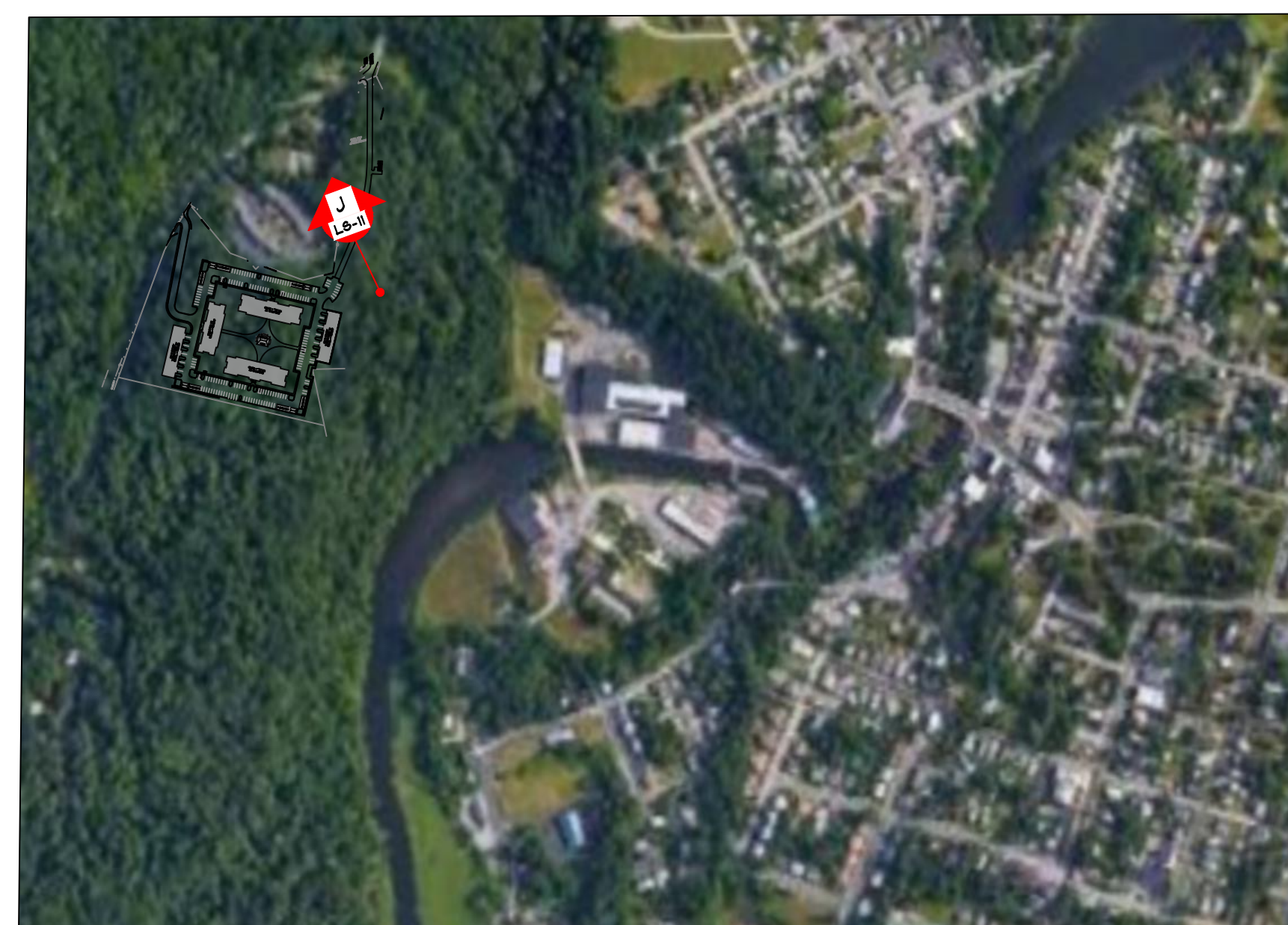
LS-10

DRAWING NUMBER

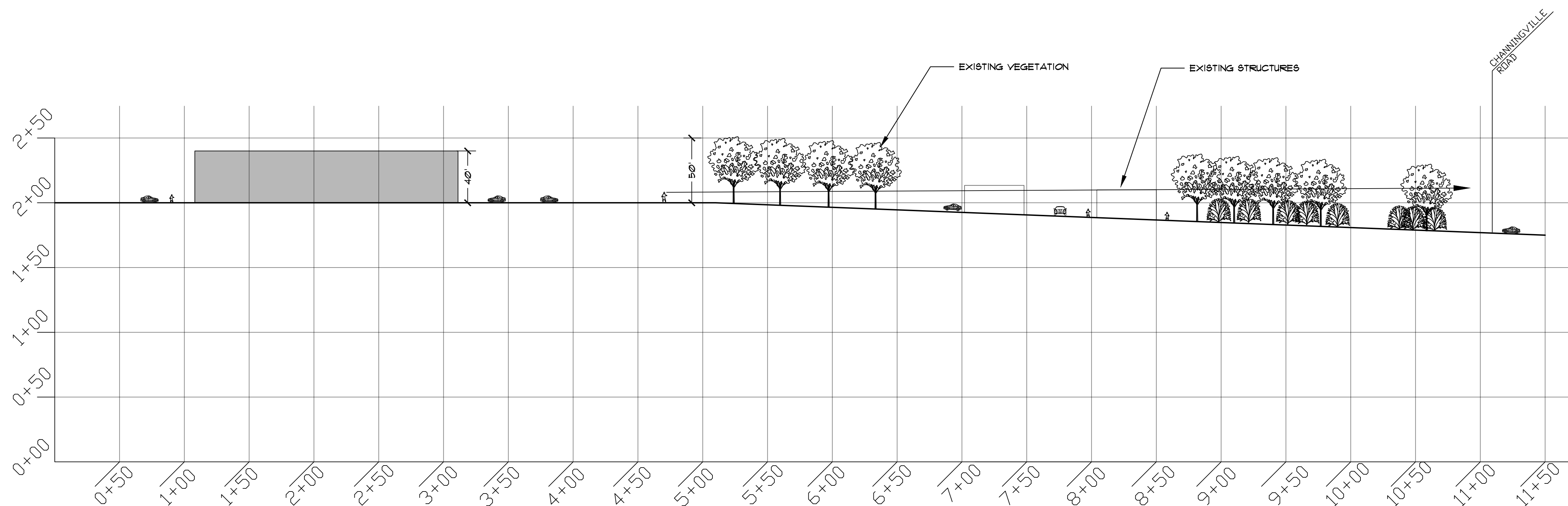
SHEET 11 OF 15



NOTES:
 THIS PHOTOGRAPH IS TAKEN WITHIN THE INTERIOR OF THE PROPOSED SITE FACING NORTH WEST.
 HIGH TREES AND PARTIAL-COVERAGE FROM VEGETATION SHOWN IN PHOTO WILL PROVIDE
 LOW-VISIBILITY BETWEEN SITES. REFER TO DWG PLV-1 FOR PRESERVED BUFFER AND NEW
 PLANTINGS.



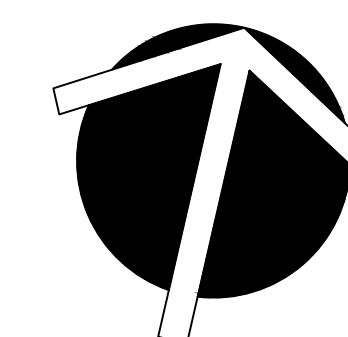
SCALE: NTS - REFERENCE ONLY (SEE DWG LS-1)



J
 LS-11 VISUAL REFERENCE POINT J - WAPPINGERS FALLS - INTERIOR OF SITE (FACING NORTH)
 SCALE: HORIZ: 1"=50' VERT: 1"=50'

LEGEND:

- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

NO.	DATE	BY	CHECKED	DESCRIPTION
1	12-28-14	FKG	CFM	Revised wet well

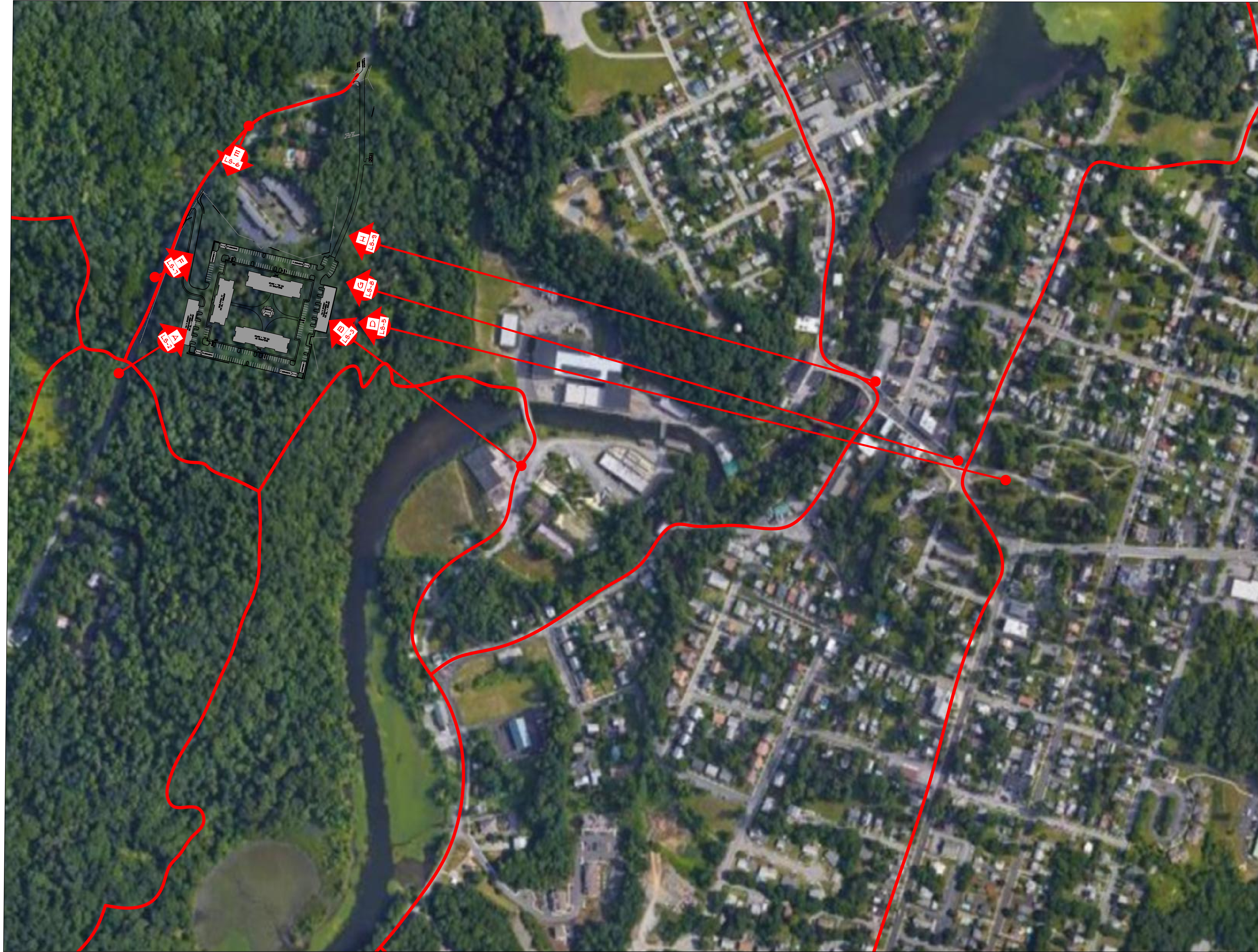
CHARLES P. MAY & ASSOCIATES, P.C.
 DESIGN PROFESSIONALS
 367 Windoor Highway □ 1073 Main Street, Suite 203
 New Windsor, New York 12553 Fishkill, New York 12524
 843-3567 843-3568 843-3569 843-3570 843-3571 843-3572 843-3573
 charlesmayassociates.com

BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

SCALE:
 SHEET TITLE
 LINE OF SIGHT PROFILES

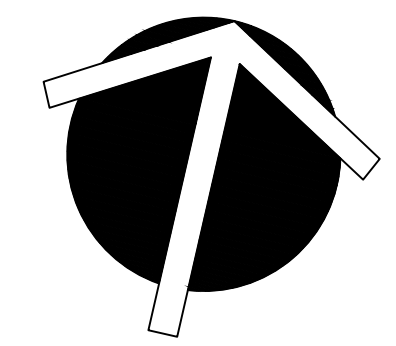
PROJECT NUMBER
 2016-04
 LS-11
 DRAWING NUMBER
 SHEET 12 OF 15



1 SITE VIEW - PHOTO LOCATION(S) AT GREENWAY TRAIL

LEGEND:

- GREENWAY TRAILS
- POINT
- VIEWSHED
- SHEET NUMBER
- PHOTO POINT OF LOCATION



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

REVISIONS	
NO.	DATE
1	13-28-14
BY	CHKD
FKG	CFM
DESCRIPTION	
Revised west wall	

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windbor Highway
 New Windsor, New York 12553
 843-5361

1073 Main Street, Suite 203
 Fishkill, New York 12524
 843-5360

charp@cpmay.com



BUCKINGHAM PROPERTY MANAGEMENT

CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAFFINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

SCALE: 1" = 200'-0"

SHEET TITLE

LOCAL GREENWAY TRAIL

PROJECT NUMBER

2016-04

LS-12

DRAWING NUMBER

SHEET 13 OF 15



1 ELEVATION - BUILDING C - SOUTH FACE OF BUILDING C

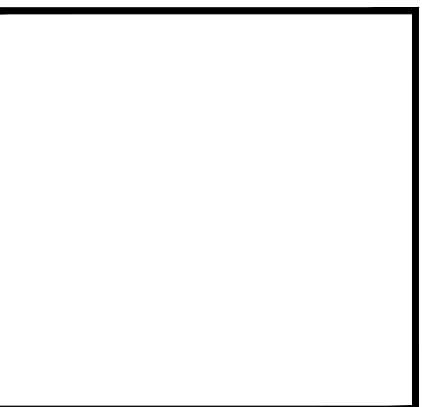
NOTES:

1. THIS ELEVATION IS FACING TOWARDS INTERSECTION OF CHANNINGVILLE ROAD AND NELSON AVENUE.
2. BOTH SIDES OF THIS BUILDING FACE SHALL BE IDENTICAL.

STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

REVISIONS		DESCRIPTION
NO.	DATE	BY
1	15-28-14	FKG
		CFM
		Rev/Issued with well

CHARLES P. MAY & ASSOCIATES, P.C.
 DESIGN PROFESSIONALS
 367 Windbor Highway
 New Windsor, New York 12553
 843-5367
 1073 Main Street, Suite 203
 Fishkill, New York 12524
 843-5367
 charlesmay@cpma.com



BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAFFINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM
SCALE		
SHEET TITLE		
FRONT ELEV. RENDERING BUILDING C		

PROJECT NUMBER	2016-04
DRAWING NUMBER	A-1
SHEET 14 OF 15	



2 ELEVATION - BUILDING C - WEST FACE OF BUILDING C

NOTES:

1. THIS END (REAR) ELEVATION IS FACING TOWARDS THE HISTORIC DISTRICT & THE DOWNTOWN BUSINESS DISTRICT OF THE VILLAGE OF WAPPINGER FALLS.
2. THE REAR ENDS OF ALL THE BUILDINGS SHALL BE FACED WITH BRICK (BURNT SIENNA OR BROWN IN COLOR).

STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

NO.	DATE	BY	CHECKED	DESCRIPTION
1	19-28-14	FKG	CFM	Revised west wall

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windbor Highway
 New Windsor, New York 12553
 843-567-8800
 charlesmayassociates.com

1075 Main Street, Suite 203
 Fishkill, New York 12524
 843-567-8800
 charlesmayassociates.com



BUCKINGHAM PROPERTY MANAGEMENT

CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGER FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

SCALE:

SHEET TITLE

REAR ELEV.
 RENDERING
 BUILDING C

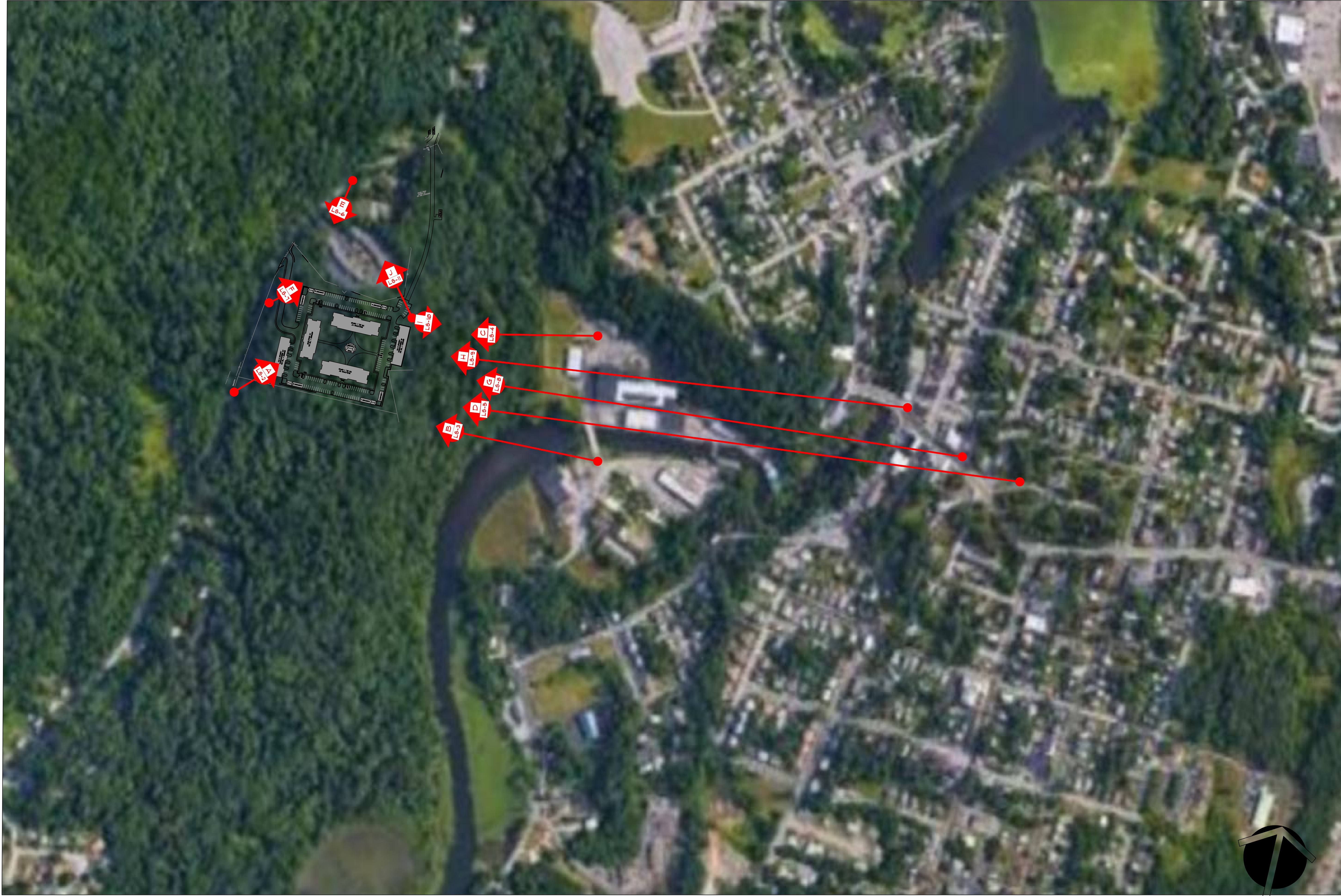
PROJECT NUMBER

2016-04

A-2

DRAWING NUMBER


SHEET 15 OF 15



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

REVISIONS	
NO.	DATE
1	12-28-14
	BY: PKG
	CHKD: CPT
	DESCRIPTION: Revised wet well

CHARLES P. MAY & ASSOCIATES, P.C.



DESIGN PROFESSIONALS

367 Windsor Highway
 New Windsor, New York 12553
 843-567-1234

1073 Main Street, Suite 203
 Fishkill, New York 12524
 843-567-1234

charlesmay@cpma.com



BUCKINGHAM PROPERTY MANAGEMENT

CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAFFINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601 - 6158-13-011325

DATE	DRAWN	CHECKED
12/23/2019	LN	CFM

SCALE: 1" = 200'-0"

SHEET TITLE
 LINE OF SIGHT LOCATIONS

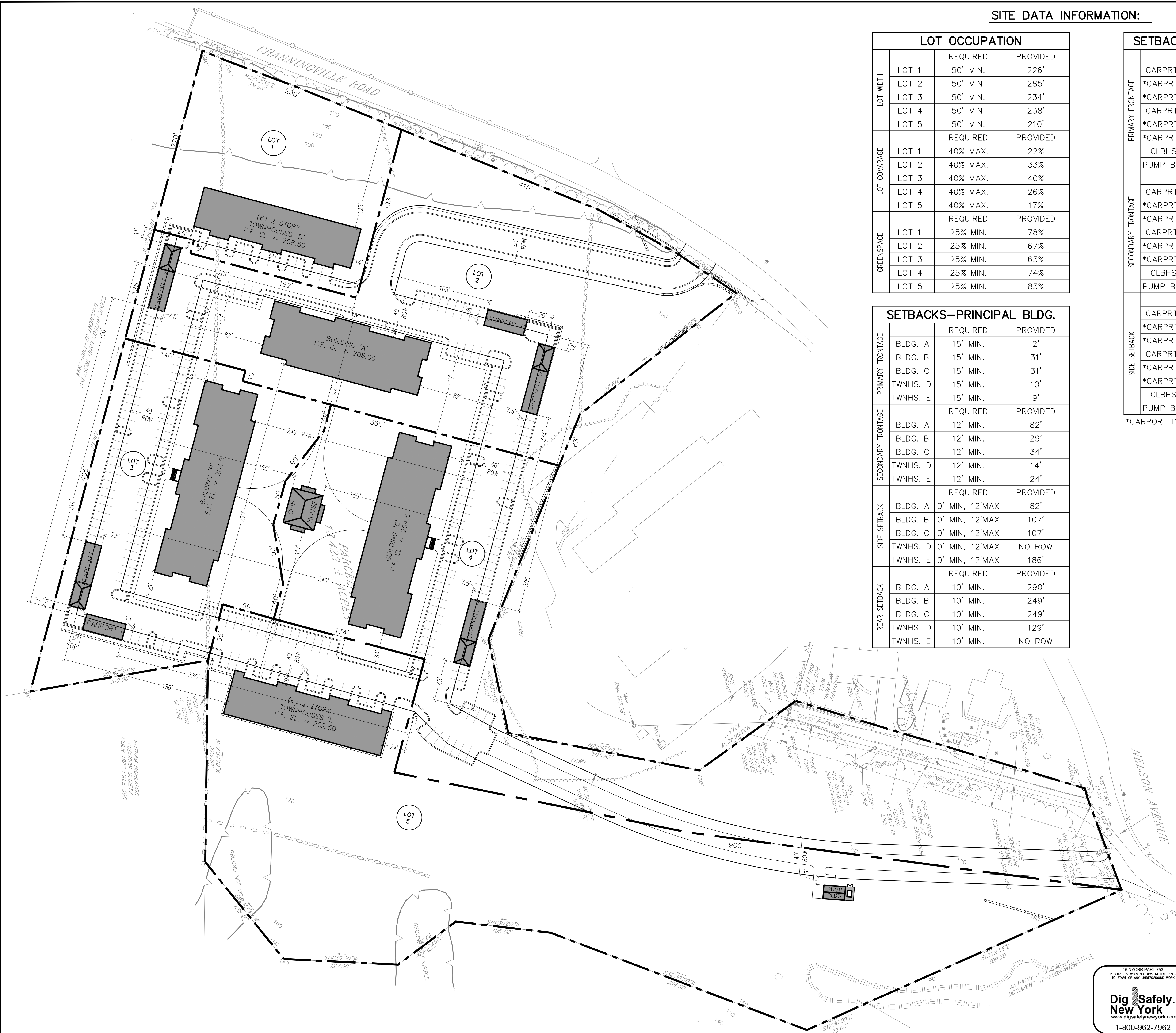
PROJECT NUMBER
 2016-04

LS-1

DRAWING NUMBER
 SHEET 2 OF 15

Drawing Name: C:\PROJECTS\BUCKINGHAM PROPERTIES\SUBDIVISION\PROPERTY DWG Date: 06/25/19 Time: 3:05 PM
 Referenced Drawings: DigSafe Distribution_Box_9hole Fill GateValve SepticTank_1000Gal SiltFence SwatDetail Trench_Absorption Water_HouseConnection

SITE DATA INFORMATION:

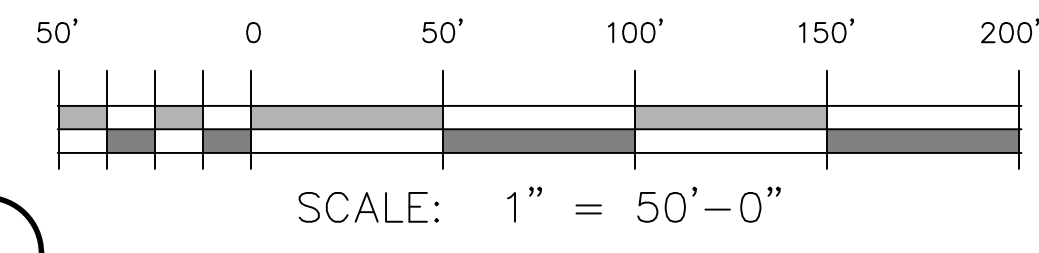
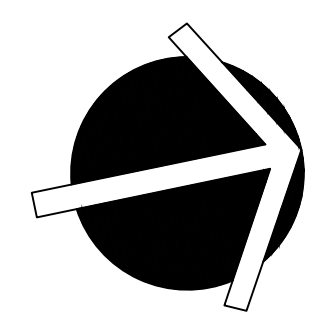


LOT OCCUPATION		
LOT WIDTH	REQUIRED	PROVIDED
LOT 1	50' MIN.	226'
LOT 2	50' MIN.	285'
LOT 3	50' MIN.	234'
LOT 4	50' MIN.	238'
LOT 5	50' MIN.	210'
LOT COVERAGE	REQUIRED	PROVIDED
LOT 1	40% MAX.	22%
LOT 2	40% MAX.	33%
LOT 3	40% MAX.	40%
LOT 4	40% MAX.	26%
LOT 5	40% MAX.	17%
GREENSPACE	REQUIRED	PROVIDED
LOT 1	25% MIN.	78%
LOT 2	25% MIN.	67%
LOT 3	25% MIN.	63%
LOT 4	25% MIN.	74%
LOT 5	25% MIN.	83%

SETBACKS-ACCESSORY BLDG.		
	REQUIRED	PROVIDED
PRIMARY FRONTAGE		
CARPRT F	35'	8' ENCROACHMENT
*CARPRT G	35'	7.5' ENCROACHMENT
*CARPRT H	35'	7.5' ENCROACHMENT
CARPRT I	35'	5' ENCROACHMENT
*CARPRT J	35'	7.5' ENCROACHMENT
*CARPRT K	35'	7.5' ENCROACHMENT
CLBHS.	35'	117'
PUMP BLDG	35'	9'
SECONDARY FRONTAGE	REQUIRED	PROVIDED
CARPRT F	5' MIN.	105'
*CARPRT G	5' MIN.	12'
*CARPRT H	5' MIN.	45'
CARPRT I	5' MIN.	10'
*CARPRT J	5' MIN.	7'
*CARPRT K	5' MIN.	11'
CLBHS.	5' MIN.	155'
PUMP BLDG	5' MIN.	235'+
SIDE SETBACK	REQUIRED	PROVIDED
CARPRT F	5' MIN.	26'
*CARPRT G	5' MIN.	337'
*CARPRT H	5' MIN.	305'
CARPRT I	5' MIN.	335'
*CARPRT J	5' MIN.	354'
*CARPRT K	5' MIN.	350'
CLBHS.	5' MIN.	155'
PUMP BLDG	5' MIN.	400'+

SETBACKS-PRINCIPAL BLDG.		
	REQUIRED	PROVIDED
PRIMARY FRONTAGE		
BLDG. A	15' MIN.	2'
BLDG. B	15' MIN.	31'
BLDG. C	15' MIN.	31'
TWNHS. D	15' MIN.	10'
TWNHS. E	15' MIN.	9'
SECONDARY FRONTAGE	REQUIRED	PROVIDED
BLDG. A	12' MIN.	82'
BLDG. B	12' MIN.	29'
BLDG. C	12' MIN.	34'
TWNHS. D	12' MIN.	14'
TWNHS. E	12' MIN.	24'
SIDE SETBACK	REQUIRED	PROVIDED
BLDG. A	0' MIN, 12'MAX	82'
BLDG. B	0' MIN, 12'MAX	107'
BLDG. C	0' MIN, 12'MAX	107'
TWNHS. D	0' MIN, 12'MAX	NO ROW
TWNHS. E	0' MIN, 12'MAX	186'
REAR SETBACK	REQUIRED	PROVIDED
BLDG. A	10' MIN.	290'
BLDG. B	10' MIN.	249'
BLDG. C	10' MIN.	249'
TWNHS. D	10' MIN.	129'
TWNHS. E	10' MIN.	NO ROW

*CARPORT INCLUDE REFUSE ENCLOSURE BLDG.



16 NYCRR PART 733
 REQUIRES 2 WORKING DAYS NOTICE PRIOR
 TO START OF ANY UNDERGROUND WORK

Dig Safely.
 New York
 www.digsafelynewyork.com
 1-800-962-7962

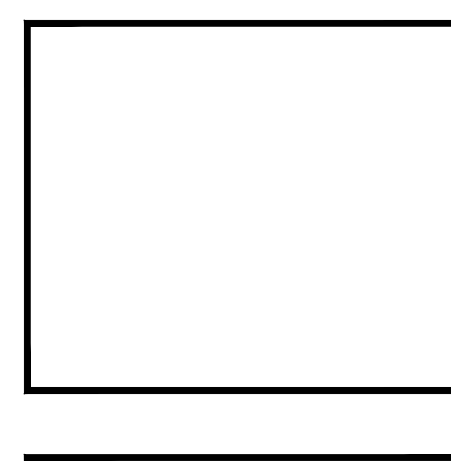
STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

NO.	DATE	BY	DESCRIPTION
			REVISIONS

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windsor Highway □ 1073 Min. Street, Suite 203
 New Windsor, New York 12555 Flushing, New York 11354
 845-567-3030 845-896-2747
 charlesmayassoc@aol.com



BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601-6158-13-071325

DATE	DRAWN	CHECKED
06-25-2019	VA	CPM

SCALE: AS NOTED

SHEET TITLE
 SKETCH FOR
 SUBDIVISION OF
 PROPERTY

PROJECT NUMBER
 2016-04

SSP-1
 DRAWING NUMBER

SHEET - OF -

MAY 21 ,2019

PROPOSED VISUAL ASSESSEMENT
BUCKINGHAM PROJECT
VILLAGE OF WAPPINGERS FALLS, NEW YORK

The purpose of this proposal is to provide the Planning Board with a method for evaluating the visual impacts of the proposed Buckingham Project located on Channingville Road in the Village of Wappinger's Falls New York, which consists of three, four story buildings and two townhouse units located on a 13.42 acres site, and is classified in the Residential Mixed Use (RMU) District. This proposed visual assessment would be conducted from various points in the surrounding vicinity that are recognized/designated as aesthetic, historic or recreational resources of local concern (although some may also be officially designated as federal or state resources).

The first step will be to determine the geographic area surrounding the project site from which portions of the project may be visible, followed by a selection of places of local concern within that geographic area, which should include the following:

Bowdoin Park

Wappingers Falls Historic District.

Mesier Park

Channingville Road in the vicinity of the site.

Village of Wappingers Falls Central Business District location.

Once locations are selected, the following methodology is proposed:

From the established reference points, the degree of visibility of the proposed project will be determined. In order to determine the degree of visibility, it will be necessary to construct line of sight profiles from an established observation point to the proposed project site. Along with line of sight profiles, photographs within the line of sight to the subject site will be taken and prepared to assist in evaluating the potential visibility of the project. The topographic information utilized to construct the line of sight profile will be derived from USGS Topographic Mapping which is available from Dutchess County Parcel Access.

Once the field work, sight profiles and photographs are complete, a report will be submitted to the Village of Wappinger's Planning Board toward assessing the visibility of the project to the surrounding areas.

BUCKINGHAM PROPERTIES

NELSON AVENUE

VILLAGE OF WAPPINGERS FALLS, NEW YORK 12590

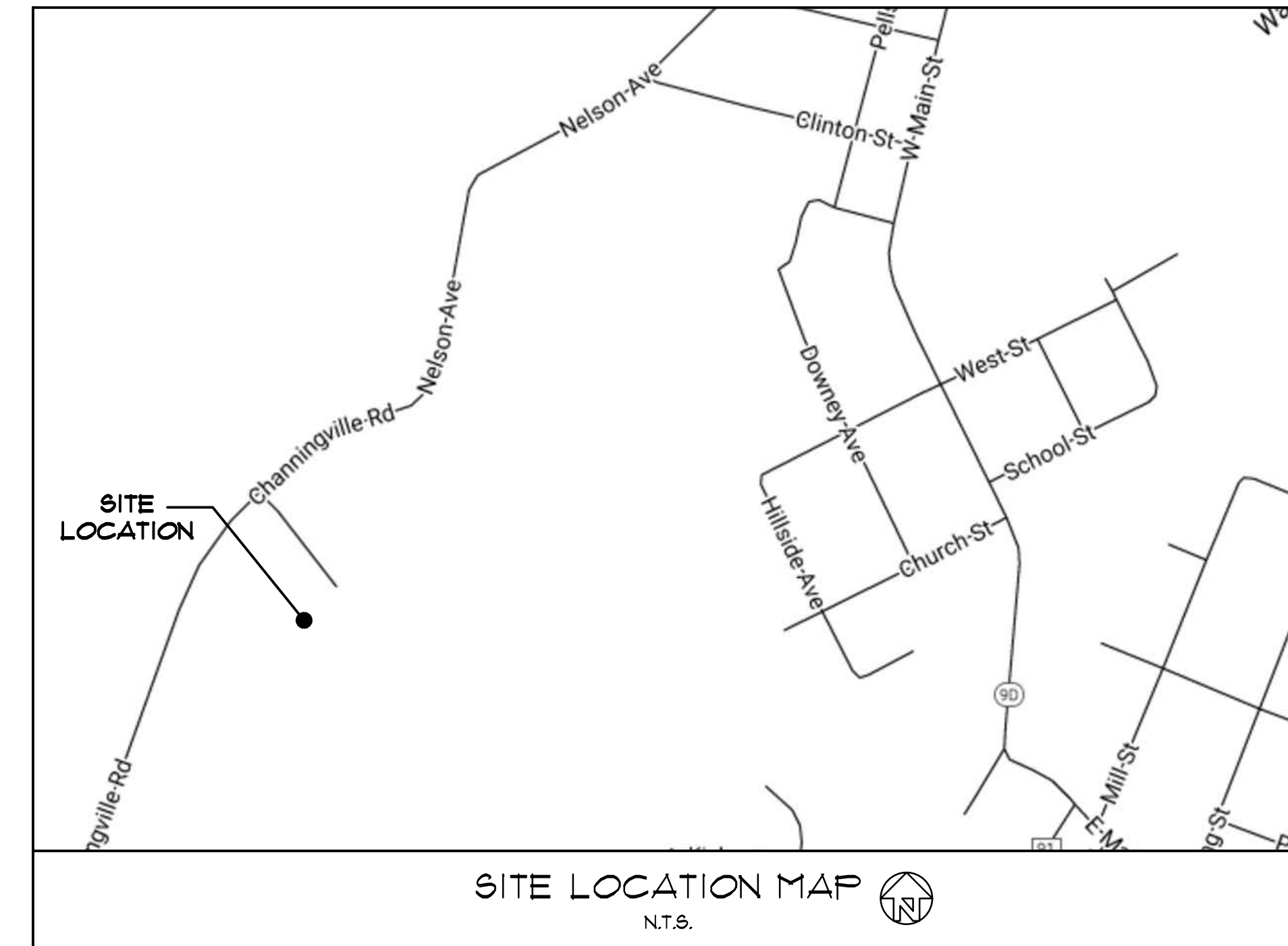
FIRE DISTRICT: NEW HAMBURG FIRE DISTRICT
15 CHANNINGVILLE ROAD
WAPPINGERS FALLS, NEW YORK 12590

SCHOOL DISTRICT: WAPPINGERS CENTRAL SCHOOL DISTRICT
167 MYERS CORNERS ROAD
WAPPINGERS FALLS, NEW YORK 12590

OWNER: MR. EDWARD COHEN
BUCKINGHAM PROPERTIES
657 E MAIN STREET, MT. KISCO, NY
TEL: 914-666-7700

SEWER DISTRICT: VILLAGE OF WAPPINGERS FALLS, SEWER DEPARTMENT
2582 SOUTH AVENUE, WAPPINGERS FALLS, NY 12590

WATER DISTRICT: VILLAGE OF WAPPINGERS FALLS, WATER DISTRICT
2582 SOUTH AVENUE, WAPPINGERS FALLS, NY 12590



NO.	DATE	BY	DESCRIPTION

CHARLES P. MAY & ASSOCIATES, P.C.
DESIGN PROFESSIONALS
367 Winderock Highway, 1073 Main Street, Suite 203
New Windsor, New York 12555
845-567-3030 845-896-2747

SITE DATA INFORMATION	SYMBOL KEY	SCHEDULE OF DRAWINGS
-----------------------	------------	----------------------

<p>TAX IDENTIFICATION NUMBER: 134601-6158-13-071325-0000</p> <p>ZONE: RMU - RESIDENTIAL MIXED USE</p> <p>USE: MULTI FAMILY DWELLING</p> <p>ACREAGE: 13.42 AC. 584,515.2 SF.</p> <p>FRONTAGE & SETBACK REQUIREMENTS:</p> <table border="1" style="width:100%"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>MINIMUM LOT WIDTH</td> <td>50 FEET</td> <td>220 FEET</td> </tr> <tr> <td>MAXIMUM LOT COVERAGE</td> <td>40 PERCENT</td> <td>26 PERCENT +/-</td> </tr> <tr> <td>MAXIMUM HEIGHT PRINCIPAL BLDG.</td> <td>65 FEET</td> <td>38 FEET</td> </tr> <tr> <td>MAXIMUM HEIGHT ACCESSORY BLDG.</td> <td>2 STORIES</td> <td>1 STORY</td> </tr> <tr> <td>MINIMUM YARD SETBACK FOR PRINCIPAL BLDG.</td> <td>15 FEET</td> <td>25 FEET +/-</td> </tr> <tr> <td>FRONT SETBACK SECONDARY</td> <td>15 FEET</td> <td>15 FEET +/-</td> </tr> <tr> <td>SIDE SETBACK 0 FT MIN.</td> <td>12 FEET MAX</td> <td>12 FEET +/-</td> </tr> <tr> <td>REAR SETBACK</td> <td>10 FEET</td> <td>15 FEET +/-</td> </tr> <tr> <td>MINIMUM YARDS FOR ACCESSORY BLDG.</td> <td></td> <td></td> </tr> <tr> <td>FRONT SETBACK PRINCIPAL</td> <td>20 FEET</td> <td>N/A FEET +/-</td> </tr> <tr> <td>FRONT SETBACK SECONDARY</td> <td>5 FEET</td> <td>N/A FEET +/-</td> </tr> <tr> <td>SIDE SETBACK</td> <td>5 FEET</td> <td>N/A FEET +/-</td> </tr> </tbody> </table> <p>PARKING REQUIREMENTS:</p> <table border="1" style="width:100%"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>144 (1) BEDROOM APARTMENTS</td> <td>144 SPACES</td> <td>144 SPACES</td> </tr> <tr> <td>46 (2) BEDROOM APARTMENTS</td> <td>88 SPACES</td> <td>88 SPACES</td> </tr> <tr> <td>HANDICAP PARKING</td> <td>1 SPACES</td> <td>1 SPACES</td> </tr> </tbody> </table>		REQUIRED	PROVIDED	MINIMUM LOT WIDTH	50 FEET	220 FEET	MAXIMUM LOT COVERAGE	40 PERCENT	26 PERCENT +/-	MAXIMUM HEIGHT PRINCIPAL BLDG.	65 FEET	38 FEET	MAXIMUM HEIGHT ACCESSORY BLDG.	2 STORIES	1 STORY	MINIMUM YARD SETBACK FOR PRINCIPAL BLDG.	15 FEET	25 FEET +/-	FRONT SETBACK SECONDARY	15 FEET	15 FEET +/-	SIDE SETBACK 0 FT MIN.	12 FEET MAX	12 FEET +/-	REAR SETBACK	10 FEET	15 FEET +/-	MINIMUM YARDS FOR ACCESSORY BLDG.			FRONT SETBACK PRINCIPAL	20 FEET	N/A FEET +/-	FRONT SETBACK SECONDARY	5 FEET	N/A FEET +/-	SIDE SETBACK	5 FEET	N/A FEET +/-		REQUIRED	PROVIDED	144 (1) BEDROOM APARTMENTS	144 SPACES	144 SPACES	46 (2) BEDROOM APARTMENTS	88 SPACES	88 SPACES	HANDICAP PARKING	1 SPACES	1 SPACES	<table border="1" style="width:100%"> <tr> <td>--- (24) ---</td> <td>EXISTING CONTOUR</td> <td>○ DI</td> <td>EXISTING STORM DRAIN MANHOLE</td> </tr> <tr> <td>— 24 —</td> <td>PROPOSED CONTOUR</td> <td>● DI</td> <td>PROPOSED STORM DRAIN MANHOLE</td> </tr> <tr> <td>x (24.21)</td> <td>EXISTING SPOT ELEVATION</td> <td>○ MH</td> <td>EXISTING SANITARY MANHOLE</td> </tr> <tr> <td>x 24.11</td> <td>PROPOSED SPOT ELEVATION</td> <td>● MH</td> <td>PROPOSED SANITARY MANHOLE</td> </tr> <tr> <td>FFE</td> <td>FINISHED FLOOR ELEVATION</td> <td>⊕</td> <td>PROPOSED HYDRANT AND VALVE</td> </tr> <tr> <td>TW/BW</td> <td>TOP OF WALL/BOTTOM OF WALL</td> <td>CIP</td> <td>CAST IRON PIPE</td> </tr> <tr> <td>TC/BC</td> <td>TOP OF CURB/BOTTOM OF CURB</td> <td>RCP</td> <td>REINFORCED CONCRETE PIPE</td> </tr> <tr> <td>TS/BS</td> <td>TOP OF STAIR/BOTTOM OF STAIR</td> <td>CMP</td> <td>CORRUGATED METAL PIPE</td> </tr> <tr> <td>BF</td> <td>BOTTOM OF FOOTING</td> <td>VCP</td> <td>VITRIFIED CLAY PIPE</td> </tr> <tr> <td>HP/LP</td> <td>HIGH POINT/LOW POINT</td> <td>FVC</td> <td>POLYVINYL CHLORIDE (PLASTIC) PIPE</td> </tr> <tr> <td>HPS</td> <td>HIGH POINT OF SWALE</td> <td>STA. Ø × Ø</td> <td>STATION POINT</td> </tr> <tr> <td>TF OR RE</td> <td>TOP OF FRAME OR RIM ELEVATION</td> <td>— P —</td> <td>PROPERTY LINE</td> </tr> <tr> <td>INV. EL.</td> <td>INVERT ELEVATION</td> <td>— CLL —</td> <td>CONTRACT LIMIT LINE</td> </tr> <tr> <td>□ CB</td> <td>EXISTING CATCH BASIN</td> <td>— C —</td> <td>CENTER LINE</td> </tr> <tr> <td>▣ CB</td> <td>PROPOSED CATCH BASIN</td> <td>— C —</td> <td>CENTER LINE OF SWALE</td> </tr> <tr> <td>— ST —</td> <td>PROPOSED STORM PIPE</td> <td>— W —</td> <td>PROPOSED WATER MAIN</td> </tr> <tr> <td></td> <td></td> <td>— SAN —</td> <td>PROPOSED SANITARY SEWER LINE</td> </tr> <tr> <td></td> <td></td> <td>— FM —</td> <td>PROPOSED SANITARY FORCE MAIN</td> </tr> </table> <div style="border: 1px solid black; padding: 5px; text-align: center;"> <p>16 NYCRR PART 753 REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK</p> <p>Dig Safely. New York www.digsafelynewyork.com 1-800-962-7962</p> </div> <p>The undersigned owners of the property hereon state that they are familiar with the enclosed plans, its contents, and its legends and hereby consent to all said terms and conditions as stated.</p>	--- (24) ---	EXISTING CONTOUR	○ DI	EXISTING STORM DRAIN MANHOLE	— 24 —	PROPOSED CONTOUR	● DI	PROPOSED STORM DRAIN MANHOLE	x (24.21)	EXISTING SPOT ELEVATION	○ MH	EXISTING SANITARY MANHOLE	x 24.11	PROPOSED SPOT ELEVATION	● MH	PROPOSED SANITARY MANHOLE	FFE	FINISHED FLOOR ELEVATION	⊕	PROPOSED HYDRANT AND VALVE	TW/BW	TOP OF WALL/BOTTOM OF WALL	CIP	CAST IRON PIPE	TC/BC	TOP OF CURB/BOTTOM OF CURB	RCP	REINFORCED CONCRETE PIPE	TS/BS	TOP OF STAIR/BOTTOM OF STAIR	CMP	CORRUGATED METAL PIPE	BF	BOTTOM OF FOOTING	VCP	VITRIFIED CLAY PIPE	HP/LP	HIGH POINT/LOW POINT	FVC	POLYVINYL CHLORIDE (PLASTIC) PIPE	HPS	HIGH POINT OF SWALE	STA. Ø × Ø	STATION POINT	TF OR RE	TOP OF FRAME OR RIM ELEVATION	— P —	PROPERTY LINE	INV. EL.	INVERT ELEVATION	— CLL —	CONTRACT LIMIT LINE	□ CB	EXISTING CATCH BASIN	— C —	CENTER LINE	▣ CB	PROPOSED CATCH BASIN	— C —	CENTER LINE OF SWALE	— ST —	PROPOSED STORM PIPE	— W —	PROPOSED WATER MAIN			— SAN —	PROPOSED SANITARY SEWER LINE			— FM —	PROPOSED SANITARY FORCE MAIN
	REQUIRED	PROVIDED																																																																																																																										
MINIMUM LOT WIDTH	50 FEET	220 FEET																																																																																																																										
MAXIMUM LOT COVERAGE	40 PERCENT	26 PERCENT +/-																																																																																																																										
MAXIMUM HEIGHT PRINCIPAL BLDG.	65 FEET	38 FEET																																																																																																																										
MAXIMUM HEIGHT ACCESSORY BLDG.	2 STORIES	1 STORY																																																																																																																										
MINIMUM YARD SETBACK FOR PRINCIPAL BLDG.	15 FEET	25 FEET +/-																																																																																																																										
FRONT SETBACK SECONDARY	15 FEET	15 FEET +/-																																																																																																																										
SIDE SETBACK 0 FT MIN.	12 FEET MAX	12 FEET +/-																																																																																																																										
REAR SETBACK	10 FEET	15 FEET +/-																																																																																																																										
MINIMUM YARDS FOR ACCESSORY BLDG.																																																																																																																												
FRONT SETBACK PRINCIPAL	20 FEET	N/A FEET +/-																																																																																																																										
FRONT SETBACK SECONDARY	5 FEET	N/A FEET +/-																																																																																																																										
SIDE SETBACK	5 FEET	N/A FEET +/-																																																																																																																										
	REQUIRED	PROVIDED																																																																																																																										
144 (1) BEDROOM APARTMENTS	144 SPACES	144 SPACES																																																																																																																										
46 (2) BEDROOM APARTMENTS	88 SPACES	88 SPACES																																																																																																																										
HANDICAP PARKING	1 SPACES	1 SPACES																																																																																																																										
--- (24) ---	EXISTING CONTOUR	○ DI	EXISTING STORM DRAIN MANHOLE																																																																																																																									
— 24 —	PROPOSED CONTOUR	● DI	PROPOSED STORM DRAIN MANHOLE																																																																																																																									
x (24.21)	EXISTING SPOT ELEVATION	○ MH	EXISTING SANITARY MANHOLE																																																																																																																									
x 24.11	PROPOSED SPOT ELEVATION	● MH	PROPOSED SANITARY MANHOLE																																																																																																																									
FFE	FINISHED FLOOR ELEVATION	⊕	PROPOSED HYDRANT AND VALVE																																																																																																																									
TW/BW	TOP OF WALL/BOTTOM OF WALL	CIP	CAST IRON PIPE																																																																																																																									
TC/BC	TOP OF CURB/BOTTOM OF CURB	RCP	REINFORCED CONCRETE PIPE																																																																																																																									
TS/BS	TOP OF STAIR/BOTTOM OF STAIR	CMP	CORRUGATED METAL PIPE																																																																																																																									
BF	BOTTOM OF FOOTING	VCP	VITRIFIED CLAY PIPE																																																																																																																									
HP/LP	HIGH POINT/LOW POINT	FVC	POLYVINYL CHLORIDE (PLASTIC) PIPE																																																																																																																									
HPS	HIGH POINT OF SWALE	STA. Ø × Ø	STATION POINT																																																																																																																									
TF OR RE	TOP OF FRAME OR RIM ELEVATION	— P —	PROPERTY LINE																																																																																																																									
INV. EL.	INVERT ELEVATION	— CLL —	CONTRACT LIMIT LINE																																																																																																																									
□ CB	EXISTING CATCH BASIN	— C —	CENTER LINE																																																																																																																									
▣ CB	PROPOSED CATCH BASIN	— C —	CENTER LINE OF SWALE																																																																																																																									
— ST —	PROPOSED STORM PIPE	— W —	PROPOSED WATER MAIN																																																																																																																									
		— SAN —	PROPOSED SANITARY SEWER LINE																																																																																																																									
		— FM —	PROPOSED SANITARY FORCE MAIN																																																																																																																									

SHEET NO.	DRAWING NO.	TITLE
1	CS-1	COVER SHEET
2	SK-1	SKETCH PLAN

DATE: 10/14/16 DRAWN: M.N. CHECKED: C.P.M.

SCALE: N.T.S.

SHEET TITLE: COVER SHEET

PROJECT NUMBER: 2008-04

CS-1

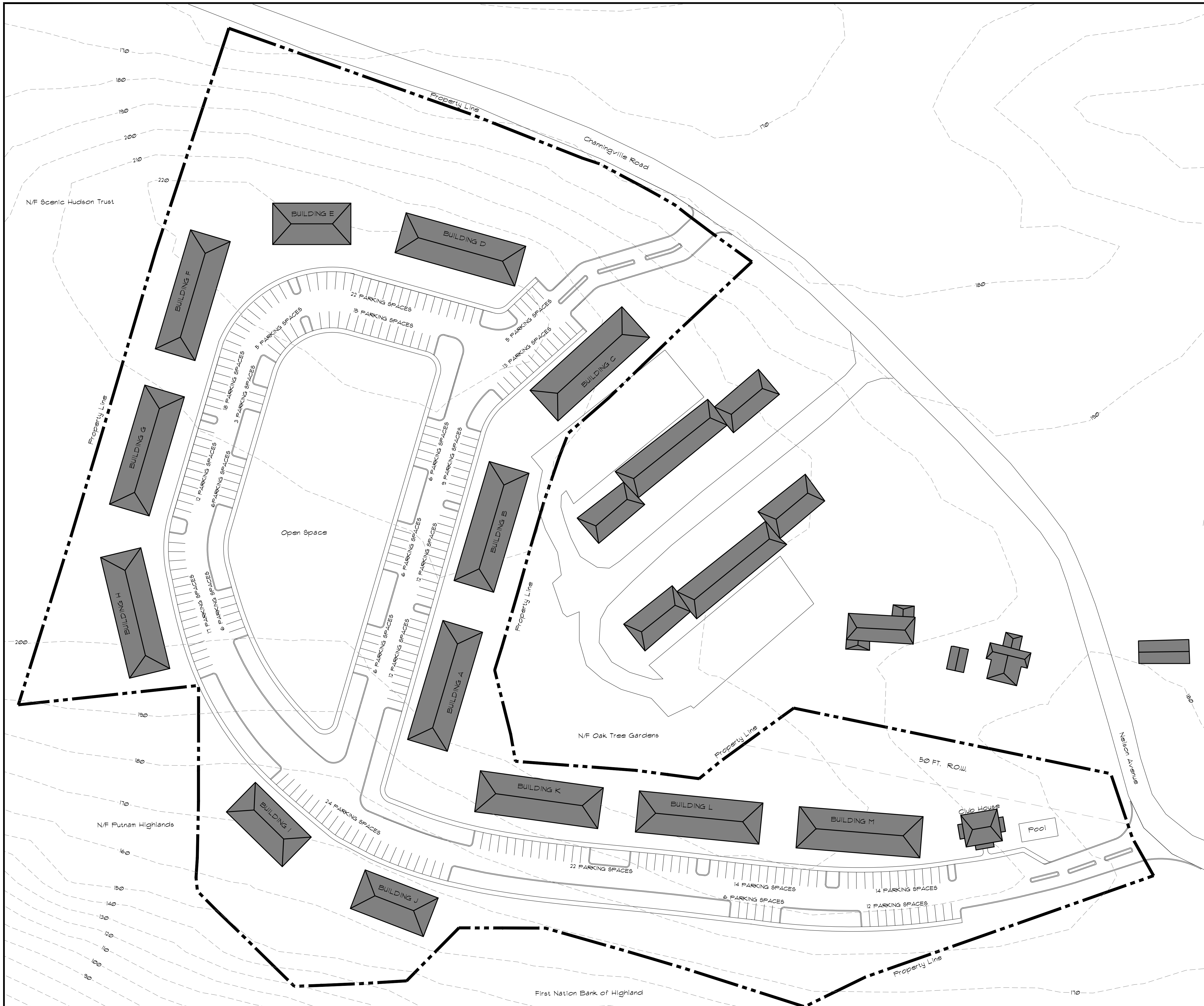
DRAWING NUMBER: CS-1

SHEET 1 OF 2

STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

BUCKINGHAM PROPERTIES
 NELSON AVENUE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601-6158-13-07135

Drawing Name: C:\PROJECTS\BUCKINGHAM PROPERTIES\SKETCH SITE PLAN LAYOUT-10-1-16.DWG Date: 10/10/16 Time: 2:35 PM
 Referenced Drawings: DigSite Distribution_Box_9Hole Fill GateValve SepticTank_1000Gal SiltFence SwaleDetail Trench_Absorption Water_HouseConnection



SITE DATA INFORMATION

13 Buildings at 3 stories each (Total)
 10 Buildings A,B,C,D,E,F,G,H,K,L,M
 Dimensions 135'L X 45'W

10 Buildings at 3 stories each
 10 (BLDGs) WITH 8 (1) Bedroom units first floor = 80 Units
 10 (BLDGs) WITH 4 (1) Bedroom units 2nd & 3rd floor = 40 Units
 10 (BLDGs) WITH 4 (2) Bedroom units 2nd & 3rd floor = 40 UNITS

Total 160 Living Units

3 Buildings E,I,J
 Dimensions 85'L X 45'W

3 Buildings at 3 stories each
 3 (BLDGs) WITH 5 (1) Bedroom first floor = 15 Units
 3 (BLDGs) WITH 3 (1) Bedroom 2nd & 3rd floor = 9 Units
 3 (BLDGs) WITH 3 (2) Bedroom 2nd & 3rd floor = 6 UNITS

Total 30 Living Units
 Grand Total 190 Living Units

Parking requirements: 80 (1) Bedroom = 80 Spaces Required
 40 (1) Bedroom = 40 Spaces Required
 15 (1) BEDROOM = 15 Spaces Required
 9 (1) BEDROOM = 9 Spaces Required
 144 Parking Spaces Proposed

40 (2) Bedroom = 80 Spaces Required
 6 (2) Bedroom = 12 Spaces Required
 88 Parking Spaces Proposed

Grand Total 236 Parking Spaces Proposed

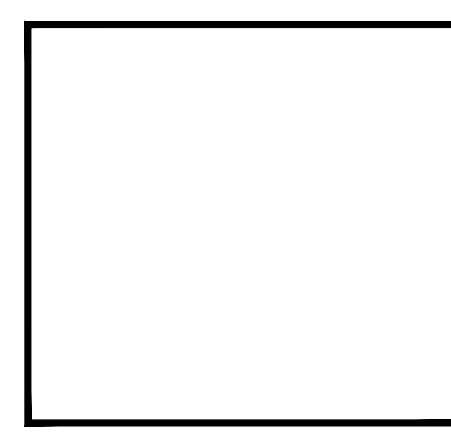
(7) Handicap Spaces Required

NO.	DATE	BY	CHECKED	DESCRIPTION

CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windsor Highway, 1073 Main Street
 New Windsor, New York 12555, Parkhill, New York 12524
 845-567-3030, 845-896-2747
 charlespmayassoc@aol.com

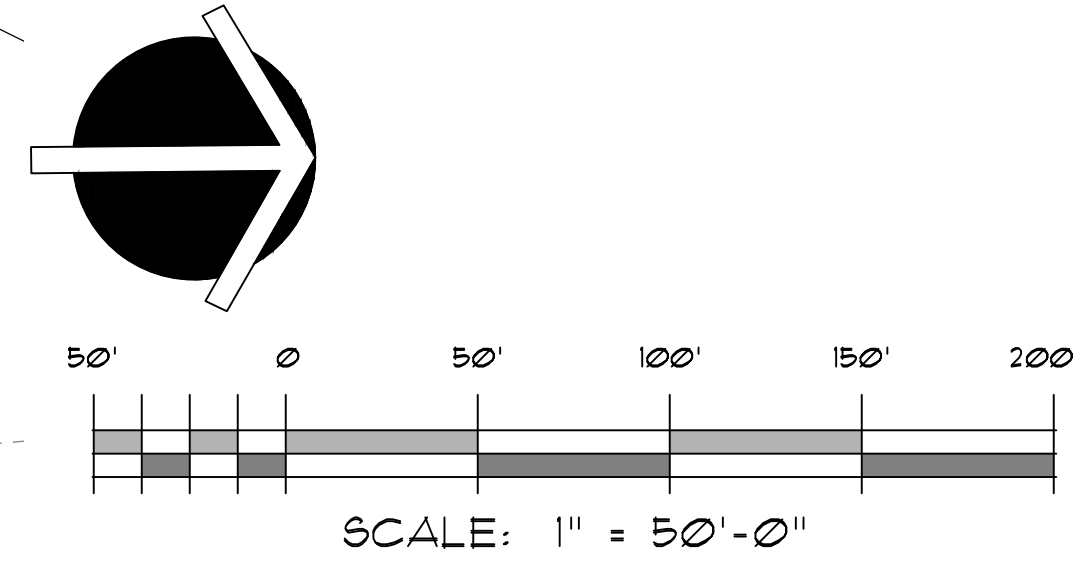


BUCKINGHAM PROPERTY MANAGEMENT
 CHANNINGVILLE RD & NELSON AVE
 VILLAGE OF WAPPINGERS FALLS
 DUTCHESS COUNTY, NEW YORK
 TAX MAP ID. NO. 134601-6158-13-01135

DATE	DRAWN	CHECKED
10/1/16	MN	CFM

SCALE: AS NOTED

SHEET TITLE
SITE SKETCH PLAN



STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

PROJECT NUMBER
 2016

SK-1

DRAWING NUMBER
 SHEET 2 OF 2