

**VILLAGE OF WAPPINGERS FALLS**  
**Offices of Planning/Zoning**  
**2582 South Avenue Wappingers Falls, NY 12590**  
**(845) 297-5277 Fax: (845) 296-0379**

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**AGENDA OF THE PLANNING BOARD**

June 4, 2020

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**\*\*THIS MEETING WILL BE HELD ONLINE AND TELEPHONICALLY ONLY\*\***

**THERE WILL BE NO IN-PERSON PARTICIPATION**  
**BY THE BOARD OR THE PUBLIC.**

**VILLAGE HALL WILL NOT BE OPEN.**

Until further notice, in accordance with Governor Cuomo's Executive Order 202.1 and subsequent executive orders which prohibit non-essential public gatherings of any size, all Planning Board meetings will be held via videoconference utilizing the WebEx platform. Each Board member will be participating remotely. There will not be an opportunity for the public to participate from the same location as a Board member. However, the public is welcome to view the videoconference contemporaneously by logging in to the WebEx platform using the information below. There is also an option to participate by telephone for audio participation only. The meeting will be recorded and the recording will be posted on the Village website. A written transcript of the meeting also will be made available at a later date.

**PLEASE TAKE NOTICE** that the Planning Board of the Village of Wappingers Falls will hold a public meeting on June 4, 2020, beginning at 7 p.m. via WebEx. No public hearings are scheduled for this meeting.

The WebEx participation information is as follows:

Meeting number (access code): 792 920 826  
Meeting password: 4vhECpjpQ37

You may also use this link: [Join meeting](#)

To join by phone please call: 1-408-418-9388

The agenda is as follows:

**ROLL CALL**

**STATEMENT OF COMPLIANCE BY THE CHAIR**

**APPROVAL OF MINUTES**

**CONTINUED APPLICATIONS**

**Gasland - 1663 Route 9**

**1663 Route 9 (Grid #6158-14-498418) – GasLand Holdings Corp. (Zeidan Nesheiwat) (Owner and Applicant); Chazen Companies (Consultant) – Site Plan.**

This property is located Commercial Mixed Use (CMU) zoning district. The applicant is proposing modification of an existing gasoline service station, the removal of a motor vehicle repair facility, and the expansion of an existing convenience store.

**NEW APPLICATIONS**

**VARIEDADES ECUATORIANAS**

**1562 Route 9, Unit 365-1 (Grid #6158-19-571157) – 1554-1564 Route 9 LLC (Owner), Nube Lorena Guaricela (Applicant) – New Signs.**

This property is located in the CMU (Commercial Mixed Use) zoning district. The applicant is proposing 3 window signs.

**WORK SESSION**

The Planning Board will review and discuss aspects of the draft revised zoning code. No public comment will be taken for this portion of the meeting. Public Hearings will be schedule by the Village Board at a future date.

*Short Environmental Assessment Form Part 1*  
*for*  
**1663 Route 9 – Gas Land Holdings**  
**1663 Route 9**  
**Village of Wappingers Falls**  
**Dutchess County, New York**

*Issued: March 12, 2020*

*Revised: May 7, 2020*



*Prepared for:*

*Gas Land Holdings Corp*  
*3 South Ohioville Road*  
*New Paltz, NY 12561*

*Prepared by:*

*Chazen Engineering, Land Surveying &*  
*Landscape Architecture Co., D.P.C.*  
*21 Fox Street Suite 201*  
*Poughkeepsie, NY 12601*  
*845-454-3980*

*Chazen Project No. 82010.00*

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### SHORT ENVIRONMENTAL ASSESSMENT FORM PART 1 FORM

#### FIGURES

- Figure 1: USGS Location Map
- Figure 2: Orthophoto Tax Map
- Figure 3: Land Use Map
- Figure 4: NYSOPRHP Cultural Resource Information System (CRIS) Map
- Figure 5: Aquatic Resources Map
- Figure 6: NYSDEC Environmental Resource Map

#### ATTACHMENT

- Attachment A: Suffolk County Loading Rates
- Attachment B: US Fish & Wildlife Service (USFWS) IPaC Resource List

Note: Site Plan submitted separately.

## PROJECT NARRATIVE

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## 1.0 PROJECT DESCRIPTION

The Applicant and Owner, Gas Land Holdings Corp is seeking site plan approval for a modification and expansion of an existing auto body repair shop/convenience store and gasoline fueling facility located at 1663 Route 9 in the Village of Wappingers Falls. The 0.46-acre parcel is identified as parcel 135601-6158-14-498418 on the Village of Wappingers Falls Tax Map and is located at the corner of US Route 9 southbound and North Mesier Ave (see Figures 1 and 2). The tax parcel is currently developed with an approximately 1,200-square-foot, one-story building containing approximately 400 square feet of convenience store area and 800 square feet of autobody repair shop area, with eight fuel pumps (8 fueling stations) and 6 parking spaces. The project includes the removal of the auto body repair shop use and conversion of the entire building to convenience store use. In addition, a 900-square-foot building expansion is proposed to the west and south sides of the existing building for a total proposed convenience store floor area of 2,100 square feet. A small deli area will be incorporated into the inside of the convenience store. This will include a deli case, griddle, fryer, refrigerator, freezer and prep table. Per Chapter 151 of the Village of Wappingers Falls Zoning Code, a convenience store is defined as a structure of portion thereof used for retail sale for a variety of goods which may include fresh or prepared foods such as sandwiches and coffee. Additional modification will be undertaken to the site including the installation of a refuse container (previously there was none), increase in parking spaces (3 parking spaces), and landscaping improvements. The number of fueling stations will remain the same and no changes in access to the facility are proposed as part of the project. The existing building is legal non-conforming and proposed modifications to the building may require area variances.

Table 1 provides a list of the approvals/permits that are anticipated for the project.

**Table 1: Anticipated Approvals/Permits**

AGENCY	APPROVAL/PERMIT
Village of Wappingers Falls Planning Board	Site plan approval
Village of Wappingers Falls Zoning Board of Appeals	Area Variance(s)
Dutchess County Department of Planning and Development	GML 239m referral

## 2.0 LAND USE AND ZONING

### 2.1 Land Use

The project site is located within a developed area of the Village of Wappingers Falls that provides regional commercial uses along Route 9. Nearby land uses include one-family residential dwellings, vacant lots, Veteran Memorial Park, and commercial facilities including restaurants and retail. The project site is surrounded on all sides by commercial zoned uses that are developed with commercial uses (see Figure 3). Accordingly, the proposed project to expand and modify an existing convenience store/gasoline filling station facility is consistent with nearby land uses.

### 2.2 Zoning

The project parcel is situated in the Commercial Mixed Use (CMU) Zoning District as designated by the Village of Wappingers Falls Zoning Map. A “Gasoline/Convenience Station” and an “automobile service”

use is permitted with site plan approval in this zoning district and pursuant to Zoning Section 151-20. The existing building is legal non-conforming.

A. The storage of vehicles, equipment, fuel pumps, or vehicle charging stations shall not be permitted within 20 feet of a zoning district boundary or in any required setback.

The existing fuel pumps are located outside of all required setbacks. The proposed project will not affect the location of the fuel pumps.

B. All major repair and service work shall be accomplished indoors or screened from view.

Currently, the facility is partially comprised of an automobile service use. As part of the proposed action, the automobile service use will be discontinued and will be converted to a convenience store. Therefore, no repair or service work will occur on site.

C. All automobile parts, dismantled vehicles including unregistered/inoperable vehicles, and similar articles shall be stored within a building or screened from view.

See Response to B.

D. Automotive use structures shall be set back a minimum of 25 feet from all property lines. The preceding setbacks shall supersede the setbacks specified in Tables 2A – 2F.

The gasoline fueling station canopy currently encroaches into the 25-foot setback off the property line abutting Route 9. The encroachment is an existing, legal, non-conforming condition that will not be affected by the proposed action. No changes to the fueling station canopy are proposed as part of the project.

E. Each vehicle for sale is permitted one sign per vehicle with a maximum area of one square foot; this sign shall be displayed from inside the vehicle. Such vehicles shall use no other advertising or devices to attract attention.

Auto sales do not currently occur at the project site and the proposed project does not include an auto sales use.

F. No more than one unregistered and/or inoperative vehicle shall be stored on the premises for more than 60 days except for auto sales.

See Responses to B and E.

G. Island canopy lighting fixtures shall be recessed into the canopy ceiling so that the bottom of the fixture is flush with the ceiling.

No changes to lighting fixtures within the existing fueling station canopy are proposed as part of the proposed project.

H. Vehicle charging stations are permitted as accessory uses only and not as principal uses in VR, VM, and VC Districts.

There are no existing vehicle charging stations at the site and none are proposed as part of the proposed project.

I. Car washes:

- (1) Car wash structures shall not be closer than 200 feet from a zoning district boundary.

There is no existing car wash structure at the site, and no such structure is proposed as part of the proposed project.

- (2) Four stacking spaces per bay shall be provided on the lot.

See response to 1.

- (3) As part of site plan review for car washes, evidence of an adequate long-term source of public or private water shall be submitted to show that water usage will not affect surrounding properties.

See response to 1.

The existing building is legal non-conforming and proposed modifications to the building may require area variances from the Village of Wappingers Falls Zoning Board of Appeals, as shown in the Zoning Table on the site plan.

Since the existing building is legal non-conforming and the proposed project is generally consistent with the Village's Zoning regulations, no significant adverse impacts related to land use or zoning are anticipated to result from the proposed project.

## 2.3 Public Policy

The Village's Comprehensive Plan was written in 2001. The Route 9 corridor is identified in the Plan as featuring a predominance of highway commercial uses. The Plan acknowledges that the existing highway commercial uses are at odds with the intentions of the CB zoning and that this corridor should be rezoned to General Business (GB). This change was implemented and an older zoning map from 2007 shows the site within the General Business Zoning District.

Following the Comprehensive Plan, several policies were written to garner the revitalization of the Village center, including: Wappingers Falls Vision Plan, Wappingers Falls Action Plan, Wappingers Falls Smart Code, West Main Street Revitalization Plan, and the Village of Wappingers Falls Downtown and Waterfront Revitalization Strategy.

As a result of the adoption of the Wappingers Falls Smart Code, the site was rezoned to CMU in 2015. The CMU Zoning District is described as follows: "Commercial Mixed Use Zone consists of the highest density and height, with the greatest variety of uses of regional importance. It may have larger blocks; streets have steady street tree planting and buildings are set close to wide sidewalks." As described above, the project site is comprised of an existing gasoline fueling station which preceded the rezoning resulting in a building that does not conform with current zoning. The proposed modification of the building will result in removal of the auto-repair use and conversion and expansion of the convenience store use. The fueling station component of the station will remain the same. Due to the existing design of the fueling stations, it is not viable to expand the building to the east which would bring it closer to Route 9 as is the objective of the CMU bulk dimensions. Nevertheless, the proposed project will improve an existing conforming use by improving the aesthetics of the building and site and increasing parking and is anticipated to be consistent with the objectives of Village public policy.

## 3.0 UTILITIES

### 3.1 Water and Wastewater

The proposed project includes the expansion and modification of an existing convenience store/auto body repair used building to a one that will be used as a convenience store only. The store will have prepared foods placed in a grab-and-go display case.

The water usage and wastewater generation are calculated in accordance with the Dutchess County Design and Construction Standards, 2016; New York State Department of Environmental Conservation (NYSDEC) “Design Standards for Wastewater Treatment Works” for Intermediate Sized Sewage Facilities, 2014; and Table 1 – Project Density Loading Rates & Design Sewage Flow Rates from the Suffolk County Department of Health Services Division of Environmental Quality Standard for Approval for Plans and Construction for Sewage Disposal Systems for Other than Single-Family Residences (utilized for deli use).

The NYSDEC Design Standard for Wastewater Treatment Works, 2014, does not provide anticipated hydraulic loading rates for a convenience store with minor food preparation. Therefore, our office has researched surrounding counties for theoretical sewage flows associated with this particular use. Attachment A is Table 1 – Project Density Loading Rates & Design Sewage Flow Rates, from the Suffolk County Department of Health Services. This table provides a hydraulic load for a “wet store w/food (deli/take-out with max 16 seats single service<sup>1</sup>),” of 0.15 gallons per day (gpd) for each gross square feet of floor space. The proposed convenience store will not have seating. Based on this loading, the expected flow would be 315 gpd (2,100 square feet x 0.15).

The project site is currently connected to municipal water and sewer service and presently contains a toilet. Based on the New York State Department of Environmental Conservation Water and Wastewater Systems Design and Construction Standards, the design flow for a facility with a public toilet is 400 gpd. Therefore, the total increased anticipated water demand and wastewater generation is anticipated to be 315 gpd.

The modified and expanded convenience store will remain connected to the Village’s municipal water and sewer service and the additional water demand and wastewater generation is anticipated to be accommodated without negative impact to the water or sewer district.

### 3.2 Stormwater

The project site is connected to the municipal stormwater system. The proposed project will result in less than one acre of physical ground disturbance at the site. Therefore, no stormwater pollution prevention plan (SWPPP) is required. Erosion and sediment controls will be in place during construction.

## 4.0 HISTORIC AND ARCHEOLOGICAL RESOURCES

According to the NYS Office of Parks, Recreation, and Historic Preservation (NYSOPRHP) Cultural Resource Information System (CRIS) mapping (Figure 4), the project site does not contain nor is it located substantially contiguous to a listed or eligible resource on the National or State Registers of Historic Places. The project site is located within an area known to be sensitive for archeological resources. However, the

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<sup>1</sup> Single service is defined as disposable plates, silverware and cups.

project site is in a developed area and is completely disturbed, consisting of mostly building and parking area. Physical disturbance associated with the proposed project will include areas that have been previously disturbed. Therefore, no impacts to archeological resources are anticipated. Project information, including plans and elevations, will be uploaded to the NYSOPHRP CRIS for review and determination.

## **5.0 WATER RESOURCES AND FLOODPLAIN**

According to available GIS data and New York State Department of Environmental Conservation (NYSDEC) Environmental Resource Map (Figures 5 and 6), there are no floodplains, mapped streams, National Wetland Inventory (NWI) wetlands, or NYSDEC regulated wetlands or adjacent areas on or adjacent to the project site. There are no floodplain areas in the vicinity of the project site. Therefore, no adverse impacts to water resources are anticipated, and no impacts related to floodplains will occur.

The project site does not directly adjoin the Wappinger Lake Critical Environmental Area (CEA), which is located approximately 650 feet west of the site. The site is connected to municipal utilities and erosion and sediment controls will be implemented during construction. Therefore, no adverse impact to the CEA will occur as a result of the project.

## **6.0 ENDANGERED, THREATENED & RARE SPECIES AND SIGNIFICANT HABITAT**

According to the NYSDEC Environmental Resource Mapper (ERM) (Figure 6), there are known occurrences of the Pied-billed Grebe and the Indiana Bat on or in the vicinity of the project site. The NYSDEC ERM indicates that the site is just outside the area that NYSDEC considers “near” to the tidal river of the Hudson River Estuary, a Significant Natural Community.

According to the NYSDEC New York Natural Heritage Program, the Pied-billed Grebe is a State-listed Threatened species whose habitat is “quiet marshes, marshy shorelines of ponds, shallow lakes, or marshy bays and slow-moving streams with sedgy banks or adjacent marshes; rarely in brackish marshes with limited tidal fluctuation.” The project site contains no aquatic resources that could potentially provide habitat for this species; therefore, no adverse impacts to this species are anticipated to occur.

According to the NYSDEC New York Natural Heritage Program, the Indiana Bat is a State-listed Endangered species that, “hibernate in caves and mines during the winter. These bats show a strong preference for woodland and wooded riparian habitat over cropland. Predominately female Indiana bats radio-tracked from hibernacula in Jefferson, Essex, and Ulster Counties were found to move between approximately 12 and 40 miles to roost location on their foraging grounds. The roosts consisted of living, dying, and dead trees in both rural and suburban landscapes.” The project site contains no trees; therefore, no adverse impacts to this species are anticipated to occur.

The US Fish & Wildlife Service IPaC Resource List (Attachment B) indicates the potential for the Indiana Bat (endangered) and the Northern Long-Eared Bat (threatened) in the vicinity of the project site. As noted above, there are no trees located on the project site; therefore, no adverse impacts to bats are anticipated to occur as part of the proposed project.

# SHORT ENVIRONMENTAL ASSESSMENT FORM (SEAF)

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# Short Environmental Assessment Form

## Part 1 - Project Information


### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: 1663 Route 9 - Gas Land Holdings			
Project Location (describe, and attach a location map): 1663 Route 9, Village of Wappingers Falls, Dutchess County, NY; Tax Parcel 135601-6158-14-498418-; refer to Figures 1 and 2			
Brief Description of Proposed Action: The Applicant and Owner, Gas Land Holdings Corp is seeking site plan approval for a modification and expansion of an existing auto body repair shop/convenience store and gasoline fueling facility located at 1663 Route 9 in the Village of Wappingers Falls. The parcel is currently developed with an approximately 1,200-square-foot, one-story building containing approximately 400 square feet of convenience store area and 800 square feet of auto body repair shop area, with eight fuel pumps (8 fueling stations) and 6 parking spaces. The project includes the removal of the auto body repair shop use and conversion of the entire building to convenience store use. In addition, a 900-square-foot building expansion is proposed to the west and south sides of the existing building for a total proposed convenience store floor area of 2,100 square feet. Additional modification will be undertaken to the site including the installation of a refuse container (previously there was none), increase in parking spaces (3 parking spaces), and aesthetic improvements to landscaping. The number of fueling stations will remain the same and no changes in access to the facility are proposed as part of the project. The existing building is legal non-conforming and proposed modifications to the building may require area variances.			
Name of Applicant or Sponsor: Gas Land Holdings Corp (Zeidan Nesheiwat)		Telephone: 845-331-7545 E-Mail: gasland.zeidan@gmail.com	
Address: 3 South Ohioville Road			
City/PO: New Paltz		State: NY	Zip Code: 12561-4012
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Area variances may be required from Zoning Board of Appeals		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.46 acres	
b. Total acreage to be physically disturbed?		0.46 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.46 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): Recreational and vacant <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name:Wappinger Lake, Reason:Protection of natural resource, Agency:Wappinger Falls, Village of, Date:6-29-98 If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The project site does not directly adjoin the Wappinger Lake CEA. The site is connected to municipal utilities and erosion and sediment controls will be implemented during construction. Therefore no adverse impact to the CEA will occur as a result of the project.	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ The existing facility is connected to municipal water supply. The expanded convenience store will result in an incremental change and the water district is anticipated to have adequate capacity to serve the larger convenience store.	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____ The existing facility is connected to municipal water supply. The expanded convenience store will result in an incremental change and the sewer district is anticipated to have adequate capacity to serve the larger convenience store.	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Pied-billed Grebe, Indiana Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
The project site is connected to the municipal stormwater system. The proposed project will result in less than one acre of physical ground disturbance at the site. Therefore, no stormwater pollution prevention plan (SWPPP) is required. Erosion and sediment controls will be in place during construction.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor/name: <u>Gas Land Holdings</u> Date: <u>5/07/2020</u></p> <p>Signature: <u></u> Agent for Applicant, Caren LoBrutto Title: <u>Senior Planner</u></p>		



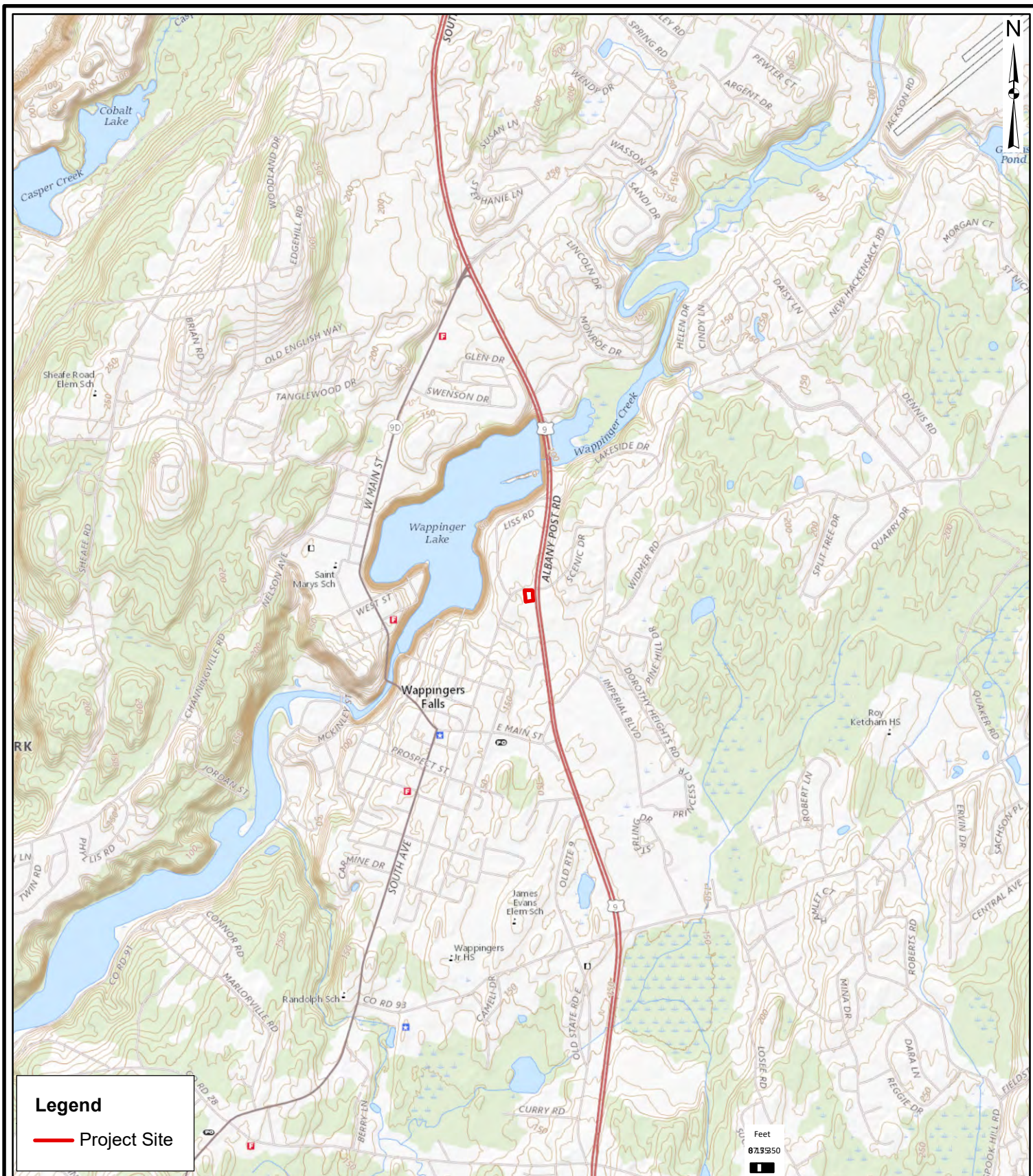
**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Wappinger Lake, Reason:Protection of natural resource, Agency:Wappinger Falls, Village of, Date:6-29-98
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Pied-billed Grebe, Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

## FIGURES

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THE  
**Chazen**  
COMPANIES

ENGINEERS  
LAND SURVEYORS  
PLANNERS  
ENVIRONMENTAL & SAFETY PROFESSIONALS  
LANDSCAPE ARCHITECTS

**Dutchess County Office:**  
21 Fox Street, Poughkeepsie, NY 12601  
Phone: (845) 454-3980

**Capital District Office:**  
547 River Street, Troy, NY 12180  
Phone: (518) 273-0055

**North Country Office:**  
375 Bay Road, Queensbury, NY 12804  
Phone: (518) 812-0513

**1663 Route 9 - GasLand**

## USGS Location Map

Village of Wappinger, Dutchess County, New York

Drawn:	SPL
Date:	03/12/2020
Scale:	1 inch = 2,000 feet
Project:	82010.00
Figure:	1



THE  
**Chazen**  
COMPANIES

ENGINEERS  
LAND SURVEYORS  
PLANNERS  
ENVIRONMENTAL & SAFETY PROFESSIONALS  
LANDSCAPE ARCHITECTS

**Dutchess County Office:**  
21 Fox Street, Poughkeepsie, NY 12601  
Phone: (845) 454-3980

**Capital District Office:**  
547 River Street, Troy, NY 12180  
Phone: (518) 273-0055

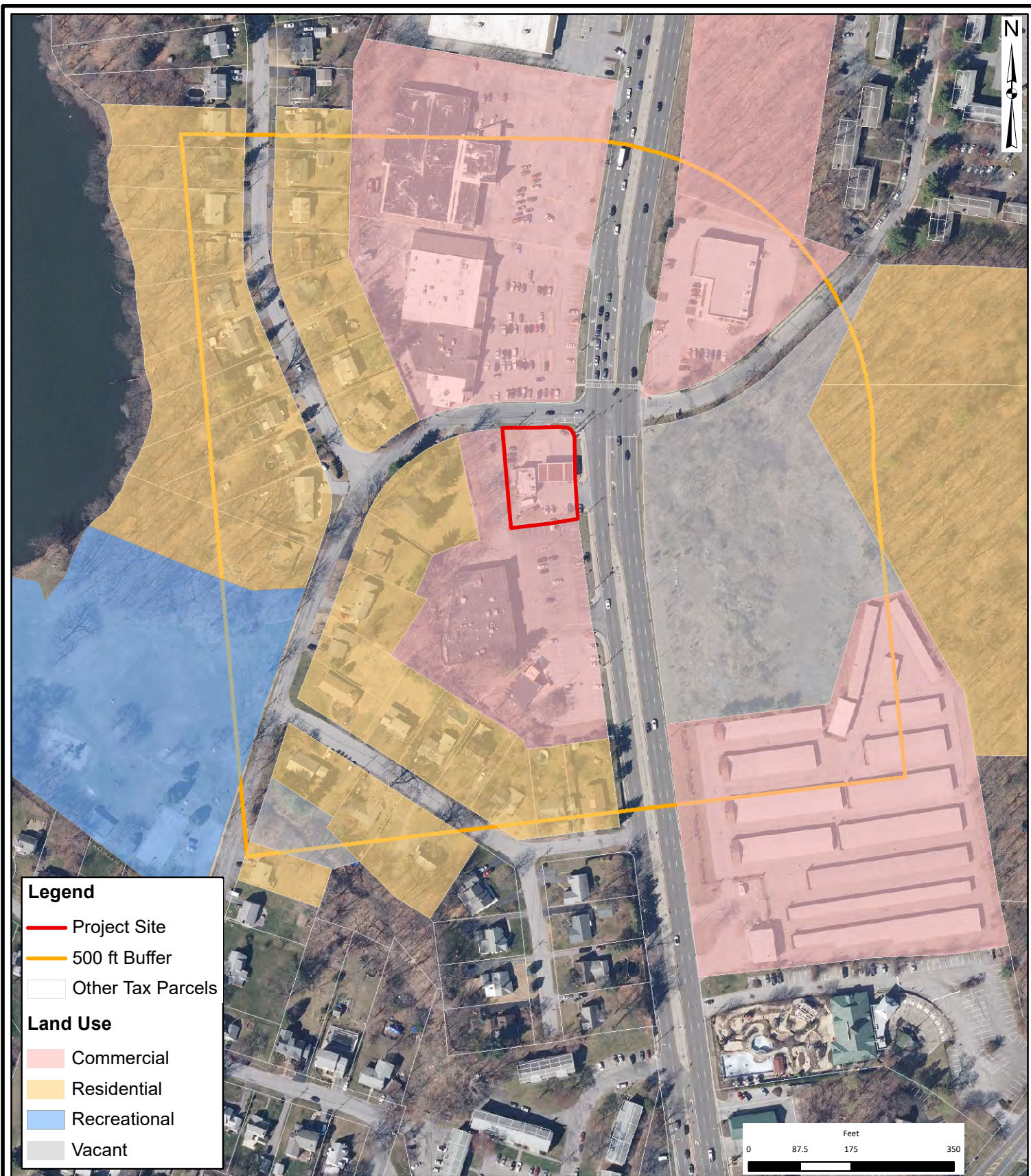
**North Country Office:**  
375 Bay Road, Queensbury, NY 12804  
Phone: (518) 812-0513

**1663 Route 9 - GasLand**

## Orthophoto Tax Map

Village of Wappinger, Dutchess County, New York

Drawn:	SPL
Date:	03/12/2020
Scale:	1 inch = 100 feet
Project:	82010.00
Figure:	2



### Legend

- Project Site
- 500 ft Buffer
- Other Tax Parcels

### Land Use

- Commercial
- Residential
- Recreational
- Vacant

**THE**  
*Chazen*  
**COMPANIES**

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Phone: (845) 454-3980

**Capital District Office:**  
547 River Street, Troy, NY 12180  
Phone: (518) 273-0055

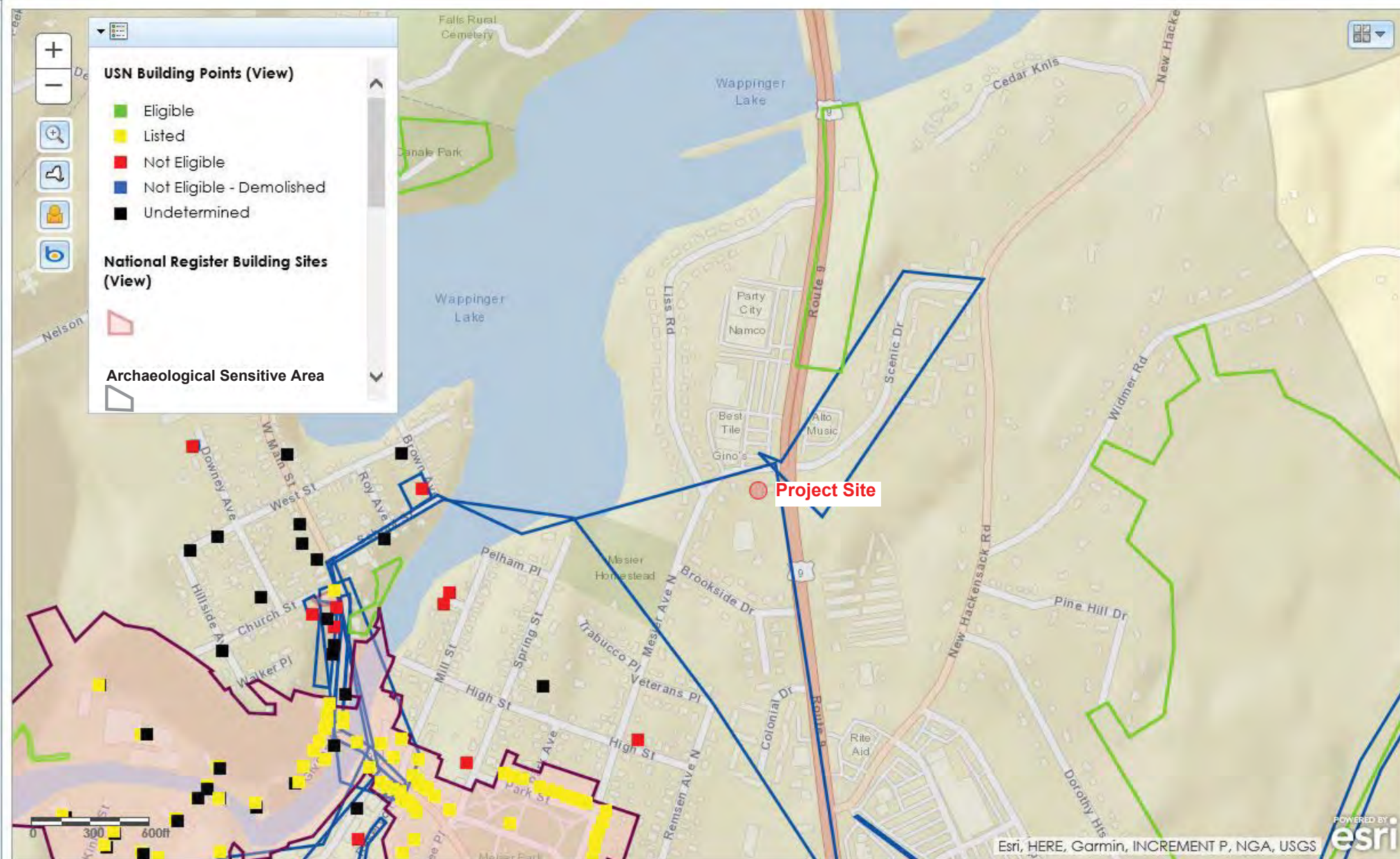
**North Country Office:**  
375 Bay Road, Queensbury, NY 12804  
Phone: (518) 812-0513

**1663 Route 9 - GasLand**

## Land Use Map

Village of Wappinger, Dutchess County, New York

Drawn:	SPL
Date:	03/12/2020
Scale:	1 inch = 225 feet
Project:	82010.00
Figure:	3





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Phone: (518) 812-0513

**1663 Route 9 - GasLand**

## Wetland, Streams and Floodplain Map

Village of Wappinger, Dutchess County, New York

Drawn:	SPL
Date:	03/12/2020
Scale:	1 inch = 300 feet
Project:	82010.00
Figure:	5



# Environmental Resource Mapper

Base Map: Topographical Using this map

Search

Tools

Layers and Legend

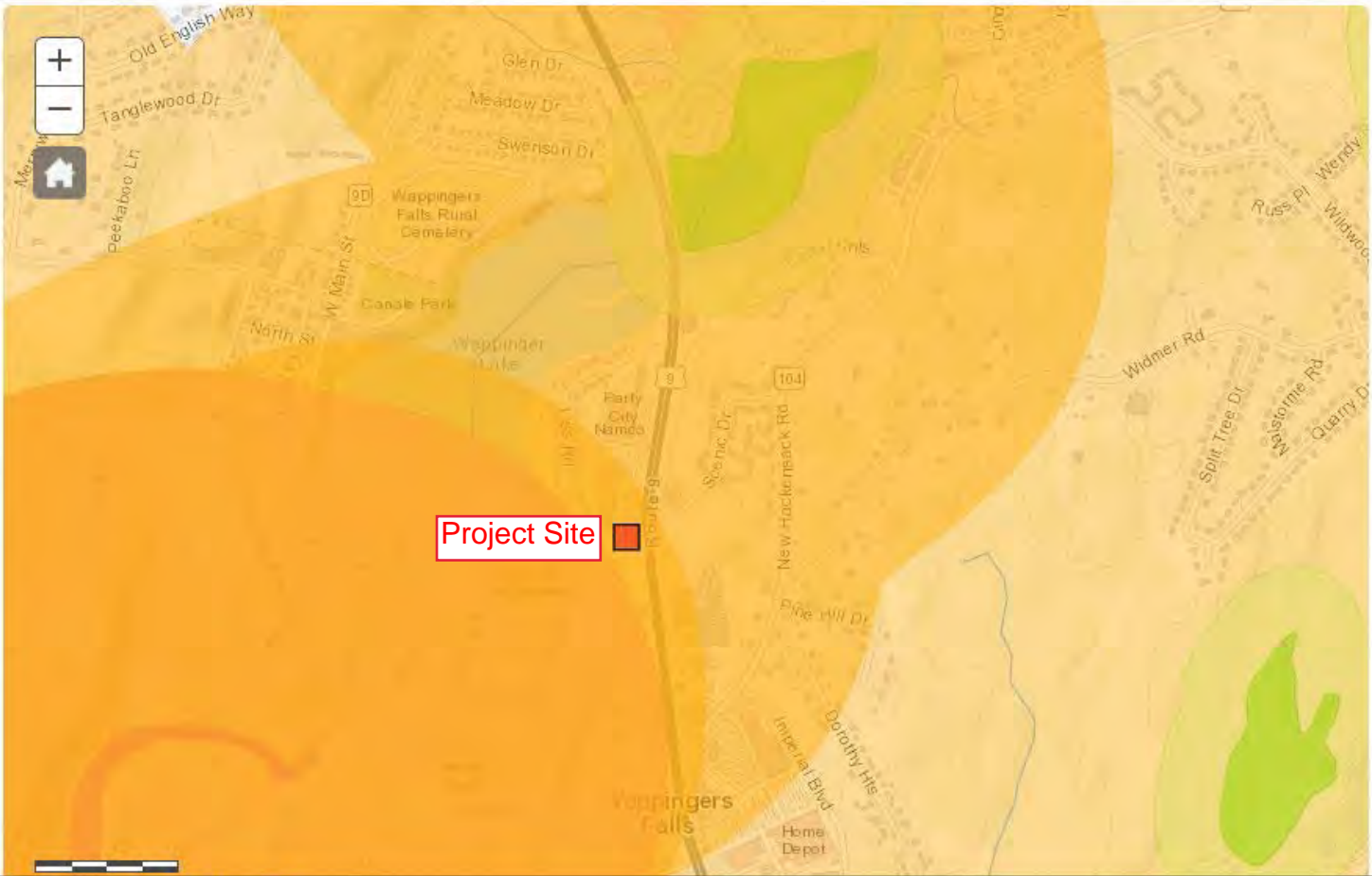
- ☒ Unique Geological Features
- ☒ Waterbody Classifications for Rivers/Streams
- ☒ Waterbody Classifications for Lakes
- ☒ State Regulated Freshwater Wetlands (Outside of the Adirondack Park)
- ☐ State Regulated Wetland Checkzone
- ☒ Significant Natural Communities
- ☐ Natural Communities Near This Location
- ☒ Rare Plants or Animals

Other Wetland Layers

Reference Layers

Tell Me More...

Need A Permit?



## ATTACHMENT A

### Suffolk County Loading Rates

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## ATTACHMENT B

### USFWS IPaC Resource List

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**IPaC** Information for Planning and Consultation **U.S. Fish & Wildlife Service**

# IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

## Location

Dutchess County, New York



## Local office

New York Ecological Services Field Office

☎ (607) 753-9334

📠 (607) 753-9699

3817 Luker Road

Cortland, NY 13045-9385

<http://www.fws.gov/northeast/nyfo/es/section7.htm>

# Endangered species

**This resource list is for informational purposes only and does not constitute an analysis of project level impacts.**

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population, even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

1. Draw the project location and click CONTINUE.
2. Click DEFINE PROJECT.
3. Log in (if directed to do so).
4. Provide a name and description for your project.
5. Click REQUEST SPECIES LIST.

## Listed species

<sup>1</sup> and their critical habitats are managed by the [Ecological Services Program](#) of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries<sup>2</sup>).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact [NOAA Fisheries](#) for [species under their jurisdiction](#).

1. Species listed under the [Endangered Species Act](#) are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the [listing status page](#) for more information.
2. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

## Mammals

NAME

STATUS

Indiana Bat *Myotis sodalis*

Endangered

There is **final** critical habitat for this species. Your location is outside the critical habitat.

<https://ecos.fws.gov/ecp/species/5949>

Northern Long-eared Bat *Myotis septentrionalis*  
No critical habitat has been designated for this species.  
<https://ecos.fws.gov/ecp/species/9045>

Threatened

## Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

THERE ARE NO CRITICAL HABITATS AT THIS LOCATION.

## Migratory birds

Certain birds are protected under the Migratory Bird Treaty Act

<sup>1</sup> and the Bald and Golden Eagle Protection Act<sup>2</sup>.

Any person or organization who plans or conducts activities that may result in impacts to migratory birds, eagles, and their habitats should follow appropriate regulations and consider implementing appropriate conservation measures, as described [below](#).

1. The [Migratory Birds Treaty Act](#) of 1918.
2. The [Bald and Golden Eagle Protection Act](#) of 1940.

Additional information can be found using the following links:

- Birds of Conservation Concern <http://www.fws.gov/birds/management/managed-species/birds-of-conservation-concern.php>
- Measures for avoiding and minimizing impacts to birds  
<http://www.fws.gov/birds/management/project-assessment-tools-and-guidance/conservation-measures.php>
- Nationwide conservation measures for birds  
<http://www.fws.gov/migratorybirds/pdf/management/nationwidestandardconservationmeasures.pdf>

The birds listed below are birds of particular concern either because they occur on the [USFWS Birds of Conservation Concern](#) (BCC) list or warrant special attention in your project location. To learn more about the levels of concern for birds on your list and how this list is generated, see the FAQ [below](#). This is not a list of every bird you may find in this location, nor a guarantee that every bird on this list will be found in your project area. To see exact locations of where birders and the general public have sighted birds in and around your project area, visit the [E-bird data mapping tool](#) (Tip: enter your location, desired date range and a species on your list). For projects that occur off the Atlantic Coast, additional maps and models detailing the relative occurrence and abundance of bird species on your list are available. Links to additional information about Atlantic Coast birds, and other important information about your migratory bird list, including how to properly interpret and use your migratory bird report, can be found [below](#).

For guidance on when to schedule activities or implement avoidance and minimization measures to reduce impacts to migratory birds on your list, click on the PROBABILITY OF PRESENCE SUMMARY at the top of your list to see when these birds are most likely to be present and breeding in your project area.

NAME

BREEDING SEASON (IF A BREEDING SEASON IS INDICATED FOR A BIRD ON YOUR LIST, THE BIRD MAY BREED IN YOUR PROJECT AREA SOMETIME WITHIN THE TIMEFRAME SPECIFIED, WHICH IS A VERY LIBERAL ESTIMATE OF THE DATES INSIDE WHICH THE BIRD BREEDS ACROSS ITS ENTIRE RANGE. "BREEDS ELSEWHERE" INDICATES THAT THE BIRD DOES NOT LIKELY BREED IN YOUR PROJECT AREA.)

**Bald Eagle** *Haliaeetus leucocephalus***Breeds Dec 1 to Aug 31**

This is not a Bird of Conservation Concern (BCC) in this area, but warrants attention because of the Eagle Act or for potential susceptibilities in offshore areas from certain types of development or activities.

<https://ecos.fws.gov/ecp/species/1626>

**Snowy Owl** *Bubo scandiacus***Breeds elsewhere**

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

**Wood Thrush** *Hylocichla mustelina***Breeds May 10 to Aug 31**

This is a Bird of Conservation Concern (BCC) throughout its range in the continental USA and Alaska.

## Probability of Presence Summary

The graphs below provide our best understanding of when birds of concern are most likely to be present in your project area. This information can be used to tailor and schedule your project activities to avoid or minimize impacts to birds. Please make sure you read and understand the FAQ "Proper Interpretation and Use of Your Migratory Bird Report" before using or attempting to interpret this report.

### Probability of Presence (■)

Each green bar represents the bird's relative probability of presence in the 10km grid cell(s) your project overlaps during a particular week of the year. (A year is represented as 12 4-week months.) A taller bar indicates a higher probability of species presence. The survey effort (see below) can be used to establish a level of confidence in the presence score. One can have higher confidence in the presence score if the corresponding survey effort is also high.

How is the probability of presence score calculated? The calculation is done in three steps:

1. The probability of presence for each week is calculated as the number of survey events in the week where the species was detected divided by the total number of survey events for that week. For example, if in week 12 there were 20 survey events and the Spotted Towhee was found in 5 of them, the probability of presence of the Spotted Towhee in week 12 is 0.25.
2. To properly present the pattern of presence across the year, the relative probability of presence is calculated. This is the probability of presence divided by the maximum probability of presence across all weeks. For example, imagine the probability of presence in week 20 for the Spotted

Towhee is 0.05, and that the probability of presence at week 12 (0.25) is the maximum of any week of the year. The relative probability of presence on week 12 is  $0.25/0.25 = 1$ ; at week 20 it is  $0.05/0.25 = 0.2$ .

3. The relative probability of presence calculated in the previous step undergoes a statistical conversion so that all possible values fall between 0 and 10, inclusive. This is the probability of presence score.

To see a bar's probability of presence score, simply hover your mouse cursor over the bar.

### Breeding Season (■)

Yellow bars denote a very liberal estimate of the time-frame inside which the bird breeds across its entire range. If there are no yellow bars shown for a bird, it does not breed in your project area.

### Survey Effort (|)

Vertical black lines superimposed on probability of presence bars indicate the number of surveys performed for that species in the 10km grid cell(s) your project area overlaps. The number of surveys is expressed as a range, for example, 33 to 64 surveys.

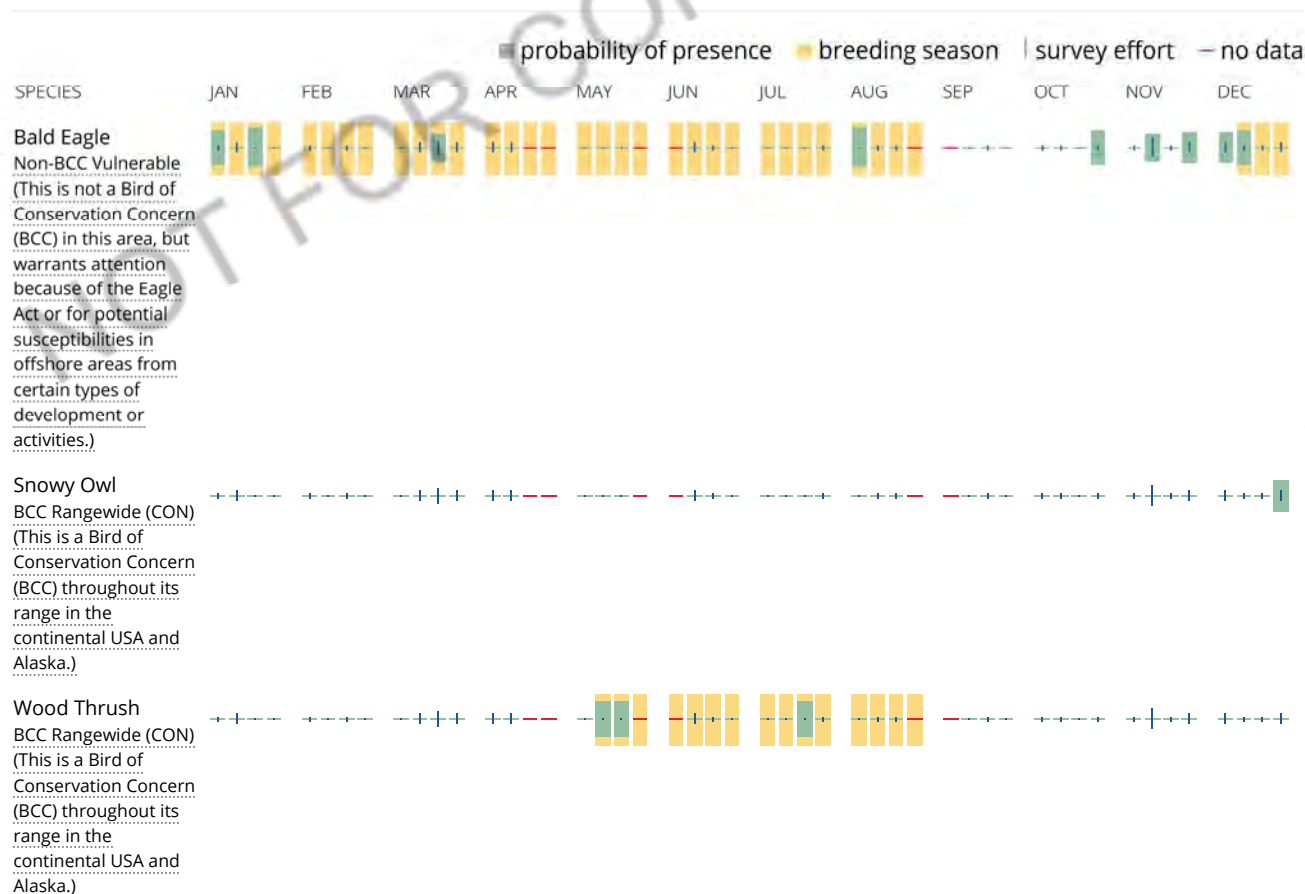
To see a bar's survey effort range, simply hover your mouse cursor over the bar.

### No Data (—)

A week is marked as having no data if there were no survey events for that week.

### Survey Timeframe

Surveys from only the last 10 years are used in order to ensure delivery of currently relevant information. The exception to this is areas off the Atlantic coast, where bird returns are based on all years of available data, since data in these areas is currently much more sparse.



Tell me more about conservation measures I can implement to avoid or minimize impacts to migratory birds.

[Nationwide Conservation Measures](#) describes measures that can help avoid and minimize impacts to all birds at any location year round. Implementation of these measures is particularly important when birds are most likely to occur in the project area. When birds may be breeding in the area, identifying the locations of any active nests and avoiding their destruction is a very helpful impact minimization measure. To see when birds are most likely to occur and be breeding in your project area, view the Probability of Presence Summary. [Additional measures](#) and/or [permits](#) may be advisable depending on the type of activity you are conducting and the type of infrastructure or bird species present on your project site.

#### What does IPaC use to generate the migratory birds potentially occurring in my specified location?

The Migratory Bird Resource List is comprised of USFWS [Birds of Conservation Concern \(BCC\)](#) and other species that may warrant special attention in your project location.

The migratory bird list generated for your project is derived from data provided by the [Avian Knowledge Network \(AKN\)](#). The AKN data is based on a growing collection of [survey, banding, and citizen science datasets](#) and is queried and filtered to return a list of those birds reported as occurring in the 10km grid cell(s) which your project intersects, and that have been identified as warranting special attention because they are a BCC species in that area, an eagle ([Eagle Act](#) requirements may apply), or a species that has a particular vulnerability to offshore activities or development.

Again, the Migratory Bird Resource list includes only a subset of birds that may occur in your project area. It is not representative of all birds that may occur in your project area. To get a list of all birds potentially present in your project area, please visit the [AKN Phenology Tool](#).

#### What does IPaC use to generate the probability of presence graphs for the migratory birds potentially occurring in my specified location?

The probability of presence graphs associated with your migratory bird list are based on data provided by the [Avian Knowledge Network \(AKN\)](#). This data is derived from a growing collection of [survey, banding, and citizen science datasets](#).

Probability of presence data is continuously being updated as new and better information becomes available. To learn more about how the probability of presence graphs are produced and how to interpret them, go the Probability of Presence Summary and then click on the "Tell me about these graphs" link.

#### How do I know if a bird is breeding, wintering, migrating or present year-round in my project area?

To see what part of a particular bird's range your project area falls within (i.e. breeding, wintering, migrating or year-round), you may refer to the following resources: [The Cornell Lab of Ornithology All About Birds Bird Guide](#), or (if you are unsuccessful in locating the bird of interest there), the [Cornell Lab of Ornithology Neotropical Birds guide](#). If a bird on your migratory bird species list has a breeding season associated with it, if that bird does occur in your project area, there may be nests present at some point within the timeframe specified. If "Breeds elsewhere" is indicated, then the bird likely does not breed in your project area.

#### What are the levels of concern for migratory birds?

Migratory birds delivered through IPaC fall into the following distinct categories of concern:

1. "BCC Rangewide" birds are [Birds of Conservation Concern](#) (BCC) that are of concern throughout their range anywhere within the USA (including Hawaii, the Pacific Islands, Puerto Rico, and the Virgin Islands);
2. "BCC - BCR" birds are BCCs that are of concern only in particular Bird Conservation Regions (BCRs) in the continental USA; and
3. "Non-BCC - Vulnerable" birds are not BCC species in your project area, but appear on your list either because of the [Eagle Act](#) requirements (for eagles) or (for non-eagles) potential susceptibilities in offshore areas from certain types of development or activities (e.g. offshore energy development or longline fishing).

Although it is important to try to avoid and minimize impacts to all birds, efforts should be made, in particular, to avoid and minimize impacts to the birds on this list, especially eagles and BCC species of rangewide concern. For more information on conservation measures you can implement to help avoid and minimize migratory bird impacts and requirements for eagles, please see the FAQs for these topics.

### Details about birds that are potentially affected by offshore projects

For additional details about the relative occurrence and abundance of both individual bird species and groups of bird species within your project area off the Atlantic Coast, please visit the [Northeast Ocean Data Portal](#). The Portal also offers data and information about other taxa besides birds that may be helpful to you in your project review. Alternately, you may download the bird model results files underlying the portal maps through the [NOAA NCCOS Integrative Statistical Modeling and Predictive Mapping of Marine Bird Distributions and Abundance on the Atlantic Outer Continental Shelf](#) project webpage.

Bird tracking data can also provide additional details about occurrence and habitat use throughout the year, including migration. Models relying on survey data may not include this information. For additional information on marine bird tracking data, see the [Diving Bird Study](#) and the [nanotag studies](#) or contact [Caleb Spiegel](#) or [Pam Loring](#).

### What if I have eagles on my list?

If your project has the potential to disturb or kill eagles, you may need to [obtain a permit](#) to avoid violating the Eagle Act should such impacts occur.

### Proper Interpretation and Use of Your Migratory Bird Report

The migratory bird list generated is not a list of all birds in your project area, only a subset of birds of priority concern. To learn more about how your list is generated, and see options for identifying what other birds may be in your project area, please see the FAQ "What does IPaC use to generate the migratory birds potentially occurring in my specified location". Please be aware this report provides the "probability of presence" of birds within the 10 km grid cell(s) that overlap your project; not your exact project footprint. On the graphs provided, please also look carefully at the survey effort (indicated by the black vertical bar) and for the existence of the "no data" indicator (a red horizontal bar). A high survey effort is the key component. If the survey effort is high, then the probability of presence score can be viewed as more dependable. In contrast, a low survey effort bar or no data bar means a lack of data and, therefore, a lack of certainty about presence of the species. This list is not perfect; it is simply a starting point for identifying what birds of concern have the potential to be in your project area, when they might be there, and if they might be breeding (which means nests might be present). The list helps you know what to look for to confirm presence, and helps guide you in knowing when to implement conservation measures to avoid or minimize potential impacts from your project activities, should presence be confirmed. To learn more about conservation measures, visit the FAQ "Tell me about conservation measures I can implement to avoid or minimize impacts to migratory birds" at the bottom of your migratory bird trust resources page.

## Facilities

### National Wildlife Refuge lands

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS AT THIS LOCATION.

### Fish hatcheries

THERE ARE NO FISH HATCHERIES AT THIS LOCATION.

# Wetlands in the National Wetlands Inventory

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

THERE ARE NO KNOWN WETLANDS AT THIS LOCATION.

## Data limitations

The Service's objective of mapping wetlands and deepwater habitats is to produce reconnaissance level information on the location, type and size of these resources. The maps are prepared from the analysis of *high altitude imagery*. Wetlands are identified based on vegetation, visible hydrology and geography. A margin of error is inherent in the use of imagery; thus, detailed on-the-ground inspection of any particular site may result in revision of the wetland boundaries or classification established through image analysis.

The accuracy of image interpretation depends on the quality of the imagery, the experience of the image analysts, the amount and quality of the collateral data and the amount of ground truth verification work conducted. Metadata should be consulted to determine the date of the source imagery used and any mapping problems.

Wetlands or other mapped features may have changed since the date of the imagery or field work. There may be occasional differences in polygon boundaries or classifications between the information depicted on the map and the actual conditions on site.

## Data exclusions

Certain wetland habitats are excluded from the National mapping program because of the limitations of aerial imagery as the primary data source used to detect wetlands. These habitats include seagrasses or submerged aquatic vegetation that are found in the intertidal and subtidal zones of estuaries and nearshore coastal waters. Some deepwater reef communities (coral or tubercid worm reefs) have also been excluded from the inventory. These habitats, because of their depth, go undetected by aerial imagery.

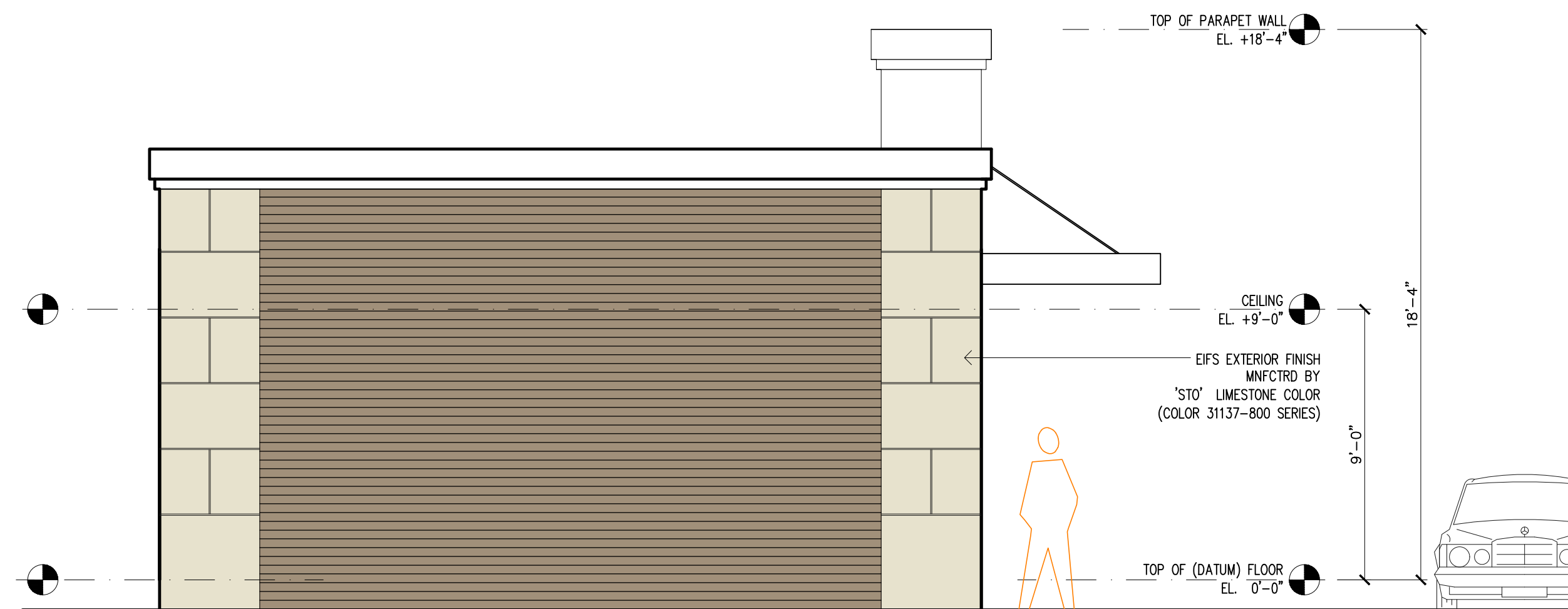
## Data precautions

Federal, state, and local regulatory agencies with jurisdiction over wetlands may define and describe wetlands in a different manner than that used in this inventory. There is no attempt, in either the design or products of this inventory, to define the limits of proprietary jurisdiction of any Federal, state, or local government or to establish the geographical scope of the regulatory programs of government agencies. Persons intending to engage in activities involving modifications within or adjacent to wetland areas should seek the advice of appropriate federal, state, or local agencies concerning specified agency regulatory programs and proprietary jurisdictions that may affect such activities.



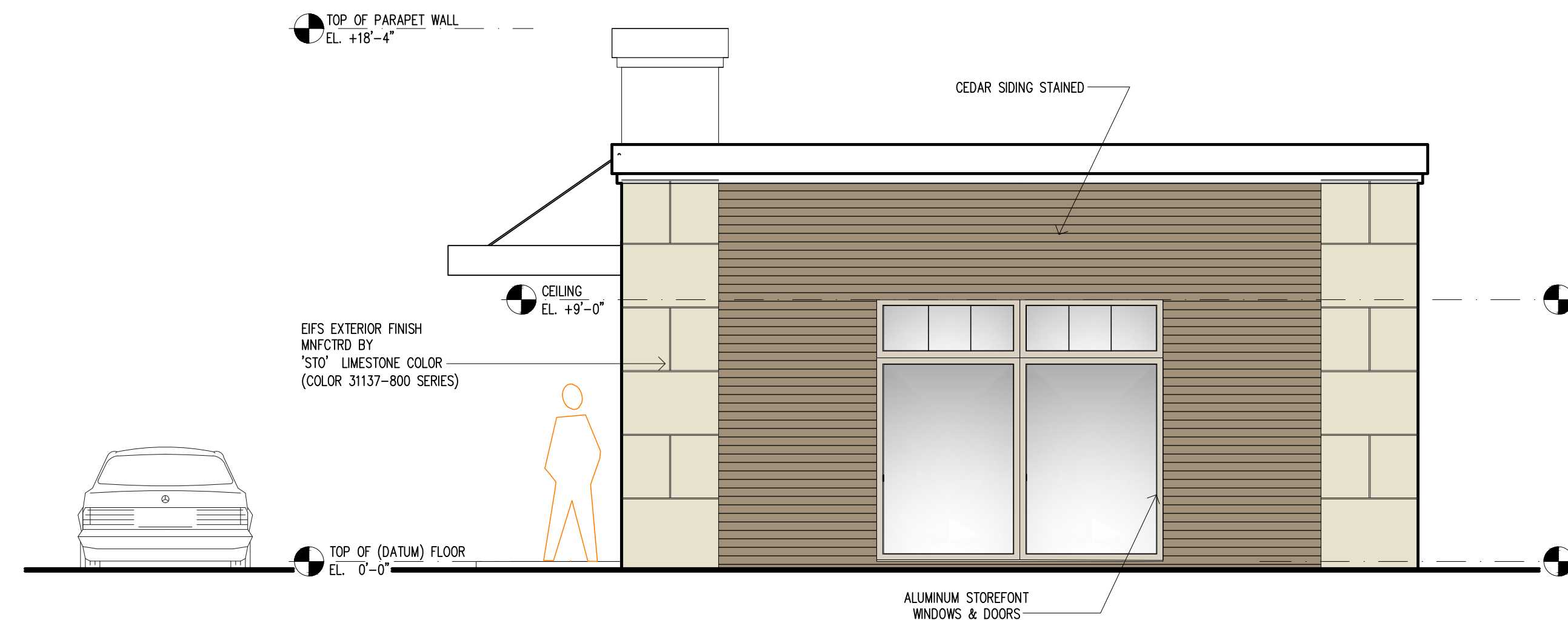
PROPOSED EAST (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"



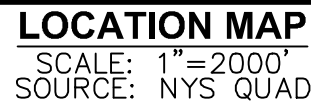
PROPOSED SOUTH (LEFT SIDE) ELEVATION

SCALE: 1/4" = 1'-0"

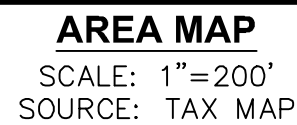


PROPOSED NORTH (RIGHT SIDE) ELEVATION

SCALE: 1/4" = 1'-0"



**MARCH 12, 2020**  
**LAST REVISED: MAY 14, 2020**



<p><b>DEVELOPER / APPLICANT:</b></p> <p>GAS LAND PETROLEUM, INC. 785 BROADWAY KINGSTON, NY 12401</p>	<p><b><u>TAX MAP INFORMATION:</u></b></p> <p>VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK TAX PARCEL #: 135601-6158-14-498418-0000</p>
<p><b><u>SITE CIVIL ENGINEER:</u></b></p> <p>CHAZEN ENGINEERING &amp; LAND SURVEYING CO., P.C. 21 FOX STREET, POUGHKEEPSIE, NY 12601 PHONE: (845) 454-3980</p>	<p><b><u>AREA:</u></b></p> <p>AREA = 0.46 ACRES</p>
	<p><b><u>ZONING DISTRICT:</u></b></p> <p>"CMU" COMMERCIAL MIXED USE</p>

**DUTCHESS COUNTY DEPARTMENT OF  
ENVIRONMENTAL HEALTH APPROVAL**

**PLANNING BOARD APPROVAL  
VILLAGE OF WAPPINGERS FALLS, NEW YORK**

PLANNING BOARD, VILLAGE OF WAPPINGERS FALLS

PLAN OF \_\_\_\_\_ AT  
APPROVED AT THE PLANNING BOARD MEETING

HELD ON \_\_\_\_\_ SIGNED BY \_\_\_\_\_  
CONDITIONS:

FOR SHEETS G001 AND C550

ISSUED FOR CONCEPT REVIEW - NOT FOR CONSTRUCTION



Drawing Name: Z:\projects\82000-82099\82010.00 Gas Land Holdings Village of Wappingers Falls US Route 9\DWG\00\_G001\_82010-00\_TITLE.dwg  
Xref's Attached: XTB\_24X36\_82010-00  
Date Printed: May 13, 2020, 11:10am

CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE, CO., D.P.C.



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☒ Hudson Valley Office:  
21 Fox Street  
Poughkeepsie, New York 12601  
Phone: (845) 454-3980

☐ North Country Office:  
20 Elm Street (Suite 110)  
Glens Falls, New York 12801  
Phone: (518) 812-0513

☐ Capital District Office:  
547 River Street  
Troy, New York 12180  
Phone: (518) 273-0055

☐ Westchester NY Office:  
1 North Broadway, Suite  
White Plains, New York 1  
Phone: (914) 997-8510

☐ Nashville Tennessee Office:  
2416 21st Ave S. (Suite 103)  
Nashville, Tennessee 37212  
Phone: (615) 380-1359

☐ Chattanooga Tennessee Office:  
1426 Williams Street (Suite 12)  
Chattanooga, Tennessee 37408  
Phone: (423) 241-6575

1		
rev.	date	description

THIS SHEET ADDED.

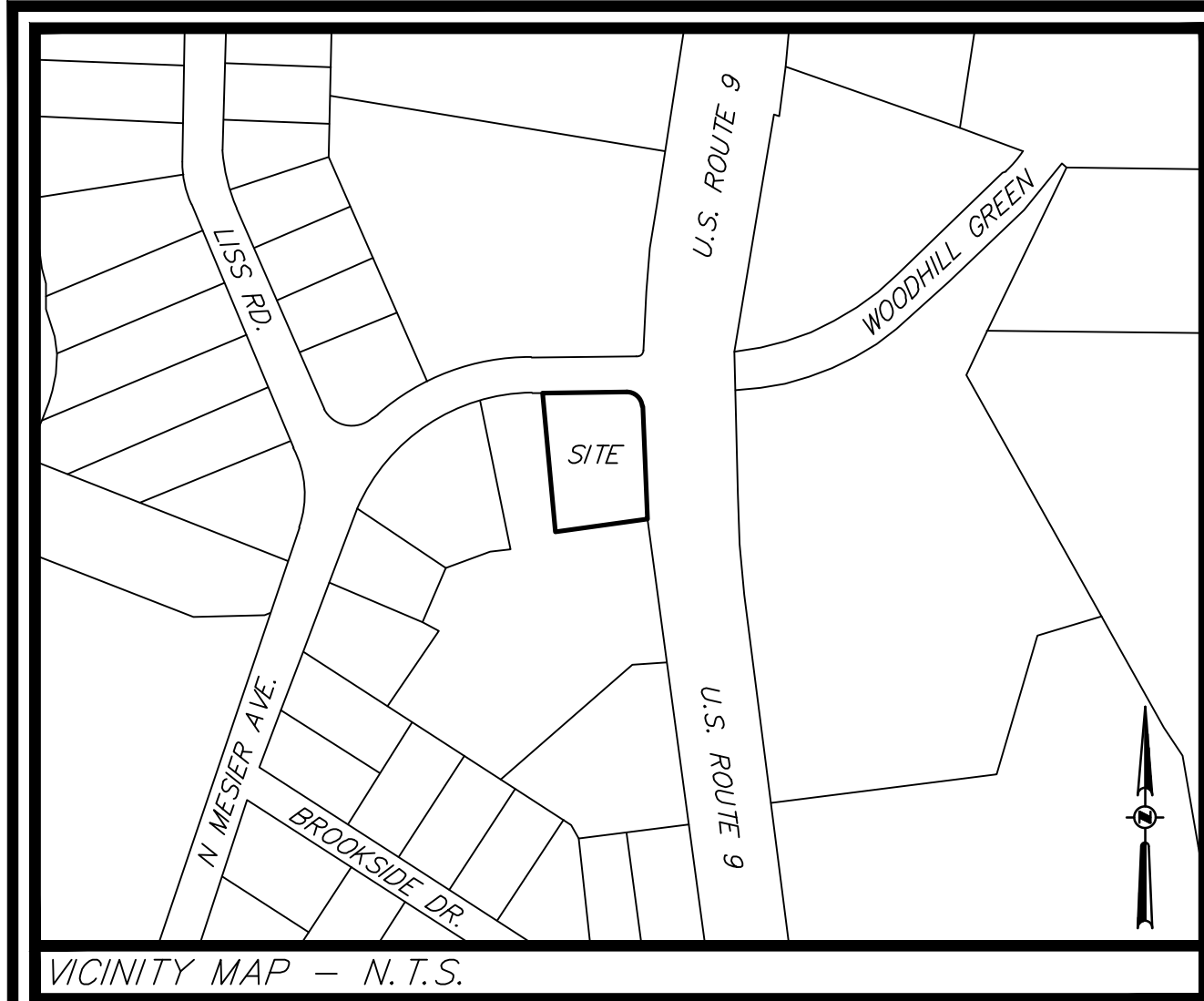
1663 ROUTE 9 - GAS LAND - MESIER MOBIL

# TITLE SHEET

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed SPL	checked CPL
date 5/12/20	scale NTS
project no. 82010.00	
sheet no.	

**G001**



- LEGEND:**
- PROPERTY LINE NO PHYSICAL BOUNDS
  - ADJACENT PROPERTY LINE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING SPOT GRADE
  - EXISTING BUILDING
  - EXISTING CURB/GUTTER
  - EXISTING GRAVEL DRIVEWAY
  - EXISTING GUIDERAIL
  - EXISTING FENCE
  - EXISTING OVERHEAD WIRES
  - EXISTING UNDERGROUND SEWER LINE
  - EXISTING GAS LINE
  - EXISTING SIGN
  - EXISTING SIGN
  - EXISTING BOLLARD
  - EXISTING POST
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE
  - EXISTING SPIKE SET
  - EXISTING BENCHMARK
  - EXISTING CLEANOUT
  - EXISTING CATCH BASIN
  - EXISTING GUY WIRE
  - EXISTING UTILITY POLE W/ LIGHT
  - EXISTING LIGHT POLE
  - EXISTING TRAFFIC SIGNAL CONTROL BOX
  - EXISTING TRAFFIC SIGNAL POLE
  - EXISTING TELEPHONE MANHOLE
  - EXISTING UNKNOWN MANHOLE
  - EXISTING MONITORING WELL
  - EXISTING VENT
  - EXISTING FINISHED FLOOR ELEVATION
  - EXISTING RIM ELEVATION
  - EXISTING IRON PIPE FOUND
  - EXISTING IRON ROD FOUND
  - EXISTING MAGNETIC NAIL FOUND

#### NOTES:

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LOCATION OF EXISTING PROPERTY MARKERS NOT SHOWN OR CERTIFIED BY THIS SURVEY.

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BUILDING SHOWN HEREON SERVED BY UNDERGROUND UTILITIES.

SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.

TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM A FIELD SURVEY COMPLETED FEBRUARY 17, 2020 BY CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE CO., D.P.C. DATUM NAVD-88, 1 FOOT CONTOUR INTERVAL.

THE CONTRACTOR SHALL COMPLY WITH NEW YORK STATE INDUSTRIAL CODE RULE 753 - 48 HOURS PRIOR TO DIGGING CALL DISASSEMBLY NEW YORK 1-800-962-7962 TO HAVE PUBLIC UTILITY LOCATIONS PAINTED.

#### FILED MAP REFERENCE:

SUBJECT PARCEL SHOWN HERE ON IS LOT NO 3 ON A CERTAIN MAP ENTITLED "SUBDIVISION FOR CRIMSWAL REALTY COMPANY" AND FILED IN THE DUTCHESS COUNTY CLERK'S OFFICE ON JUNE 16, 1994 AS FILED MAP NO. 9903.

#### DEED REFERENCE:

CRIMSWAL REALTY CO. LLC TO GAS LAND HOLDINGS CORP. DATED JUNE 3, 2015 AND RECORDED IN THE DUTCHESS COUNTY CLERK'S OFFICE ON JUNE 5, 2015 IN DEED DOCUMENT 02-2015-3284.

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I HEREBY CERTIFY THAT THIS SURVEY MAP IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON FEBRUARY 17, 2020 THAT THIS SURVEY MAP WAS MADE BY ME OR UNDER MY DIRECTION, AND CONFORMS WITH THE MINIMUM STANDARD OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

Curve Table			
Curve #	Radius	Length	CHORD
C1	20.00'	31.86'	544'49'31"E 28.60'
C2	262.94'	9.27'	N88°31'20"E 9.27'

#### TAX PARCEL DESIGNATION:

TOWN OF WAPPINGER, DUTCHESS COUNTY, NEW YORK  
6158-14-498418

#### FLOOD ZONE NOTE:

THE PROPERTY IS SHOWN TO LIE WITHIN "OTHER AREAS ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR THE VILLAGE OF WAPPINGERS FALLS (COMMUNITY NUMBER 360223). DUTCHESS COUNTY, NEW YORK, MAP NUMBER 36027C0456E, HAVING AN EFFECTIVE DATE OF MAY 2, 2012

#### CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE, CO., D.P.C.

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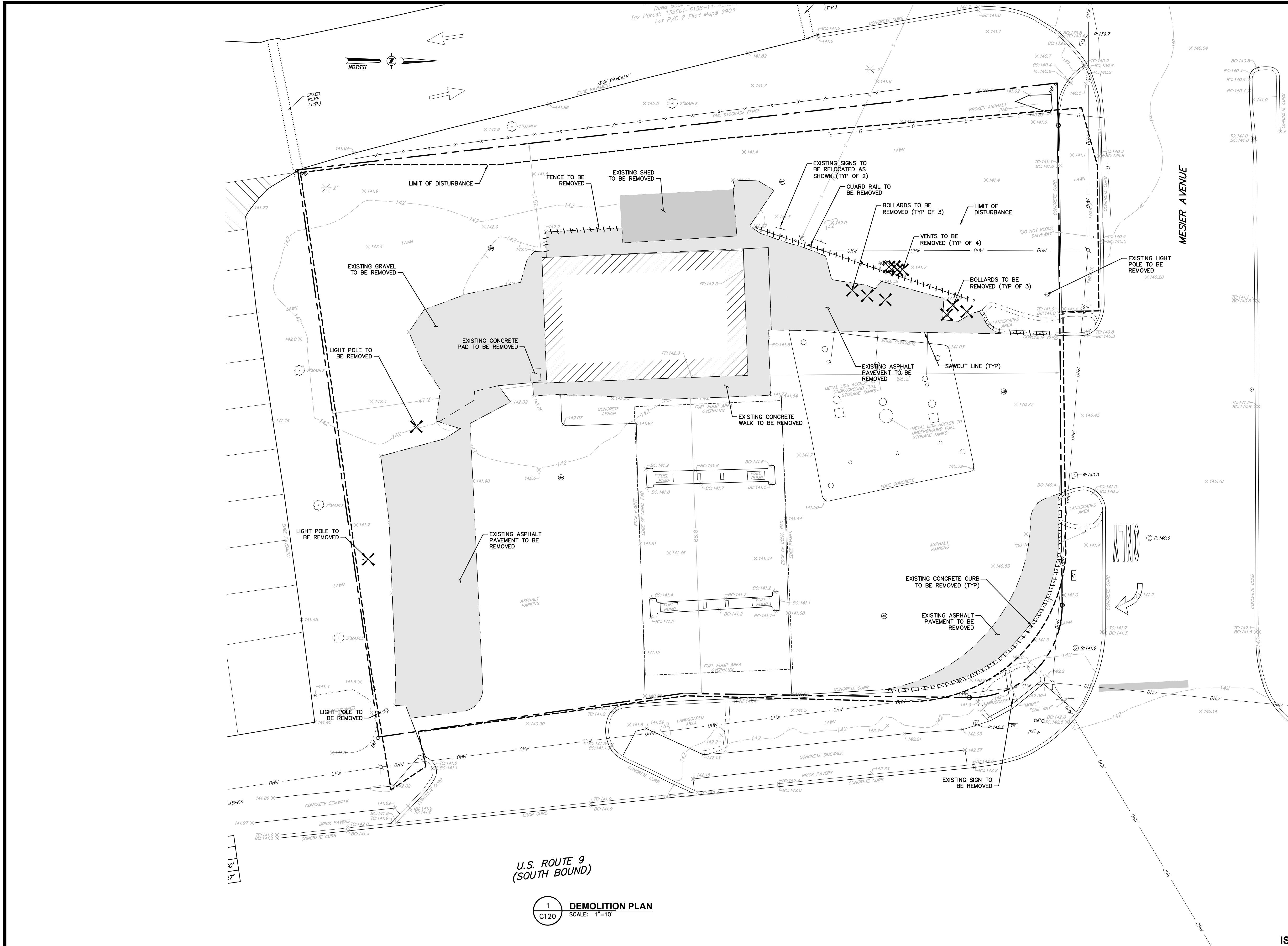
rev.	date	description
1	4/24/20	REVISED SANITARY SEWER INFORMATION

#### MAP OF EXISTING CONDITIONS PREPARED FOR GAS LAND HOLDINGS

WAPPINGER FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
EAL	JMT
date	scale
3/11/20	1"=10'
project no.	
82010.00	
sheet no.	

SV1



LEGEND:

- LOT LINE
- EXISTING FEATURE TO BE REMOVED
- WORKLIMITS
- PAVEMENT SAWCUT LINE
- ⊗ EXISTING TREE TO BE REMOVED
- ⊗ EXISTING SITE FEATURE TO BE REMOVED
- EXISTING PAVEMENT & SIDEWALK TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED
- TREE PROTECTION FENCING
- N.I.C. NOT IN CONTRACT
- ⊗ EXISTING STRUCTURE TO BE REMOVED, N.I.C.

DEMOLITION NOTES:

1. REFER TO REQUIREMENTS OUTLINED IN THE EROSION & SEDIMENTS CONTROL PLANS & NOTES PRIOR TO COMMENCEMENT OF WORK.
2. BUILDING/STRUCTURE TO BE DEMOLISHED ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE NOT TO BE DEMOLISHED AS PART OF THIS WORK. PRIOR TO DEMOLISHING ANY BUILDINGS/STRUCTURES, THE CONTRACTOR SHALL PERFORM A PRE-DEMOLITION SURVEY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS GOVERNING THE DISPOSAL OF SOLID WASTE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE AUTHORITY HAVING JURISDICTION.
3. CONFORM TO APPLICABLE CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL, AND HAULING, DISPOSAL AND STORAGE OF DEBRIS.
4. PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
5. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY OWNER AND AUTHORITIES HAVING JURISDICTION.
6. NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGE, OR DISRUPTION. COORDINATE WITH OWNER.
7. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
8. LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA.
9. DISCONNECT AND SEAL OR CAP OFF UTILITY SERVICES THAT WILL BE AFFECTED BY THIS PROJECT. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
10. DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
11. PROTECT EXISTING FEATURES THAT ARE NOT TO BE DEMOLISHED.
12. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS.
13. MAINTAIN EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS, OR SIDEWALKS WITHOUT PERMITS. COORDINATE W/ AUTHORITY HAVING JURISDICTION.
14. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION.
15. FIELD VERIFY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED ON DEMOLITION PLAN TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.
16. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH SELECTIVE DEMOLITION OPERATIONS.
17. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA.
18. USE WATER MIST, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION, SUCH AS CAUSING ICING, FLOODING, AND TRANSPORTING POLLUTANTS.
19. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
20. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF SELECTIVE DEMOLITION.
21. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. ALL DEBRIS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT A FACILITY APPROVED TO RECEIVE THE DEBRIS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. DO NOT BURN DEMOLISHED MATERIALS ON-SITE.

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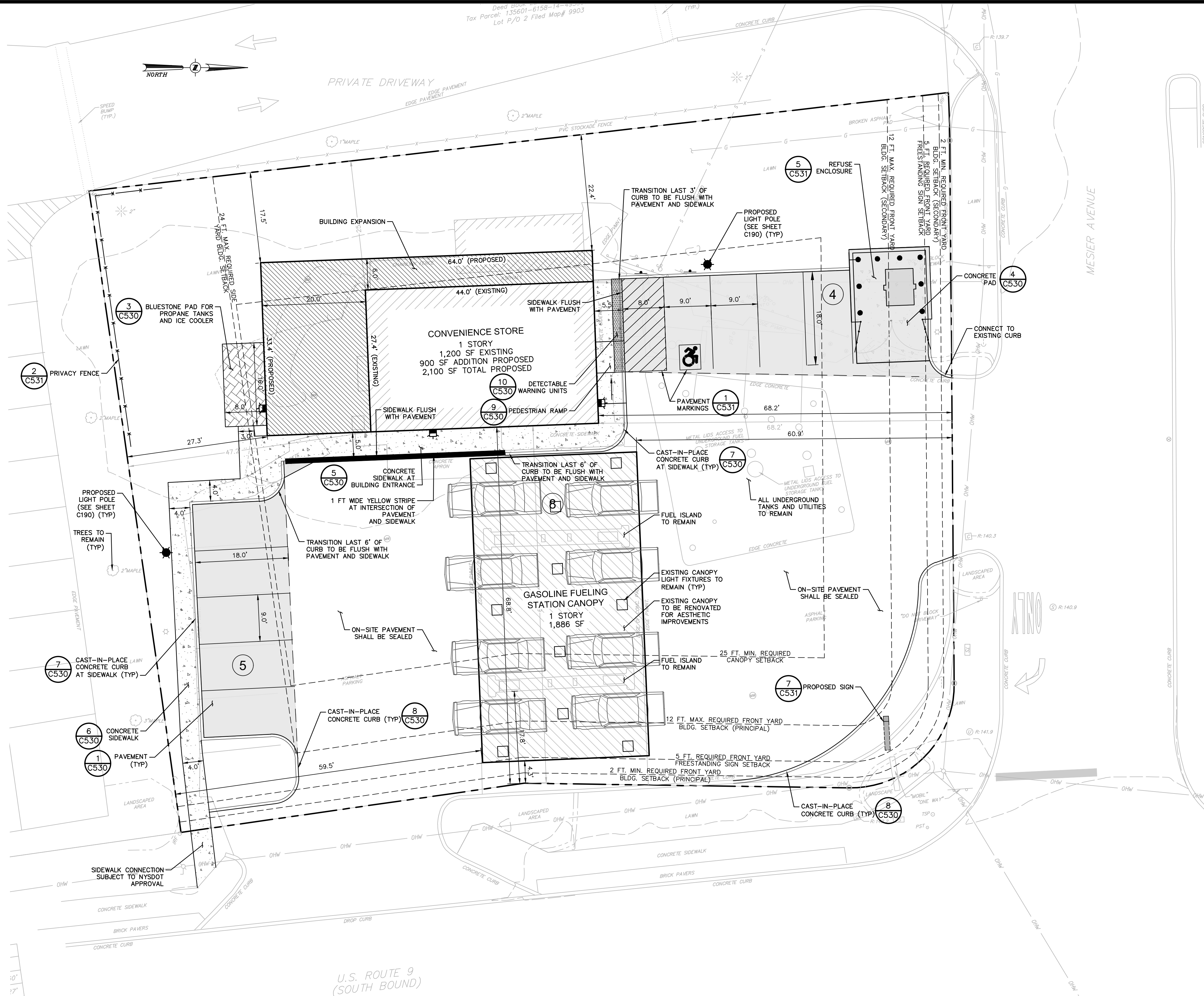
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1663 ROUTE 9 - GAS LAND - MESIER MOBIL

DEMOLITION PLAN

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed SPL  
checked CPL  
date 03/12/20  
scale 1"=10'  
project no. 82010.00  
sheet no. C120



**LEGEND:**

- LOT LINE
- SETBACK LINE
- BUILDING
- PAVED ROAD / DRIVEWAY / PARKING AREA
- ROAD CENTER LINE
- SIDEWALK
- WORKLIMITS
- GUIDERAIL
- CHAIN LINK FENCE
- STOCKADE FENCE
- CONCRETE
- ROAD LINING & STRIPING

- GENERAL CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
  - ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
  - ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY.
  - ALL ARCHITECTURE IS SUBJECT TO PLANNING BOARD REVIEW.
  - NOTIFY ENGINEER 48 HOURS PRIOR TO INITIALIZATION OF ANY WORK ON SITE.
  - THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
  - CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR PROPERLY & SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
  - NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
  - ALL EXISTING LAWN AREA, CURBING, PAVING, SIDEWALKS, CULVERTS OR OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, SIGN POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE. SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION.

- LAYOUT NOTES:**
- BUILDING DIMENSIONS TO BE TAKEN FROM ARCHITECTURAL BUILDING PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADDITIONS TO THE SATISFACTION OF THE OWNER AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.

- PAVING NOTES:**
- NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINE GRADED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN THREE DAYS OF PREPARATION.
  - SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITIONS". CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
  - PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STRIKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SCREED. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
  - PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAYS' WORK.
  - TACK COAT WHEN SPECIFIED OR CALLED OUT ON THE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATION SHALL CONFORM WITH THE FOLLOWING:
    - A. TACK COAT SHALL MEET THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED "LATEST EDITION", SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 - TACK COAT SHALL BE IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
    - B. REMOVE LOOSE AND FOREIGN MATERIAL FROM ASPHALT SURFACE BEFORE PAVING NEXT COURSE. USE POWER BROOMS, BLOWERS OR HAND BROOM.
    - C. APPLY TACK COAT TO ASPHALT PAVEMENT SURFACES & AND SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTING INTO OR ABUTTING PAVEMENT. DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
    - D. TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
  - AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

**1 SITE PLAN**  
C130 SCALE: 1"=10'

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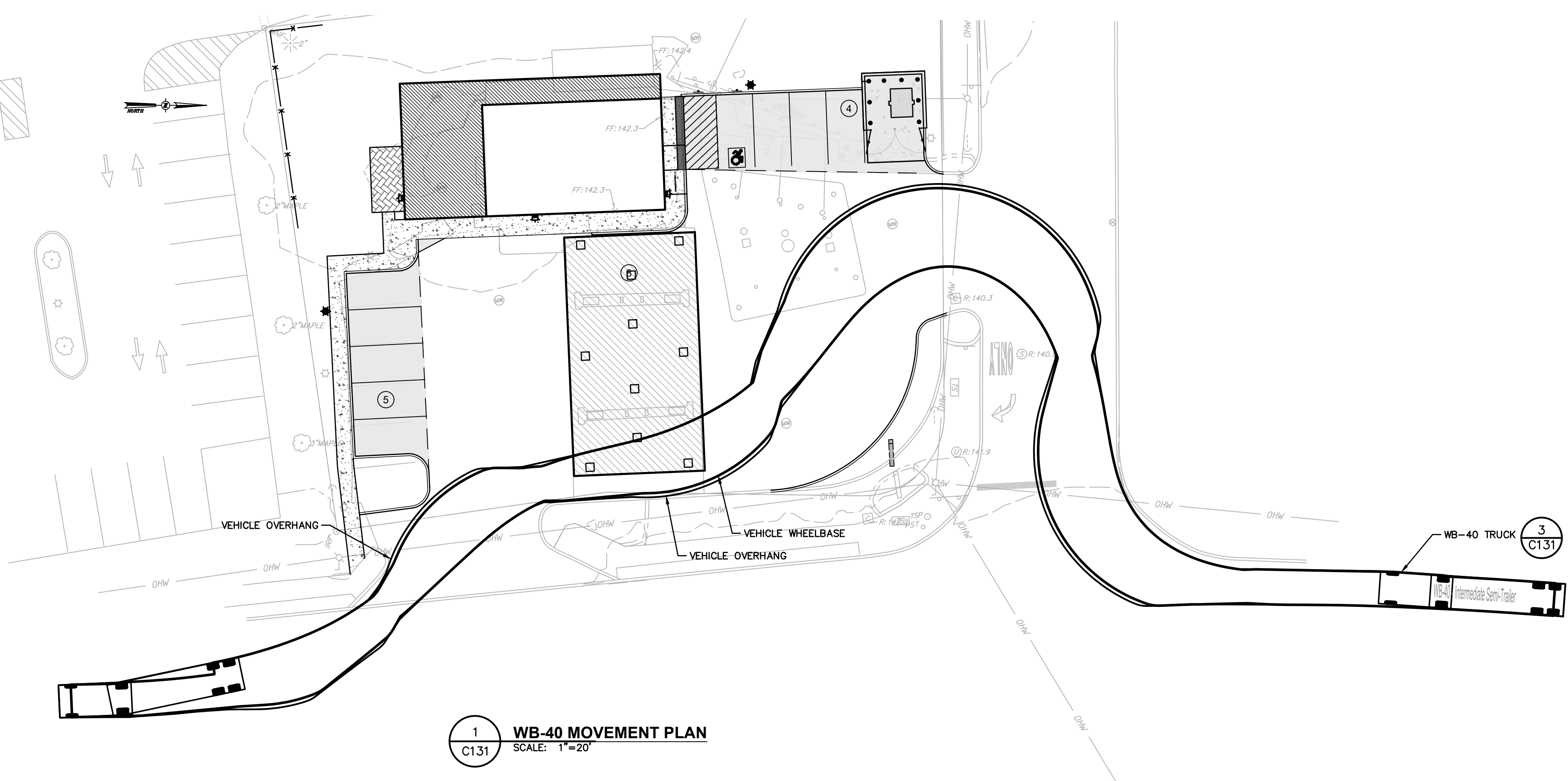
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1	05/14/20	REVISED PER VILLAGE COMMENTS.

**1663 ROUTE 9 - GAS LAND - MESIER MOBIL**

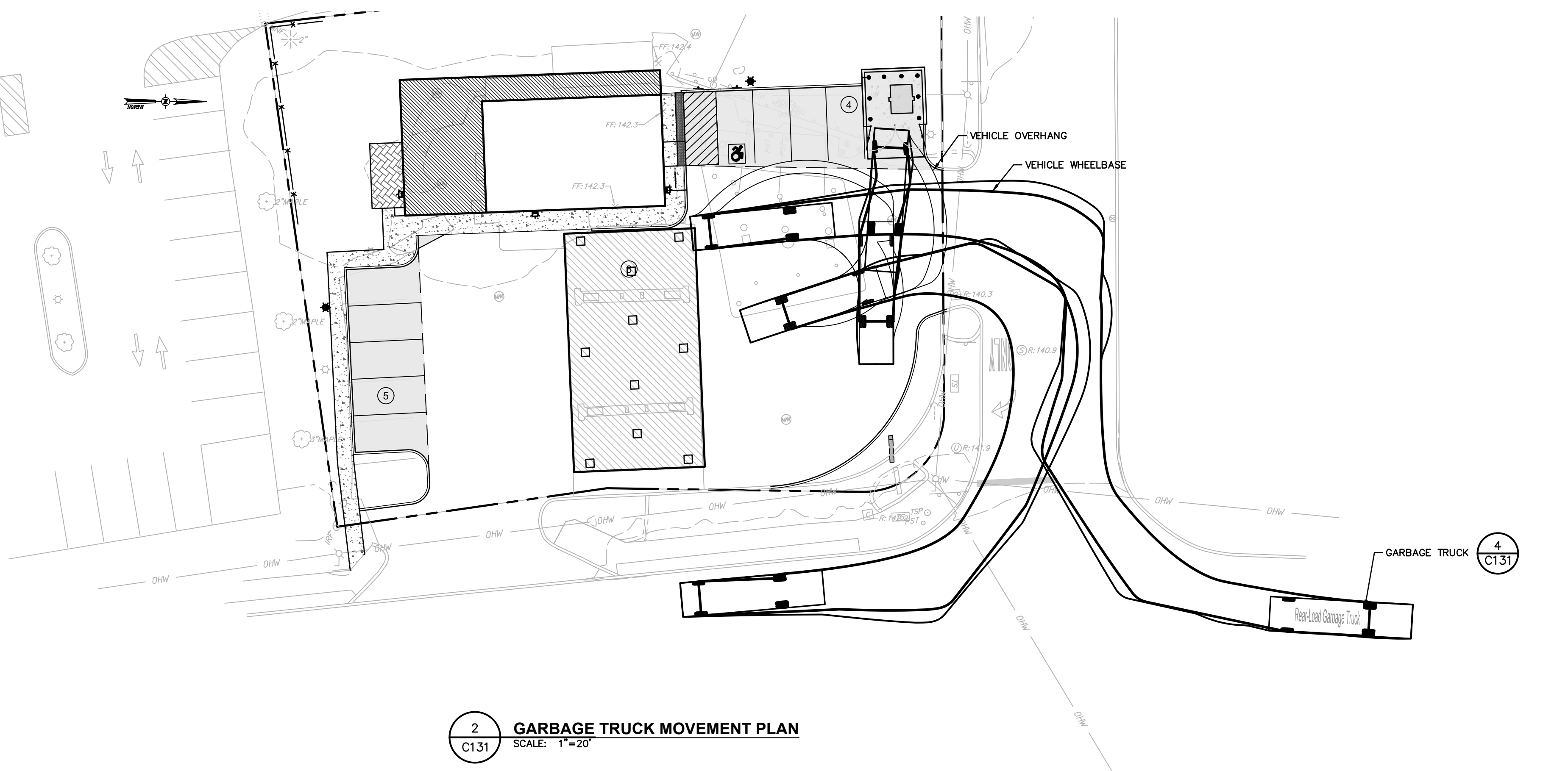
**SITE PLAN**

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
SPL	CPL
date	scale
03/12/20	1"=10'
project no.	
82010.00	
sheet no.	
<b>C130</b>	

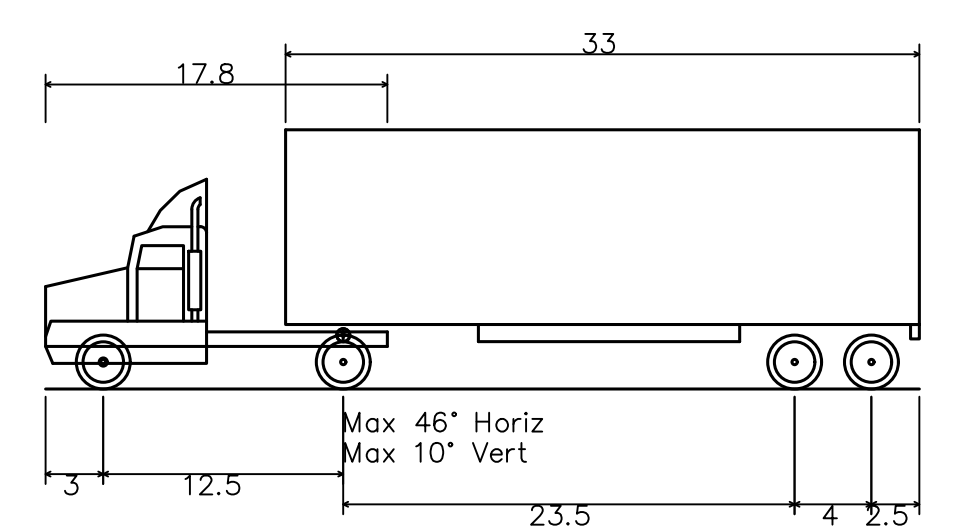


1 WB-40 MOVEMENT PLAN  
SCALE: 1"=20'



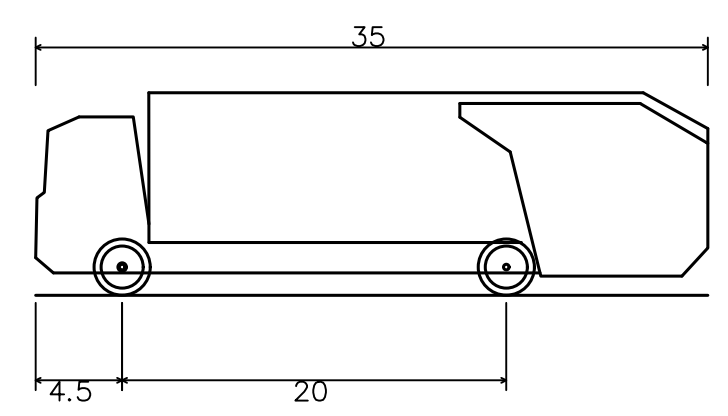
2 GARBAGE TRUCK MOVEMENT PLAN  
SCALE: 1"=20'

- LEGEND:**
- LOT LINE
  - SETBACK LINE
  - BUILDING
  - PAVED ROAD / DRIVEWAY / PARKING AREA
  - ROAD CENTER LINE
  - SIDEWALK
  - WORKLIMITS
  - GUIDERAIL
  - CHAIN LINK FENCE
  - STOCKADE FENCE
  - CONCRETE
  - ROAD LINING & STRIPING



WB-40 – Intermediate Semi-Trailer  
Overall Length 45.499ft  
Overall Width 8.000ft  
Overall Body Height 13.500ft  
Min Body Ground Clearance 1.334ft  
Track Width 8.000ft  
Lock-to-lock time 4.00s  
Max Steering Angle (Virtual) 20.30°

3 WB-40 MOVEMENT PLAN  
SCALE: 1"=10'



Garbage Truck  
Overall Length 35.000ft  
Overall Width 8.375ft  
Overall Body Height 10.546ft  
Min Body Ground Clearance 1.000ft  
Track Width 8.375ft  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 29.300ft

4 GARBAGE TRUCK  
SCALE: 1"=10'

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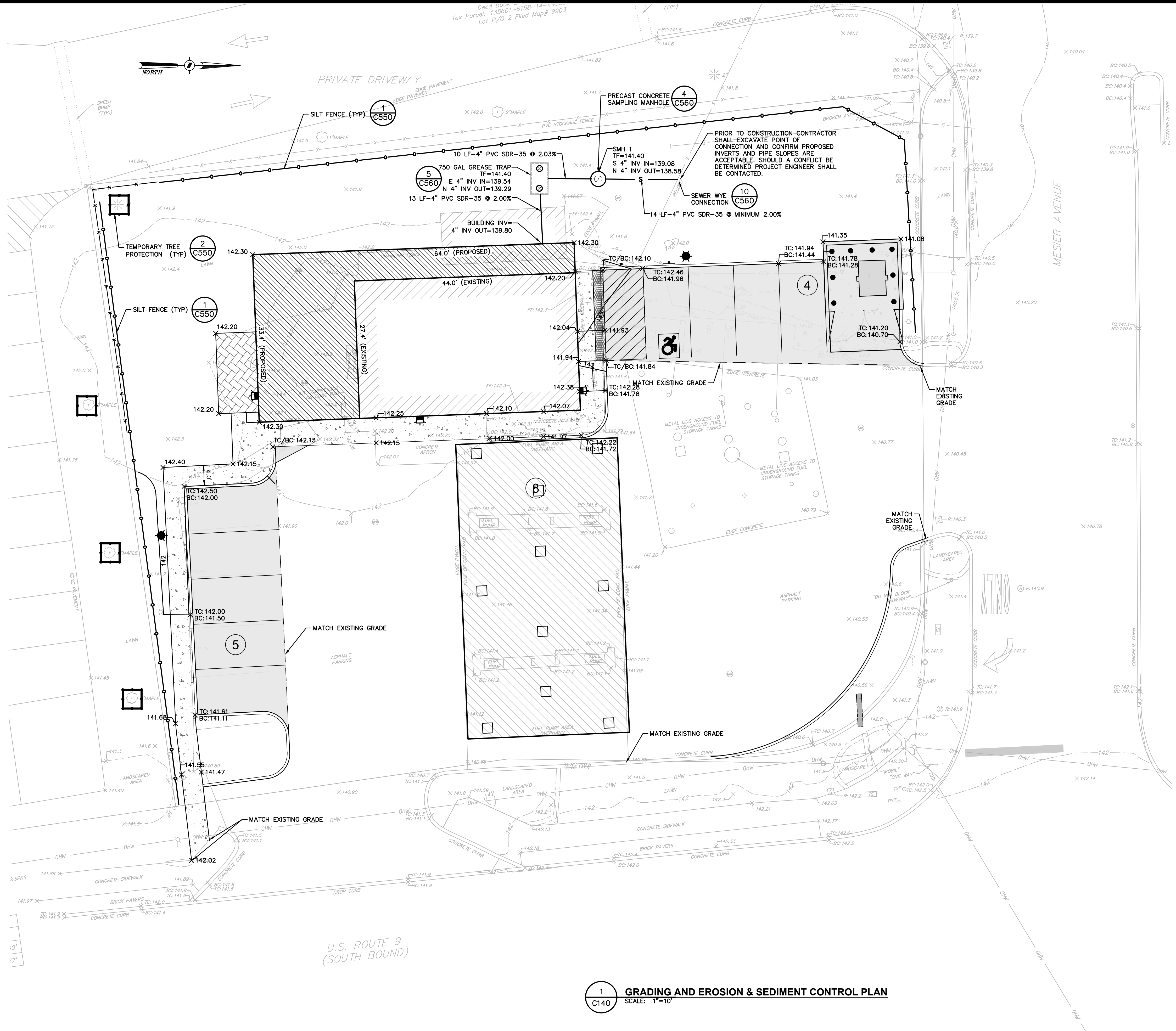
rev.	date	description
1	05/14/20	THIS SHEET ADDED.

**1663 ROUTE 9 - GAS LAND - MESIER MOBIL**

**VEHICLE MOVEMENT PLAN**

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
SPL	CPL
date	scale
03/12/20	1"=10'
project no.	
82010.00	
sheet no.	
<b>C131</b>	



**LEGEND:**

- LOT LINE
- 10 FT CONTOUR
- 2 FT CONTOUR
- SPOT ELEVATIONS
- TREE LINE
- SHRUB LINE
- DRAINAGE SWALE
- ORANGE CONSTRUCTION FENCE
- SILT FENCE / FIBER LOG
- CHECK DAM WITH DITCH FLOW DIRECTION
- TEMPORARY DIVERSION SWALE
- STRAW BALE DIKE / FIBER ROLL
- FILTER FABRIC DROP INLET PROTECTION
- STONE & BLOCK DROP INLET PROTECTION
- CATCH BASIN GRATE DROP INLET PROTECTION
- CATCH BASIN SILT SAC DROP INLET PROTECTION
- CONCRETE WASH OUT AREA
- TREE PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE

- GRADING NOTES:**
- PRIOR TO SITE DISTURBANCE, CONTRACTOR TO INSTALL EROSION & SEDIMENT CONTROL MEASURES.
  - IF ROCK IS ENCOUNTERED DURING CONSTRUCTION & REMOVAL BY BLASTING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
  - ALL BLASTING OPERATIONS WILL ADHERE TO NEW YORK STATE AND LOCAL AUTHORITY ORDINANCES GOVERNING THE USE OF EXPLOSIVES. THE STATE REGULATIONS ARE CONTAINED IN 12 NYCRR 39 AND INDUSTRIAL CODE RULE 753.
  - STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LAWN AND PLANTING AREAS ONLY. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION THAT ARE TO REMAIN GREEN.
  - BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS, AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  - ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENT OR PROPERTY LINE.
  - REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.
  - IF PREVIOUSLY UNKNOWN CULTURAL, ARCHEOLOGICAL, OR HISTORIC REMAINS OR ARTIFACTS ARE DISCOVERED IN THE COURSE OF CONSTRUCTION OF THIS PROJECT, THE PROJECT SPONSORS SHALL SUSPEND CONSTRUCTION OPERATIONS IN THE PERTINENT AREA AND SHALL NOTIFY THE PROJECT ENGINEER. CONSTRUCTION IN THAT AREA SHALL RESUME ONLY AFTER COMPLETION OF FEDERAL, TRIBAL, AND STATE COORDINATION TO DETERMINE WHETHER PROTECTION OR RECOVERY OF THE REMAINS IS WARRANTED, OR WHETHER THE SITE IS ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES.

**EROSION & SEDIMENT CONTROL NOTES:**  
1. SEE SHEET C550 FOR EROSION AND SEDIMENT CONTROL NOTES.

**1 GRADING AND EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=10'

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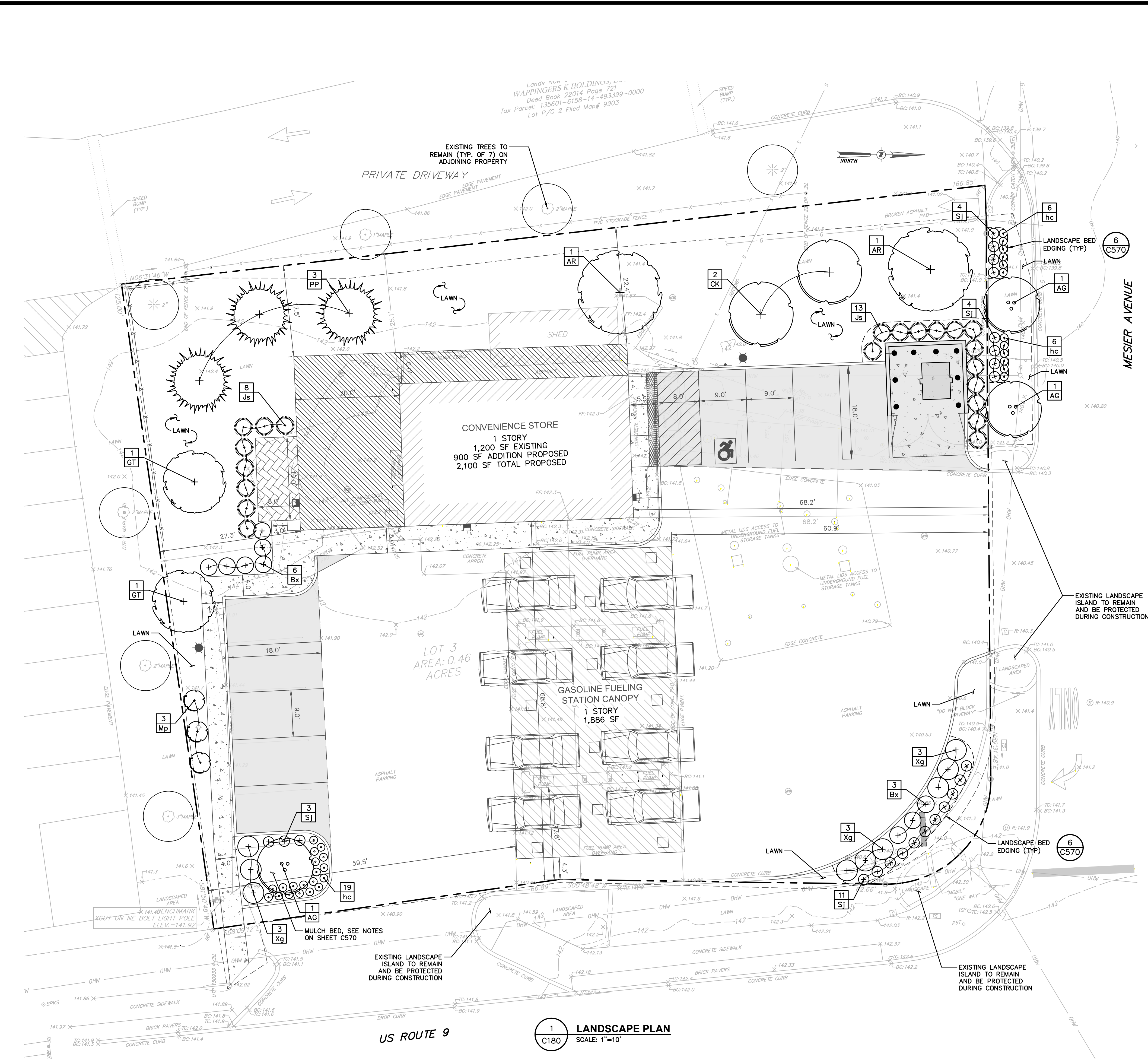
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**1663 ROUTE 9 - GAS LAND - MESIER MOBIL**

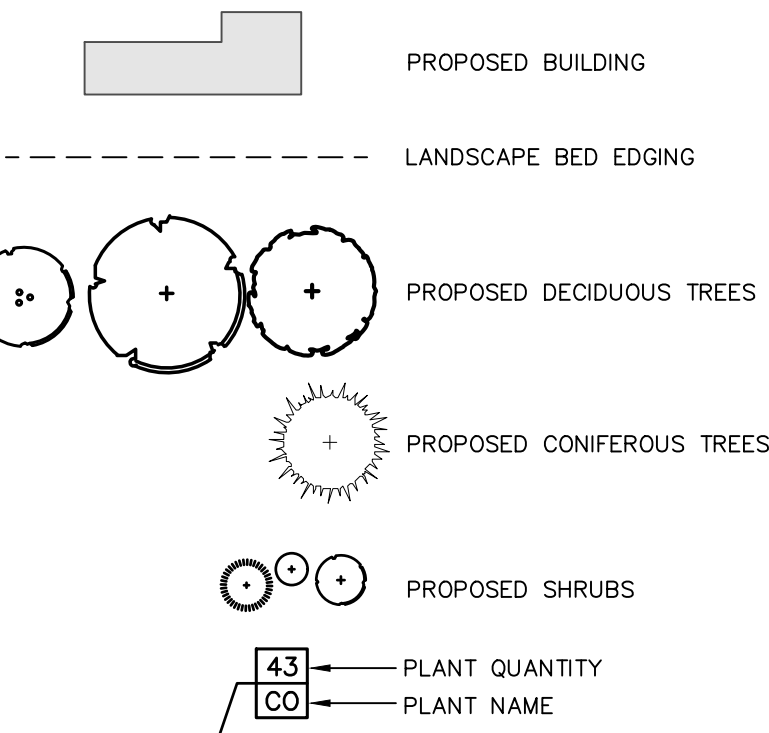
**GRADING, UTILITY, AND EROSION & SEDIMENT CONTROL PLAN**

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
SPL	CPL
date	scale
03/12/20	1"=10'
project no.	
82010.00	
sheet no.	
<b>C140</b>	



LANDSCAPE LEGEND:



PLANT SCHEDULE

QTY	ABRV	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	REMARKS
TREES							
3	AG	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7'-8" Ht.	B&B	As Shown	Single-Stem
2	AR	Acer Rubrum	Red Maple	2.5"-3" Cal.	B&B	As Shown	
2	CK	Cornus kousa	Kousa Dogwood	7'-8" Ht.	B&B	As Shown	
2	GT	Gleditsia triacanthos inermis	Thornless Honeylocust	2.5"-3" Cal.	B&B	As Shown	
3	PP	Picea pungens glauca	Colorado Blue Spruce	7'-8" Ht.	B&B	As Shown	
SHRUBS AND PERENNIALS							
9	Bf	Buxus microphylla sinica 'Franklins Gem'	Boxwood	24"-30" Ht.	CONT.	As Shown	
31	hc	Heerocalis x 'Happy Returns'	Happy Returns Dwarf Daylily	12"-18" Ht.	CONT.	As Shown	
21	Js	Juniperus scopulorum 'Bailigh'	'Sky High' Juniper	5'-6" Ht.	B&B	As Shown	
3	Mp	Myrica pensylvanica	Northern Bayberry	30"-36" Ht.	CONT.	As Shown	
22	Sj	Spiraea japonica 'SMNSJMFR' PP# 26,993	Spiraea Double Play Red	24"-30" Ht.	CONT.	As Shown	
9	Xg	Ilex glabra 'Compacta'	Compact Inkberry	30"-36" Ht.	CONT.	As Shown	

NOTE:  
1. ALL DISTURBED AREAS NOT RECEIVING IMPERVIOUS COVER OR IDENTIFIED WITHIN THE PLANT SCHEDULE TABLE, SHALL BE TOPSOILED, SEEDDED WITH LAWN SEED MIX, & MULCHED (TYP).  
2. SEE SHEET C570 FOR LANDSCAPING DETAILS AND NOTES.

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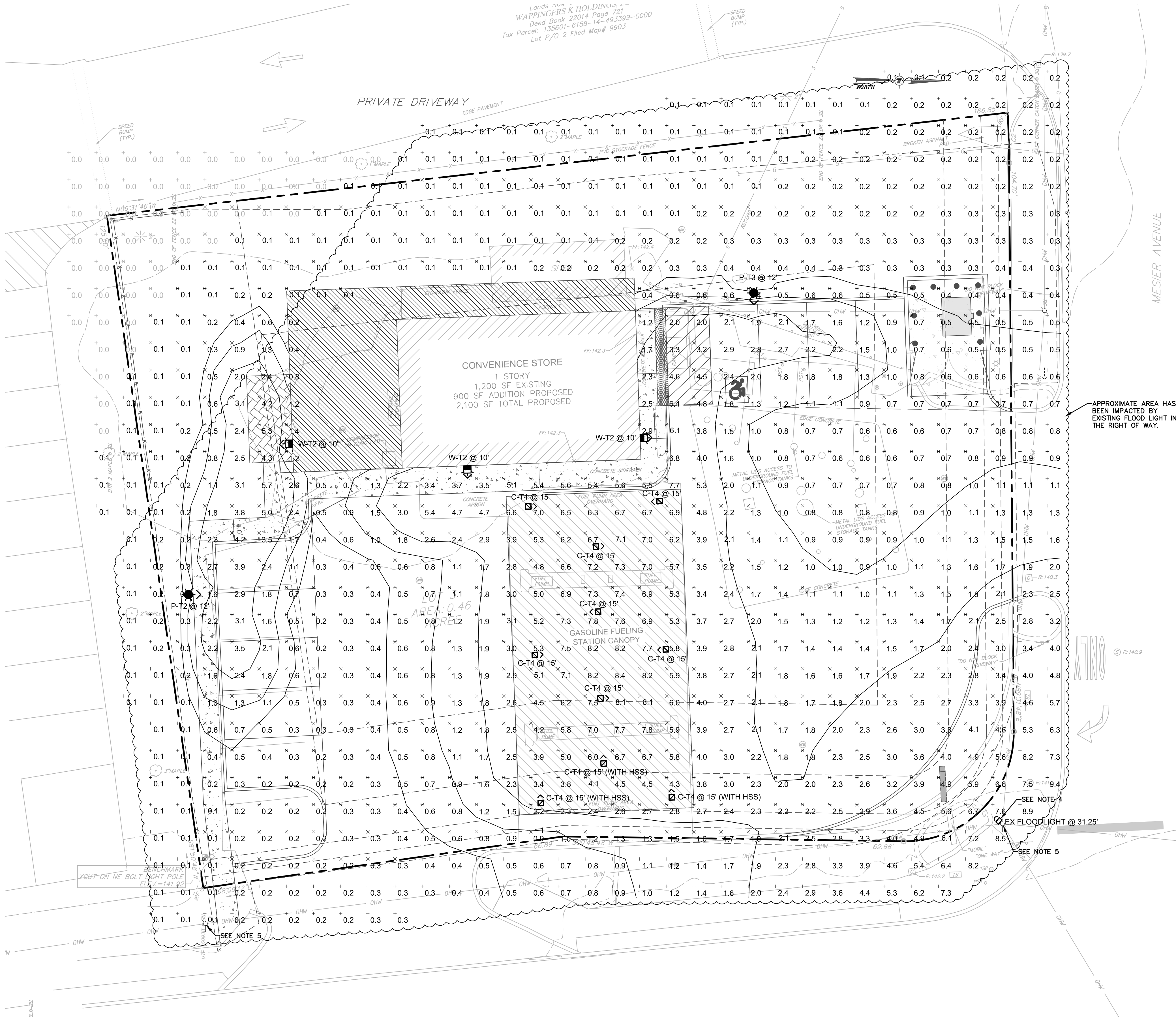
1663 ROUTE 9 - GAS LAND - MESIER MOBIL

LANDSCAPE PLAN

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
TCC	CPL
date	scale
03/12/20	1"=10'
project no.	
82010.00	
sheet no.	
<b>C180</b>	

Lands Now - HOLDINGS, LLC  
WAPPINGERS FALLS HOLDINGS, LLC  
Deed Book 22014 Page 721  
Tax Parcel: 135601-6158-14-483399-0000  
Lot P/O 2 Filed Map# 9903



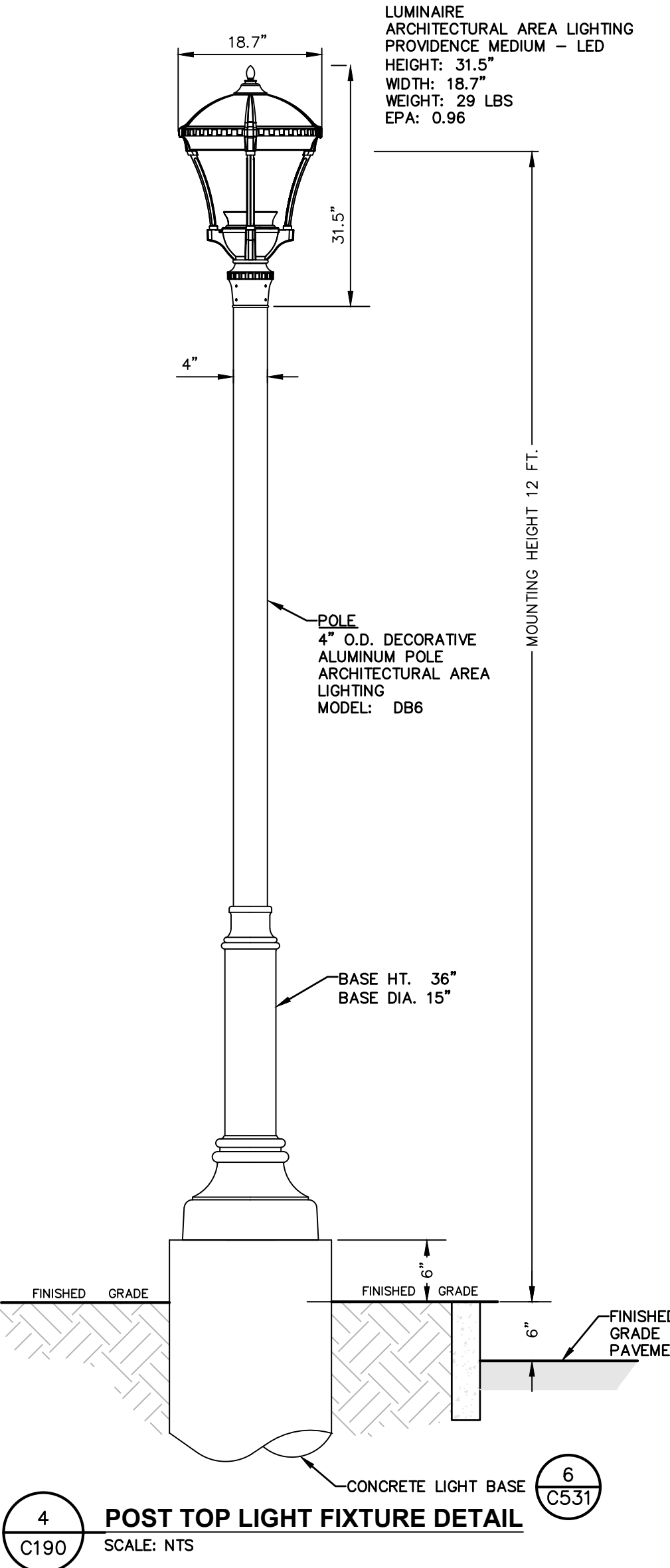
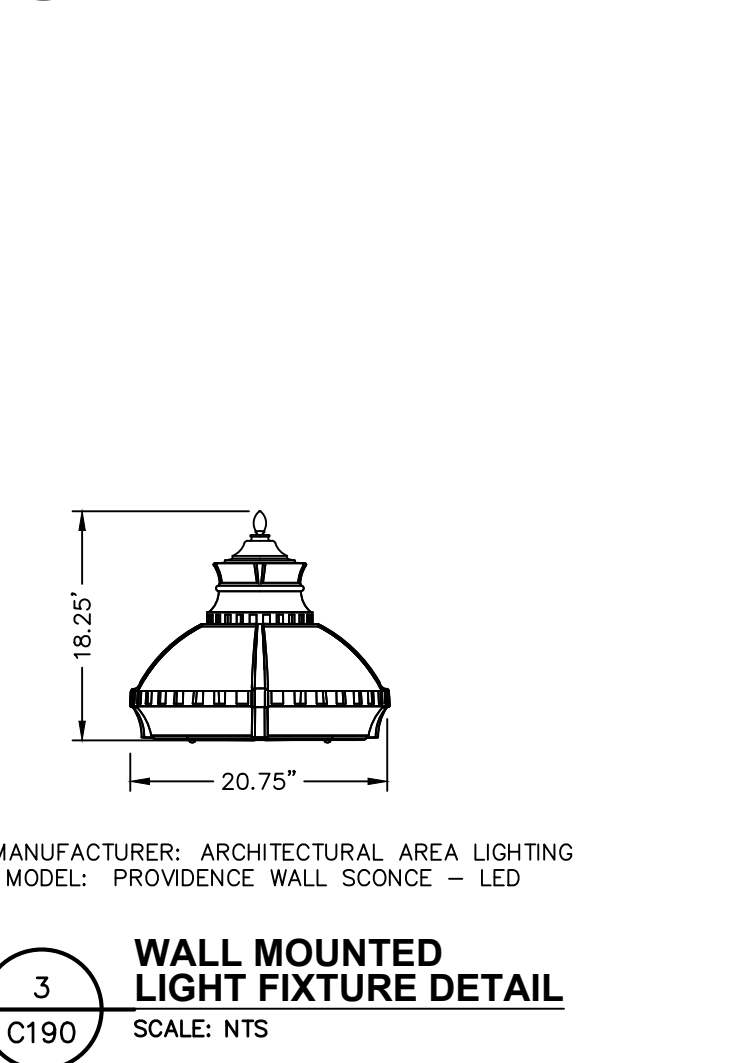
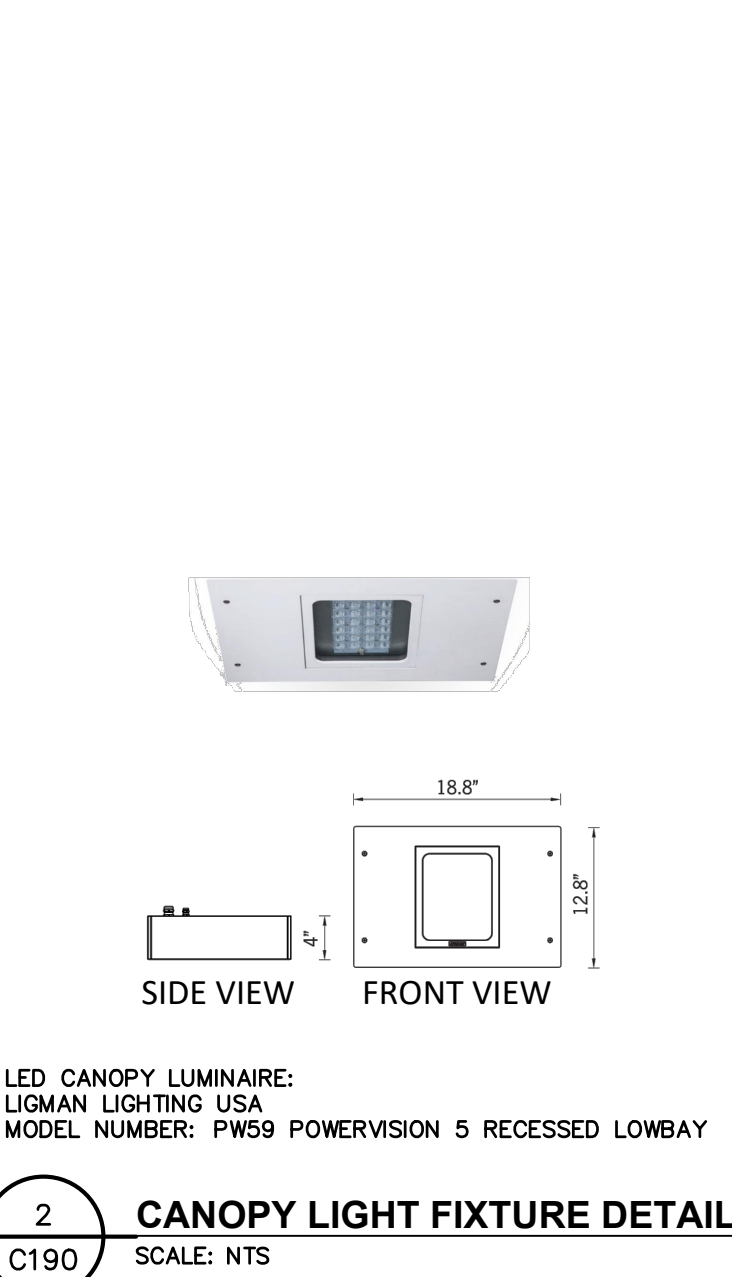
1 PHOTOMETRIC PLAN  
SCALE: 1"=10'

LIGHTING NOTES:

- GRID NUMBERS SHOWN REPRESENT FOOT CANDLE VALUES AT GROUND PLANE.
- THE LIGHTING FIXTURES, SURFACE LOCATIONS AND ASSOCIATED PHOTOMETRIC VALUES ARE IDENTIFIED BY THE CHAZEN COMPANIES. DETAILED DESIGN OF THE LIGHTING SPECIFICATIONS, FOUNDATION DESIGN, LIGHTING CONDUIT, WIRING, AND CONTROL CIRCUITRY SHALL BE BY OTHERS.
- IF DISCREPANCIES EXIST BETWEEN THE LIGHTING SCHEDULE AND LIGHTING PLAN, THE PLAN SHALL DICTATE.
- THE EXISTING FLOODLIGHT FACING PROJECT SITE IS A METAL HALIDE, 1,000W AND 110,000 LUMENS. LEN IS 31'-3" ABOVE GROUND. ASSUMED LIGHT LOSS FACTOR IS 0.7.
- THE EXISTING STREET LIGHT THAT IS FACING ROUTE 9 HAVE NOT BEEN INCLUDED IN THIS PHOTOMETRIC ANALYSIS.

LIGHTING LEGEND:

- PROPOSED BUILDING
- PROPOSED POST TOP LIGHT FIXTURE
- PROPOSED WALL MOUNTED LIGHT FIXTURE
- PROPOSED CANOPY LIGHT FIXTURE
- FOOT CANDLE SPOT VALUES
- PHOTOMETRIC CONTOUR
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE WITH EXISTING LIGHT FIXTURE



LIGHTING STATISTICS

STATISTICAL ZONE	AVERAGE	MAXIMUM	AVE/MAX
ENTIRE SITE TO PL	1.8 fc	8.4 fc	0.2 : 1
UNDER CANOPY PLUS 5 FT (ONLY)	5.1 fc	8.4 fc	0.6 : 1

LIGHTING SCHEDULE

QTY.	DESIGNATION	MANUFACTURER MODEL NUMBER	MOUNT HEIGHT	LIGHTING TYPE	CATALOG NUMBER	WATTS	LUMENS	COLOR TEMPERATURE	LLF
10	C-T4 (CEILING MOUNTED)	LIGMAN LIGHTING USA PW59 POWERVISION 5 RECESSED LOWBAY	15 FT. *	24 LED'S	PW59-GP028-T4-27 **	27	3484	2700K	0.92
3	W-T2 (WALL MOUNTED)	ARCHITECTURAL AREA LIGHTING PROVIDENCE WALL SCONCE - LED	10 FT.	36 LED'S	PROV2-36L-295-27K7-2-CL-HS	34.1	1,683.5	2700K	0.92
2	P-T2 AND P-T3 (POST TOP)	ARCHITECTURAL AREA LIGHTING PROVIDENCE MEDIUM - LED	12 FT.	36 LED'S	PROV2-36L-295-27K7-2-CL-HS PROV2-36L-295-27K7-3-CL-HS	34.1	1,683.5 1,677.1	2700K	0.92

\* MEASURED TO UNDERSIDE OF CANOPY.  
\*\* (3) CEILING MOUNTED FIXTURES THAT ARE CLOSEST TO THE PROPERTY LINE NEED HOUSE SIDE SHIELD.

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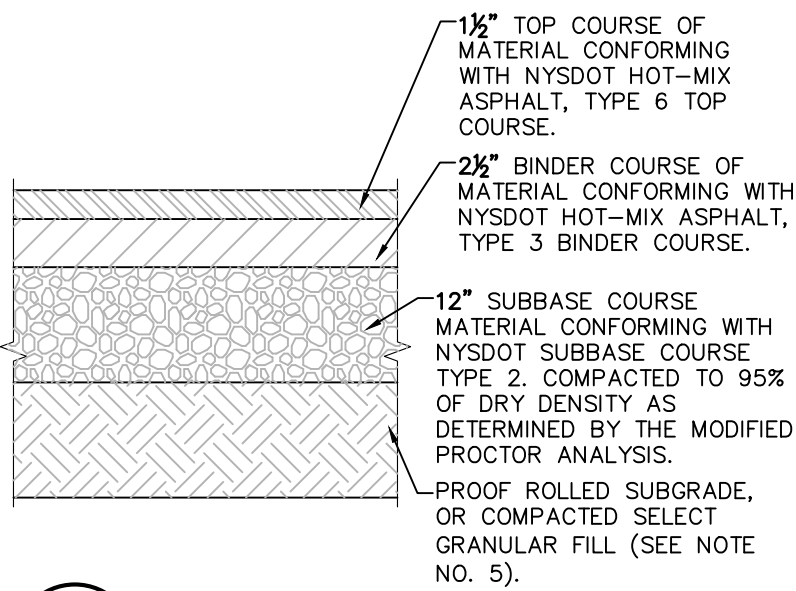
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1663 ROUTE 9 - GAS LAND - MESIER MOBIL

PHOTOMETRIC PLAN

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

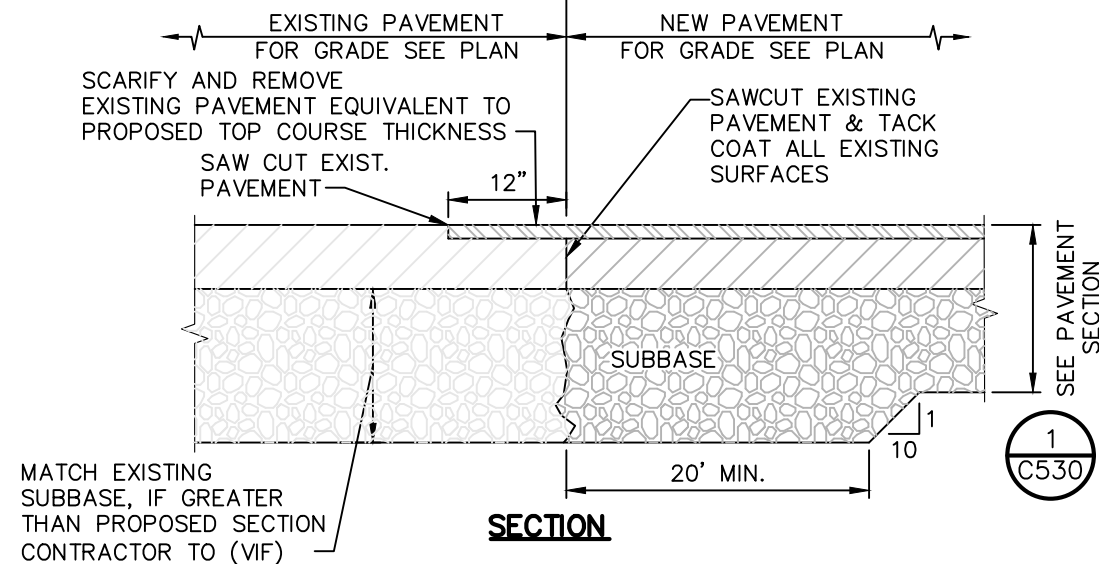
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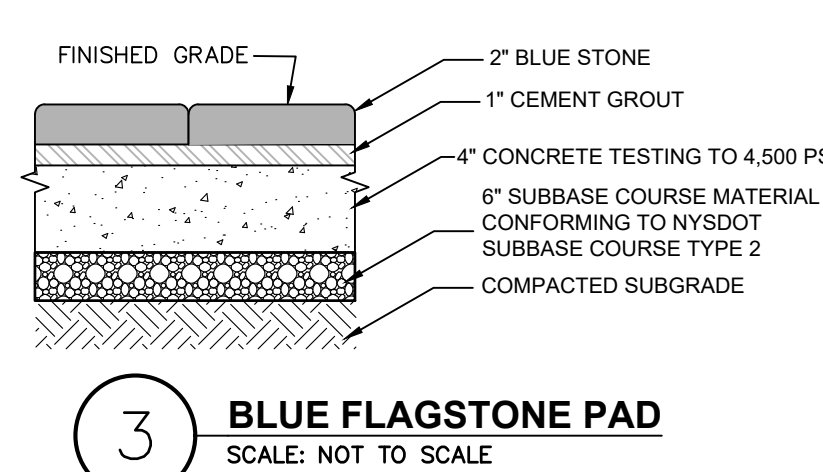
**1 PAVEMENT SECTION DETAIL**  
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**NOTES:**

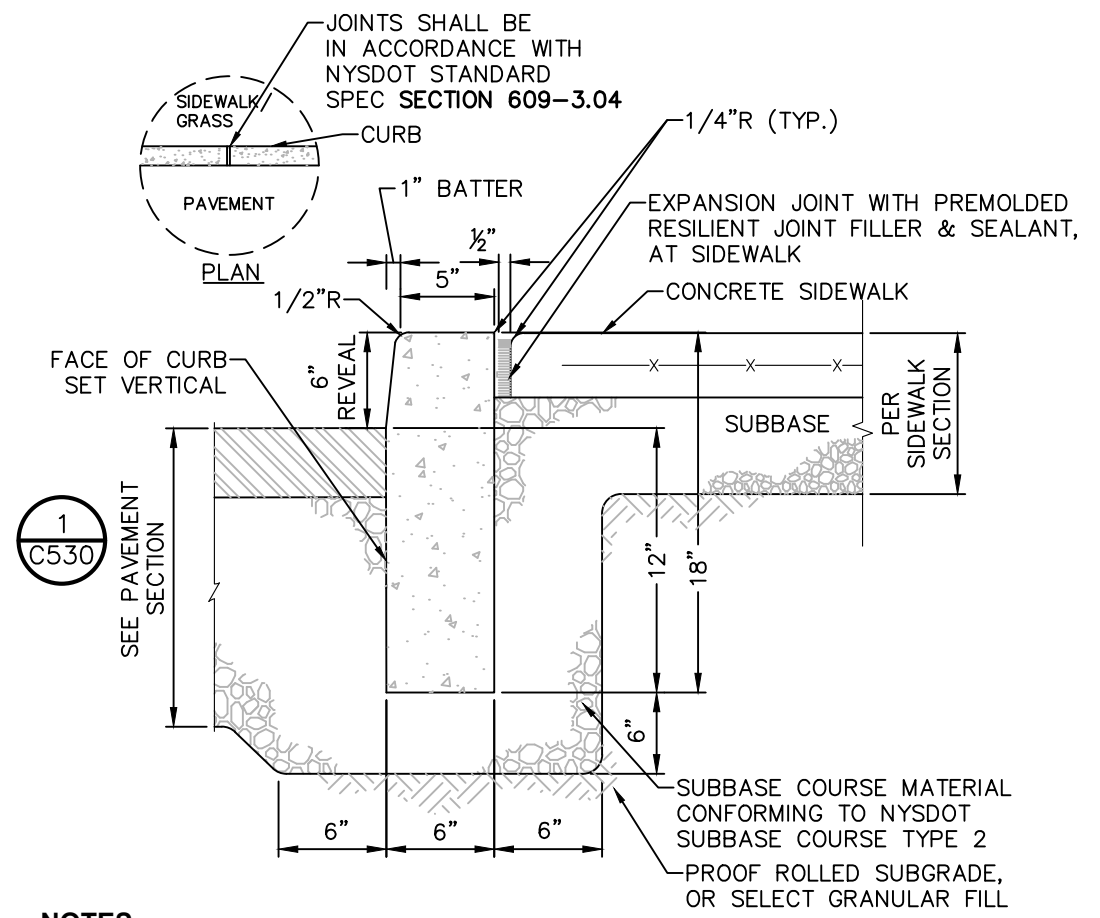
1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, AND ALL ADDENDA THERETO, THE ONLY EXCEPTION BEING THAT THE WORK OF THIS CONTRACT SHALL BE MEASURED IN ENGLISH UNITS.
2. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 - SUBBASE COURSE OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE PLANS.
3. HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH PROCEDURES OUTLINED IN NYSDOT'S MATERIAL METHOD (MM) 5.16 SUPERPAVE HOT-MIX ASPHALT MIXTURE DESIGN AND MIXTURE VERIFICATION PROCEDURES. CONTRACTOR SHALL SUBMIT A HMA DESIGN TO THE REGIONAL PERMIT ENGINEER THAT SATISFIES ALL DESIGN CRITERIA OUTLINED IN MM 5.16. NOTIFY THE RESIDENT PERMIT ENGINEER AT LEAST 24 HOURS PRIOR TO THE START OF VERIFICATION STATUS PRODUCTION. WHEN PRODUCING UNDER VERIFICATION STATUS, MAKE NECESSARY ADJUSTMENTS TO CONTROL THE PROCESS. APPLY DAILY QAF'S TO BOTH VERIFICATION AND PRODUCTION STATUS MIX DESIGNS. MIXTURES PRODUCED UNDER VERIFICATION STATUS, AS OUTLINED IN MM 5.16, ARE ALLOWED FOR USE ON STATE PROJECTS.
4. TACK COAT WHEN SPECIFIED OR CALLED-OUT IN THESE PLANS, OR REQUIRED BY THE REFERENCED SPECIFICATIONS, SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
5. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSES OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.



**2 PAVEMENT TRANSITION DETAIL**  
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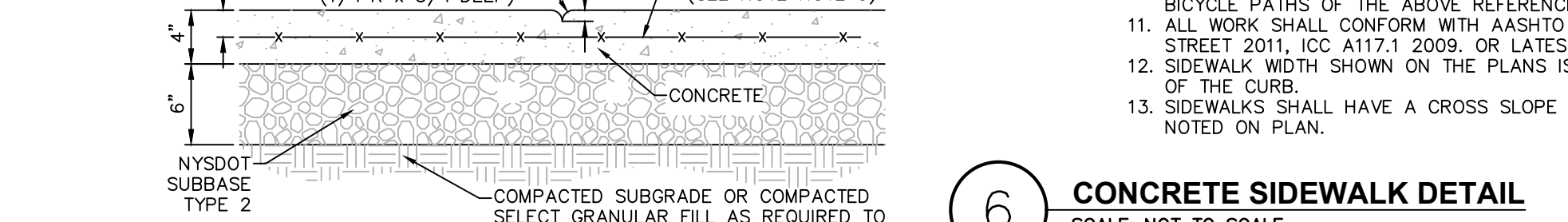
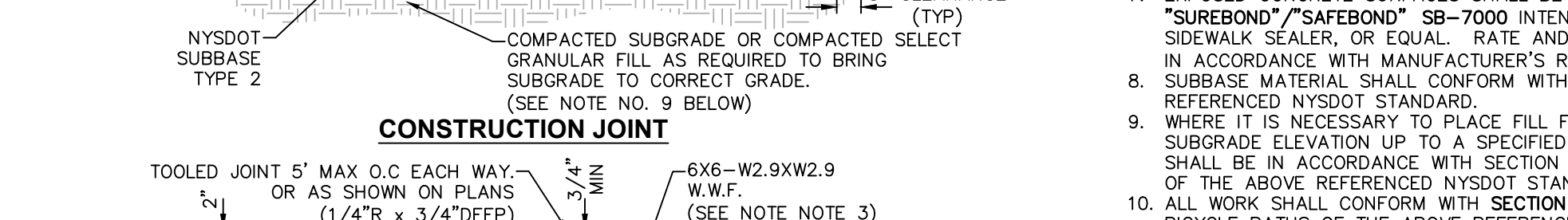
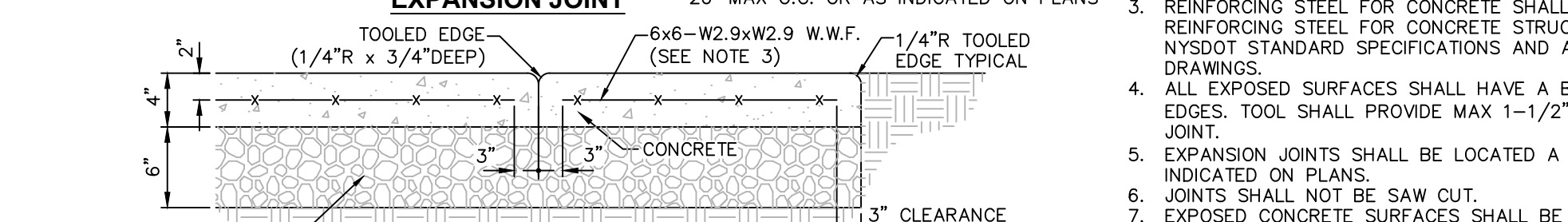
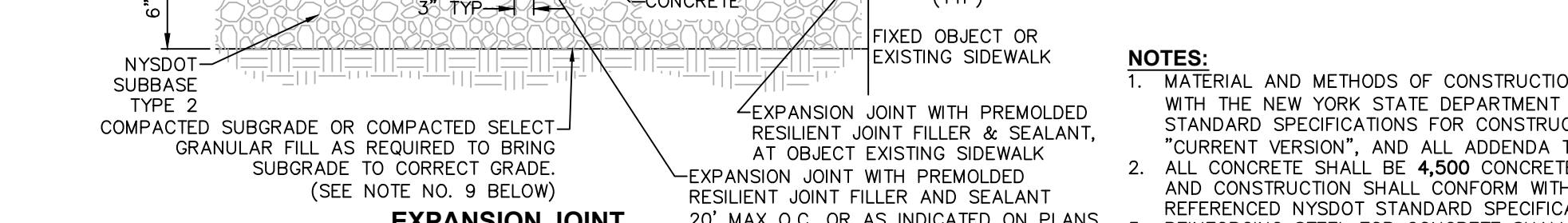
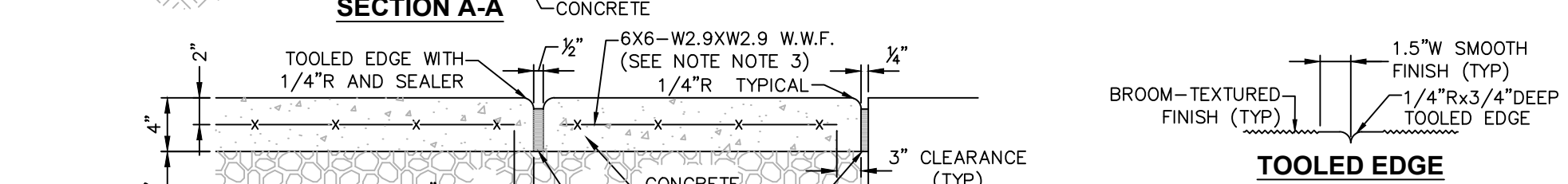
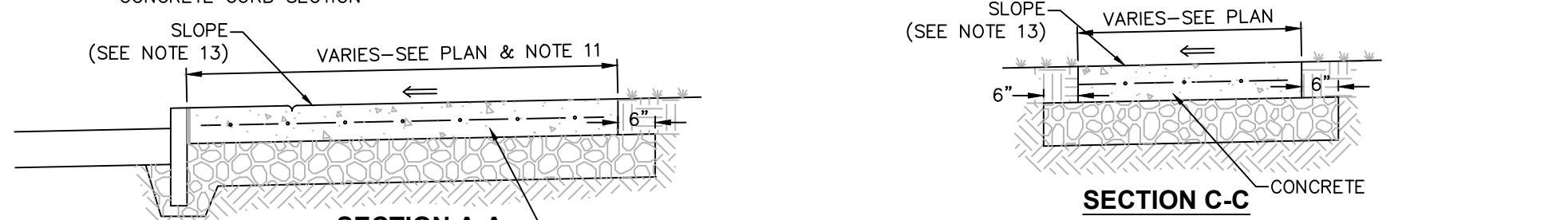
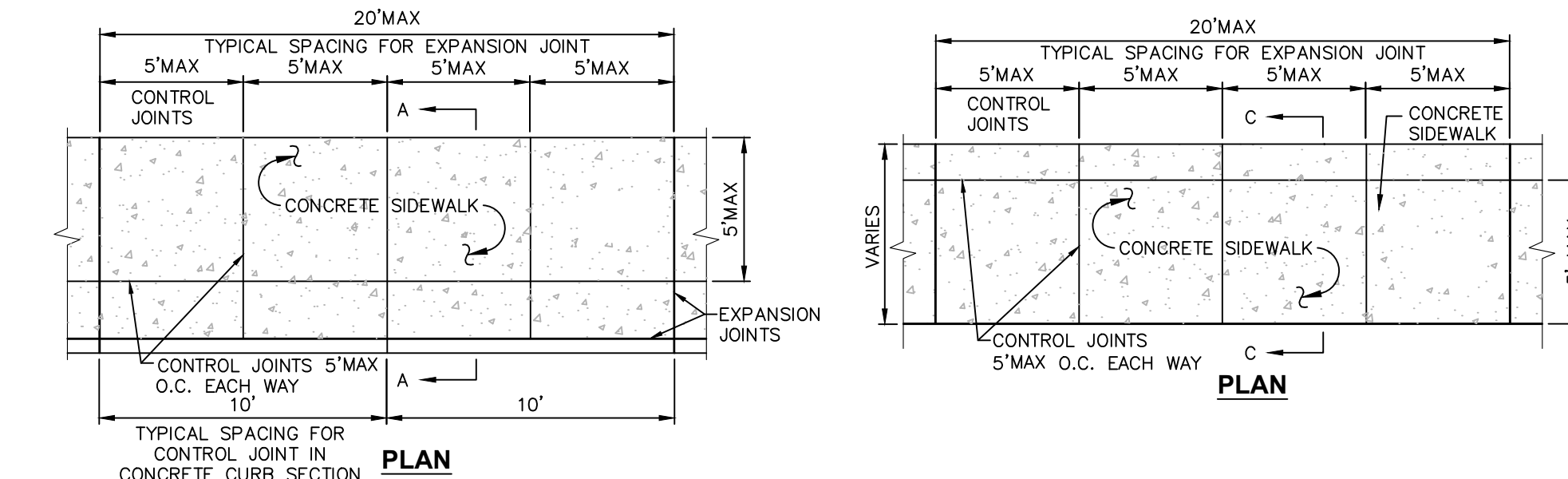


**3 BLUE FLAGSTONE PAD**  
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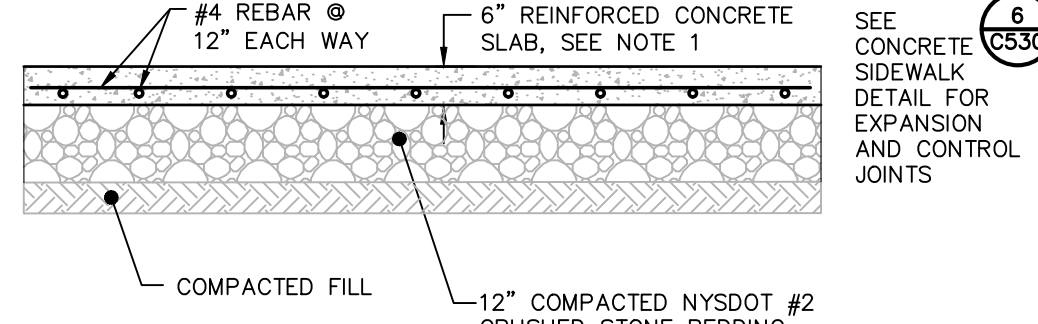


- NOTES:**
1. CONCRETE CURB SHALL BE INSTALLED IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 609.
  2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED, WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. ALTERNATE CURB SHALL BE INSTALLED IN ACCORDANCE WITH NYSDOT SPEC SECTION 609.

**7 CAST IN PLACE CONCRETE CURB AT SIDEWALK**  
SCALE: NOT TO SCALE



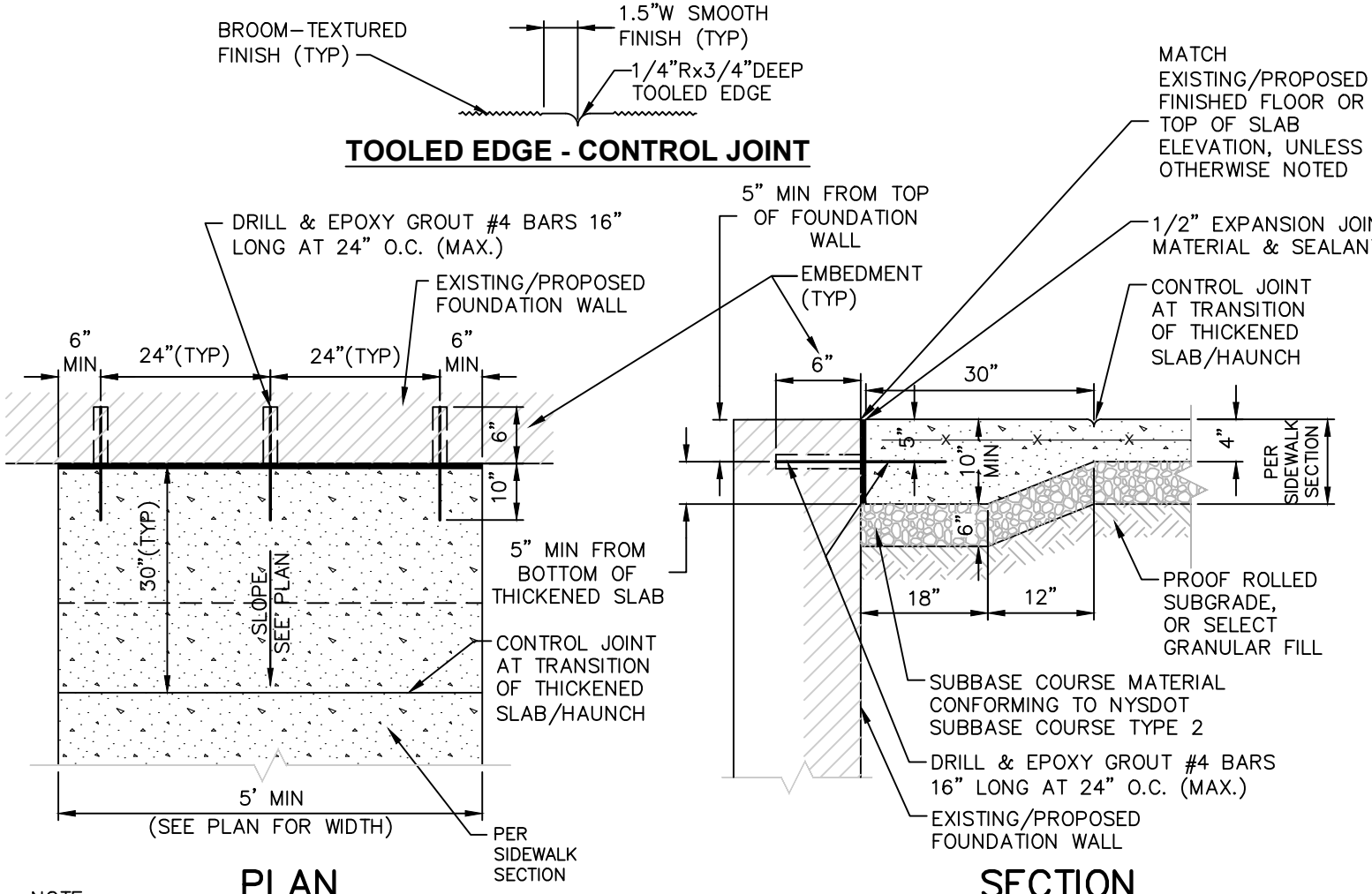
**6 CONCRETE SIDEWALK DETAIL**  
SCALE: NOT TO SCALE



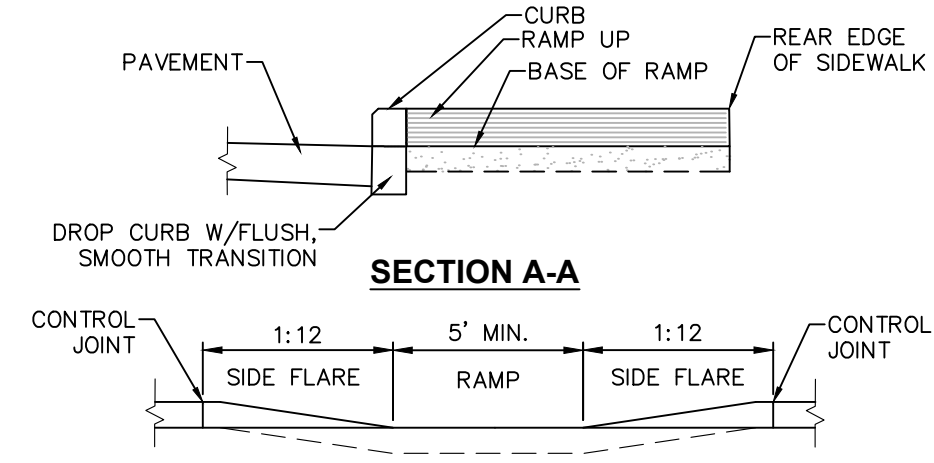
**CONCRETE SLAB:**

1. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED MAY 1, 2008, AND ALL ADDENDA THERETO.
2. CONCRETE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 4500 PSI @ 28 DAY AND SHALL BE PLACED IN ACCORDANCE WITH ACI SPECIFICATIONS AND ITS LATEST REVISION.
3. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
4. ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH & TOOLED EDGES. TOOL SHALL PROVIDE MAX 1-1/2" WIDE SMOOTH TROWEL FINISH AT JOINT.
5. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20' ON CENTER, OR AS INDICATED ON PLANS.
6. CONTROL JOINTS SHALL BE LOCATED A MAXIMUM OF 5' ON CENTER, OR AS INDICATED ON PLANS.
7. JOINTS SHALL NOT BE SAW CUT.
8. EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND" / "SAFE BOND" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
9. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSDOT STANDARD.
10. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN ACCORDANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.

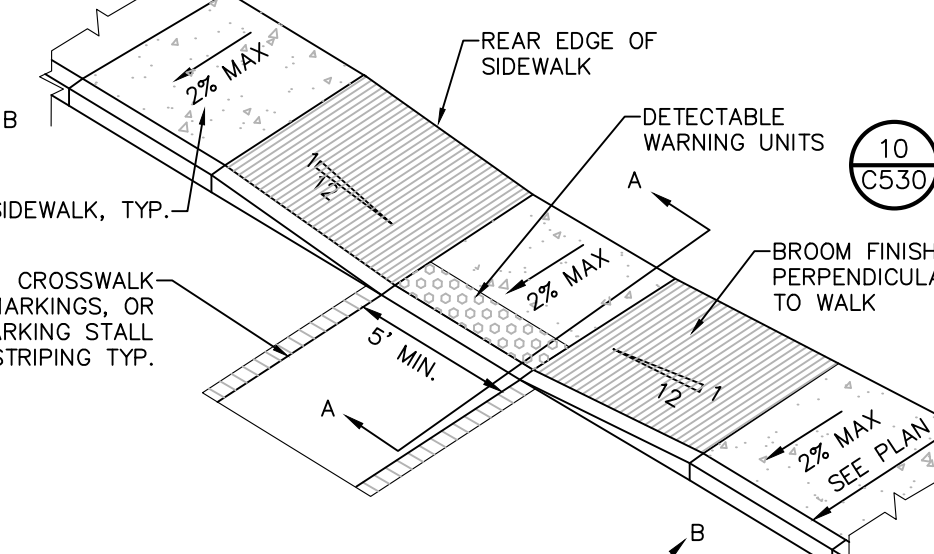
**4 CONCRETE SLAB**  
SCALE: NOT TO SCALE



**5 CONCRETE SIDEWALK AT BUILDING ENTRANCES**  
SCALE: NOT TO SCALE

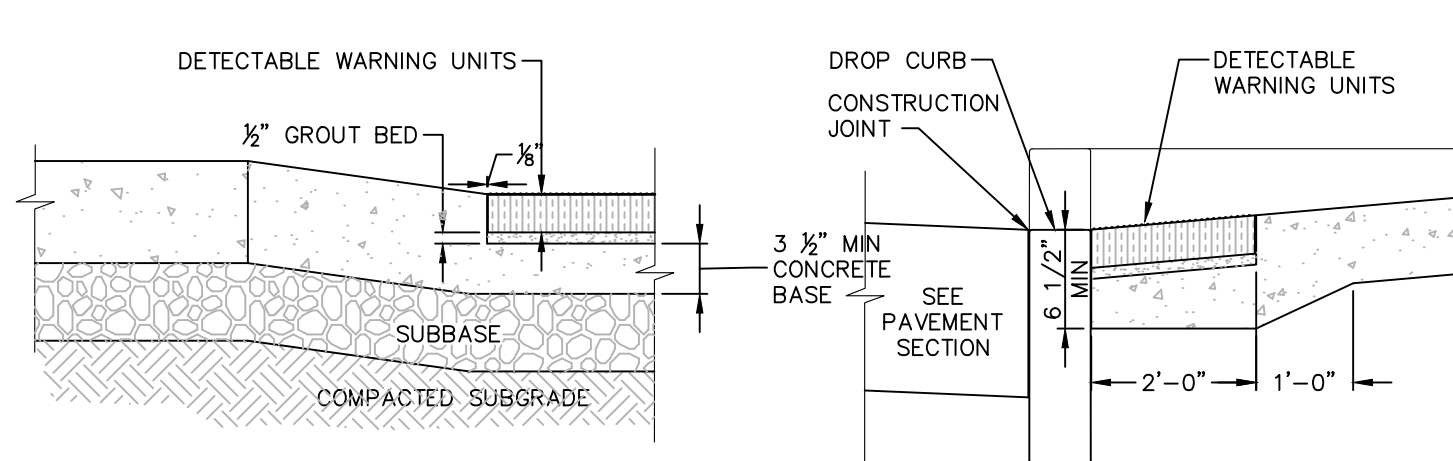
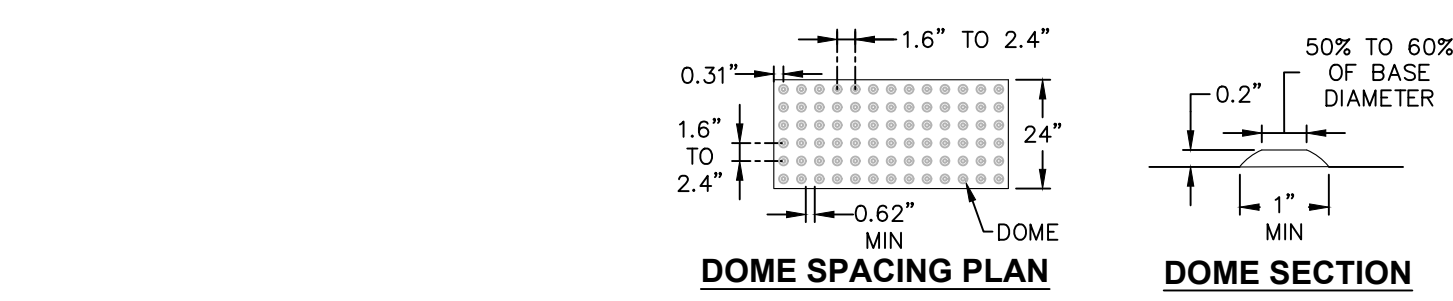


**CONCRETE SIDEWALK AT BUILDING ENTRANCES**



- NOTES:**
1. ALL WORK SHALL CONFORM WITH THE NYSDOT STANDARD SPECIFICATION FOR CONSTRUCTION AND MATERIALS DATED, MAY 1, 2008, AND ALL ADDENDA THERETO, SPECIFICALLY SECTION 608- SIDEWALKS, DRIVEWAYS, AND BICYCLE PATHS.
  2. SLOPE RAMP AND SIDE FLARES AS INDICATED IN THE PLANS OR AS ORDERED BY THE ENGINEER.
  3. DETECTABLE WARNING UNITS SHALL BE PROVIDED ON ALL RAMPS IN ACCORDANCE W/ ADA REQUIREMENTS.

**9 PEDESTRIAN RAMP SECTION - DROP CURB**  
SCALE: NOT TO SCALE



- NOTES:**
1. DETECTABLE WARNING UNIT SHALL BE ADA COMPLIANT INCLUDING THAT IT SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  2. 2" TERRA PAVING TYPE THREE ADA COMPLIANT WARNING PAVES AS MANUFACTURED BY WAUSAU TILE OR EQUAL.
  3. COORDINATE W/ OWNER FOR COLOR.

**10 DETECTABLE WARNING UNITS FOR RAMPS**  
SCALE: NOT TO SCALE

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0 1 2 3  
ORIGINAL SCALE IN INCHES

**CHAZEN ENGINEERING, LAND SURVEYING & LANDSCAPE ARCHITECTURE, CO., D.P.C.**

**The Chazen COMPANIES**  
Proud to be Employee Owned

**Office Locations:**

- ☒ Hudson Valley Office: 21 Fox Street, Poughkeepsie, New York 12601, Phone: (845) 454-3980
- ☒ North Country Office: 20 Elm Street (Suite 110), Glens Falls, New York 12081, Phone: (518) 812-0513
- ☐ Capital District Office: 547 River Street, Troy, New York 12180, Phone: (518) 273-0055
- ☐ Westchester NY Office: 1 North Broadway, Suite 803, White Plains, New York 10601, Phone: (914) 997-8510
- ☐ Nashville Tennessee Office: 2418 21st Ave S. (Suite 103), Nashville, Tennessee 37212, Phone: (615) 380-1359
- ☐ Chattanooga Tennessee Office: 1426 Williams Street (Suite 12), Chattanooga, Tennessee 37408, Phone: (423) 241-6575

rev.	date	description
1	05/14/20	THIS SHEET ADDED.

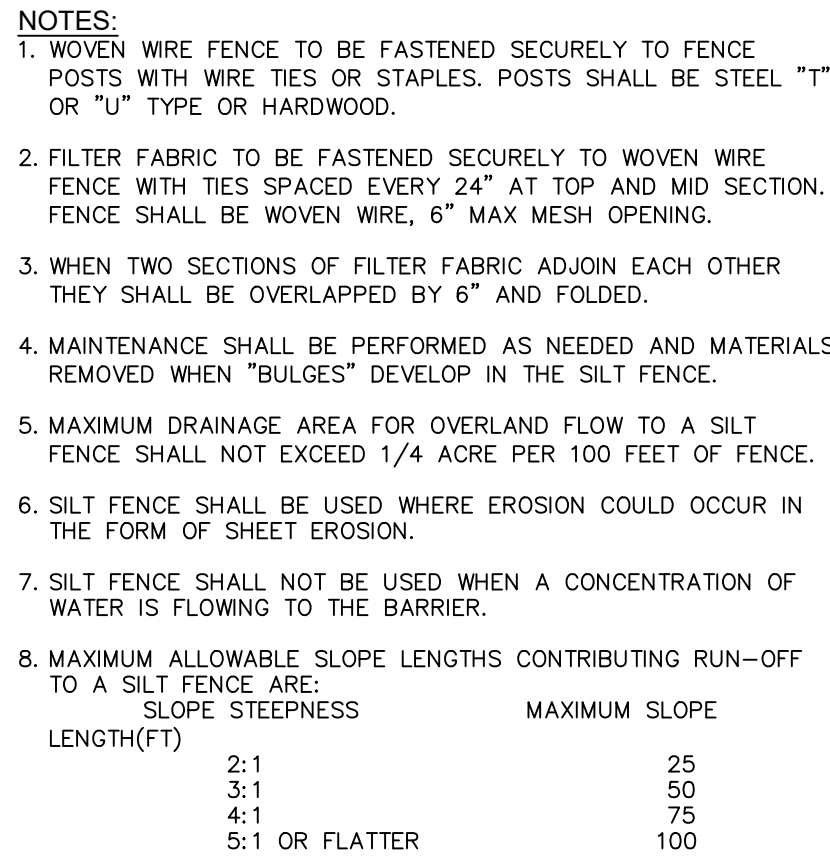
**1663 ROUTE 9 - GAS LAND - MESIER MOBIL**

**SITE DETAILS**

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed SPL checked CPL  
date 03/12/20 scale AS NOTED  
project no. 82010.00  
sheet no. **C530**



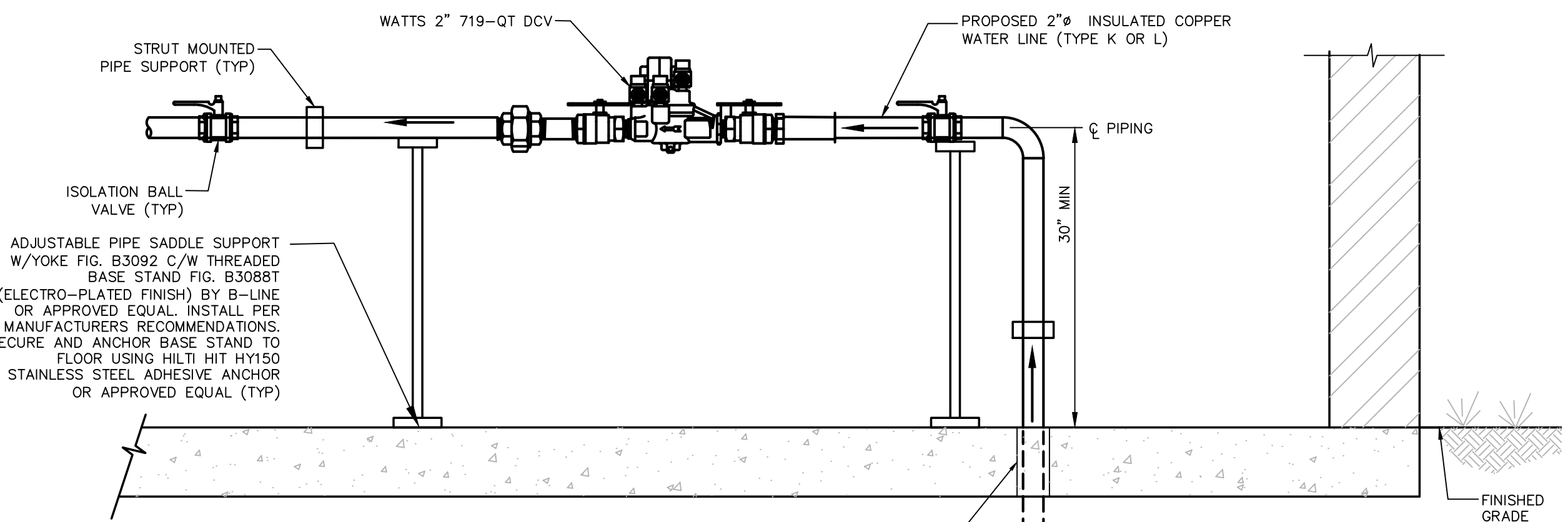


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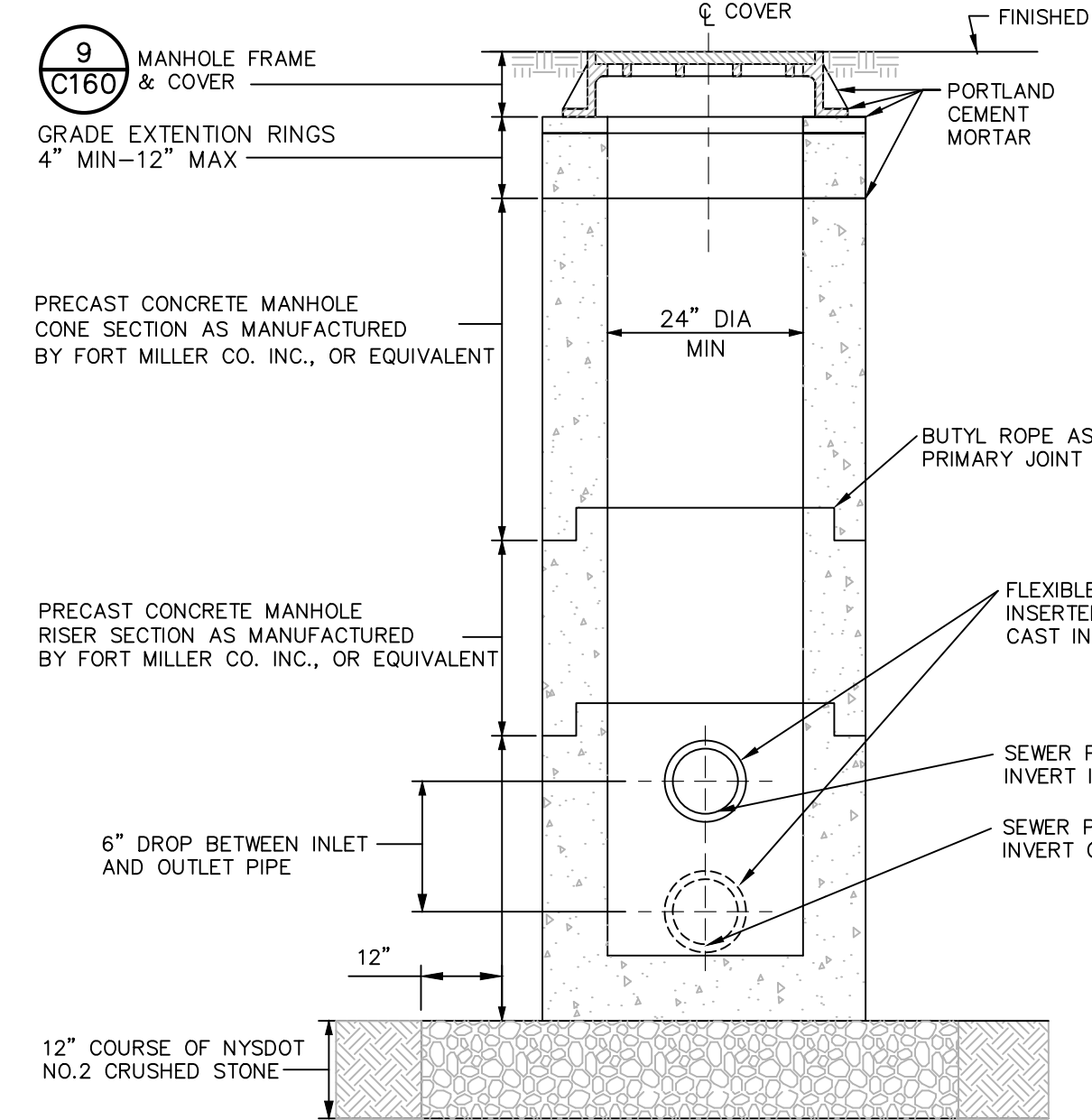


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Date Printed: May 13, 2020, 7:06am

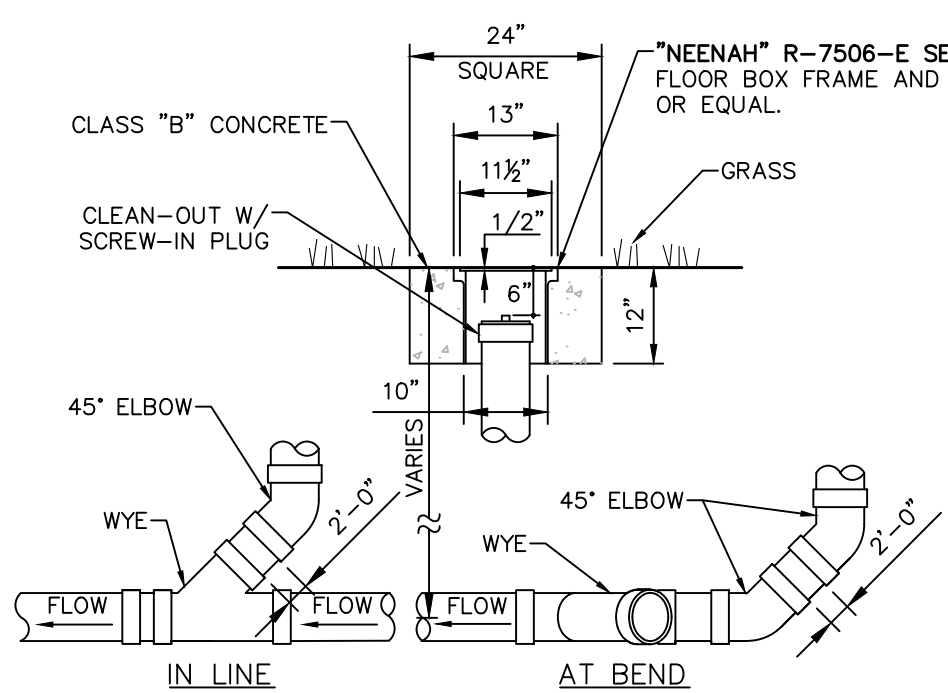


**1 BACKFLOW PREVENTION DEVICE (TYP)**  
SCALE: NOT TO SCALE



- NOTES:**
1. INVERT SHALL BE FILLETED.
  2. CONCRETE TO TEST 4000 P.S.I. AT 28 DAYS IN CONFORMANCE WITH A.S.T.M. C-478.
  3. BENCH SHALL BE BUILT FOR FLOW BETWEEN INLET AND OUTLET.
  4. EACH MANHOLE EXTERIOR SHALL RECEIVE TWO BITUMINOUS COATS.

**4 PRECAST CONCRETE SAMPLING MANHOLE**  
SCALE: NOT TO SCALE

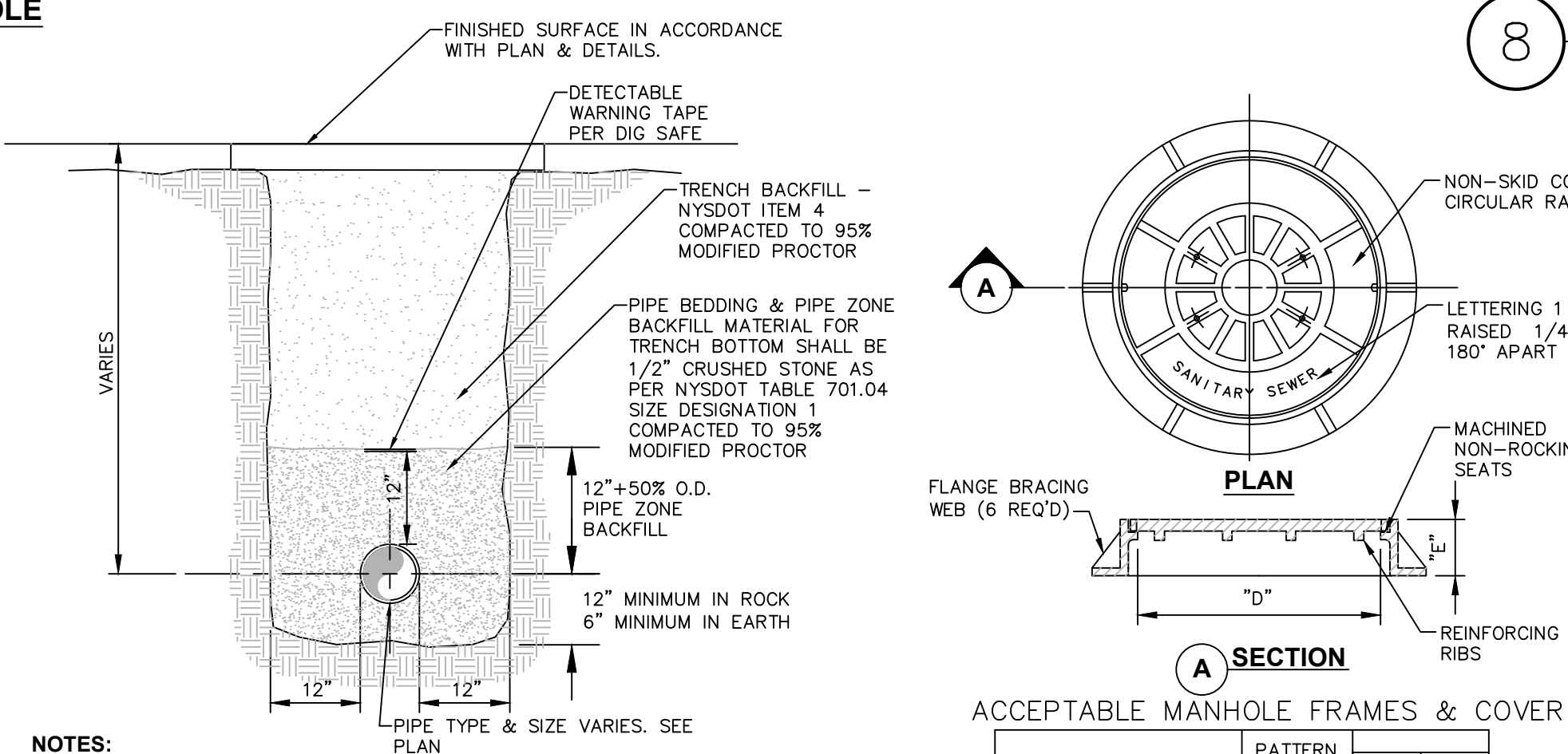


- NOTES:**
1. SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034 SDR-35.
  2. TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.

**6 CLEAN OUT - NON TRAFFIC AREAS**  
SCALE: NOT TO SCALE

- NOTES:**
1. GREASE TRAP SHALL BE AS MANUFACTURED BY THE FORT MILLER CO. OR APPROVED EQUIVALENT.
  2. DIMENSIONS SHOWN ARE PER STRUCTURES MANUFACTURED BY FORT MILLER CO.
  3. GREASE TRAP SHALL RECEIVE 2 LAYERS OF BITUMINOUS COATINGS.

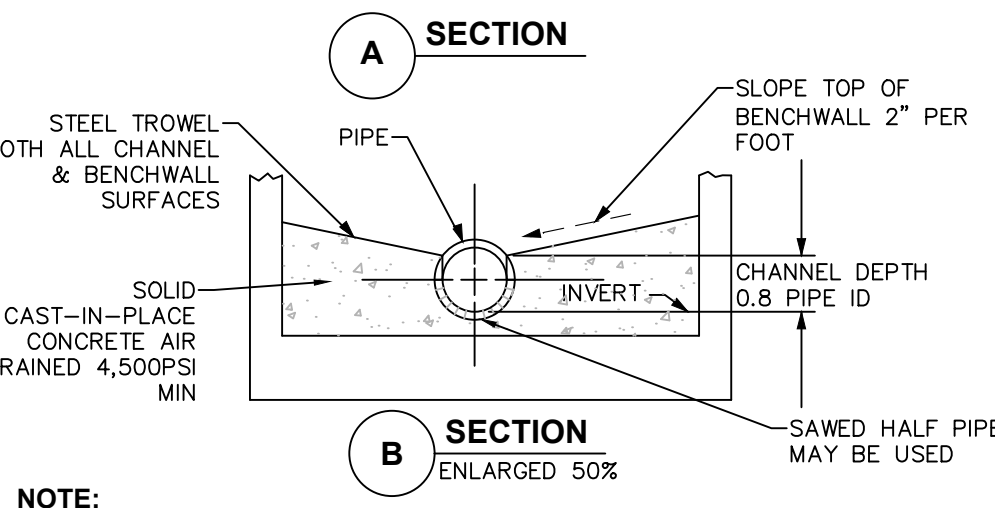
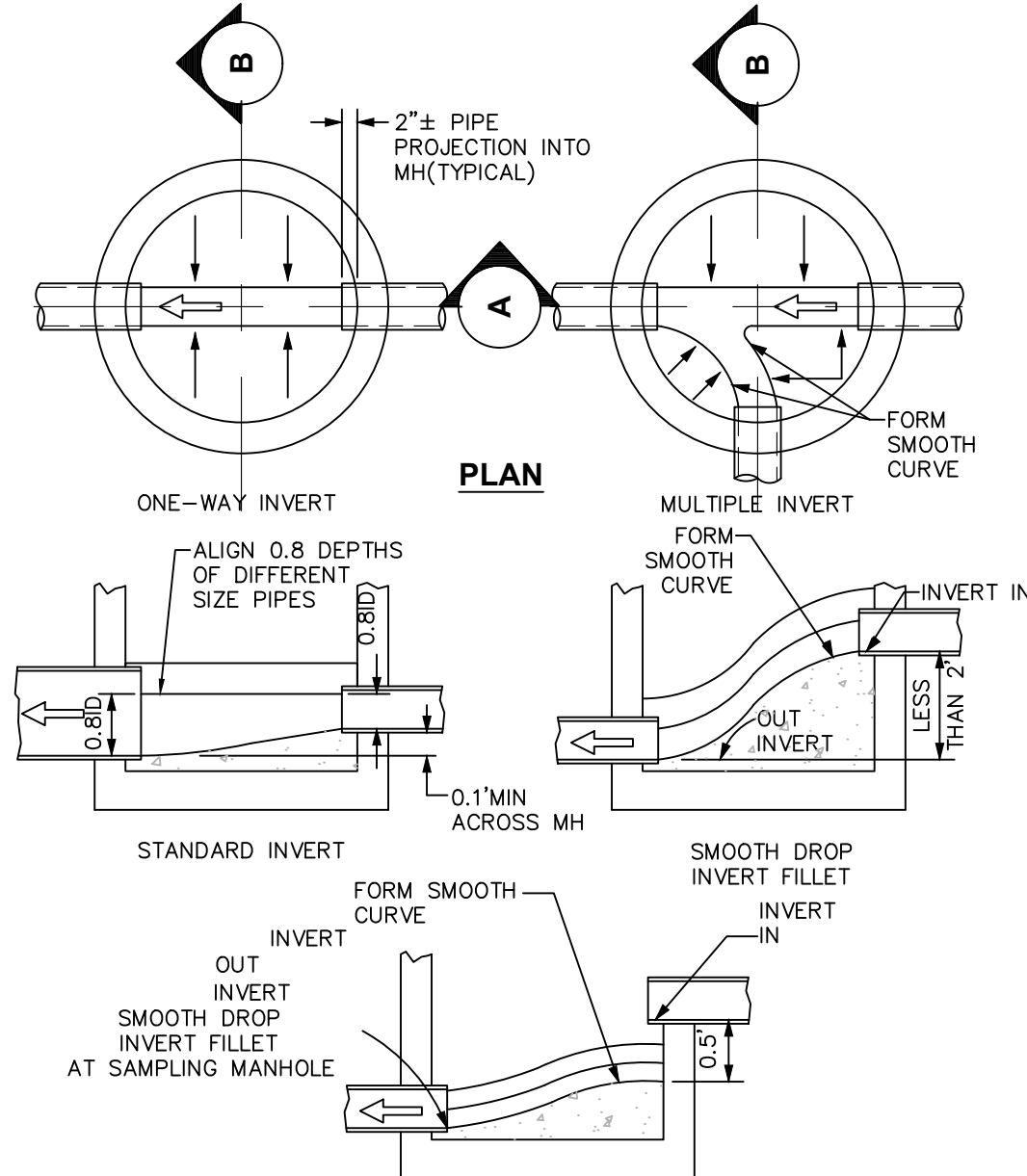
**5 750 GAL SEAMLESS CONCRETE GREASE TRAP**  
SCALE: NOT TO SCALE



- NOTES:**
1. INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" DIRECTLY OVER PIPING.
  2. TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.

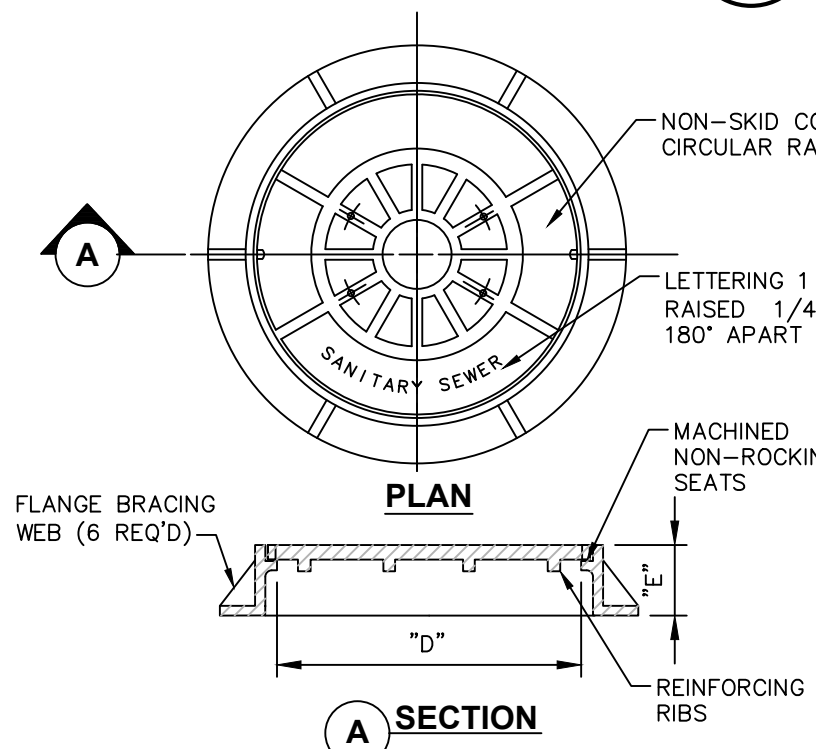
**7 PIPE TRENCH DETAIL (TYPICAL)**  
SCALE: NOT TO SCALE

- NOTES:**
1. ALL DOUBLE CHECK VALVE (DCV) AND REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AS PER THE JANUARY 1992 NYSDOH "GUIDELINES FOR DESIGNING BACKFLOW PREVENTION ASSEMBLY INSTALLATIONS".
  2. PROVIDE THE FOLLOWING CLEARANCES FOR MAINTENANCE OF THE BACKFLOW PREVENTION DEVICE:
    - 12" MIN CLEAR SPACE ABOVE THE ASSEMBLY
    - 30" MIN OF CLEAR SPACE BETWEEN THE FRONT SIDE OF THE DEVICE AND THE NEAREST WALL OR OBSTRUCTION
    - 8" MIN OF CLEAR SPACE FROM THE BACK SIDE OF THE DEVICE TO THE NEAREST WALL OR OBSTRUCTION
    - 18" MIN CLEARANCE BETWEEN THE BOTTOM OF THE RELIEF VALVE AND THE FLOOR (RPZ ONLY)
    - AN AIR GAP OF AT LEAST TWICE THE DIAMETER OF THE DRAIN LINE SHALL BE PROVIDED ABOVE THE FLOOR DRAIN. THE AIR GAP SHALL IN NO CASE BE LESS THAN 1" INCH (RPZ ONLY)
  3. FOLLOWING COMPLETION OF THE INSTALLATION, THE OWNER SHALL BE RESPONSIBLE FOR TESTING. THE BACKFLOW PREVENTION DEVICE SHALL BE TESTED BY A NYSDOH FORM 1013 AND PROVIDED TO OWNER AND DCDCH.
  4. THE OWNER SHALL BE RESPONSIBLE FOR TESTING ALL BACKFLOW PREVENTION DEVICES AT LEAST ANNUALLY. THE TEST SHALL BE COMPLETED BY A NYS CERTIFIED TESTER WITH A COPY OF THE INSPECTION AND TEST REPORT (DOH-1013) FORWARDED TO DUTCHESS COUNTY WATER & WASTEWATER AUTHORITY AND THE DUTCHESS COUNTY DEPARTMENT OF HEALTH.
  5. ALL BACKFLOW PREVENTION DEVICES SHALL BE COMPLETELY DISASSEMBLED AND RE-ASSEMBLED EVERY FIVE (5) YEARS FOR MAINTENANCE PURPOSES.



- NOTE:**
1. INLET AND OUTLET OF PIPES SHOWN ON PLAN VIEW OF BASE ARE NOT NECESSARILY TYPICAL OF ALL MANHOLES. REFER TO UTILITY PLAN FOR INLET AND OUTLET DIRECTIONS.

**8 INVERT, CHANNEL AND BENCHWALLS**  
SCALE: NOT TO SCALE

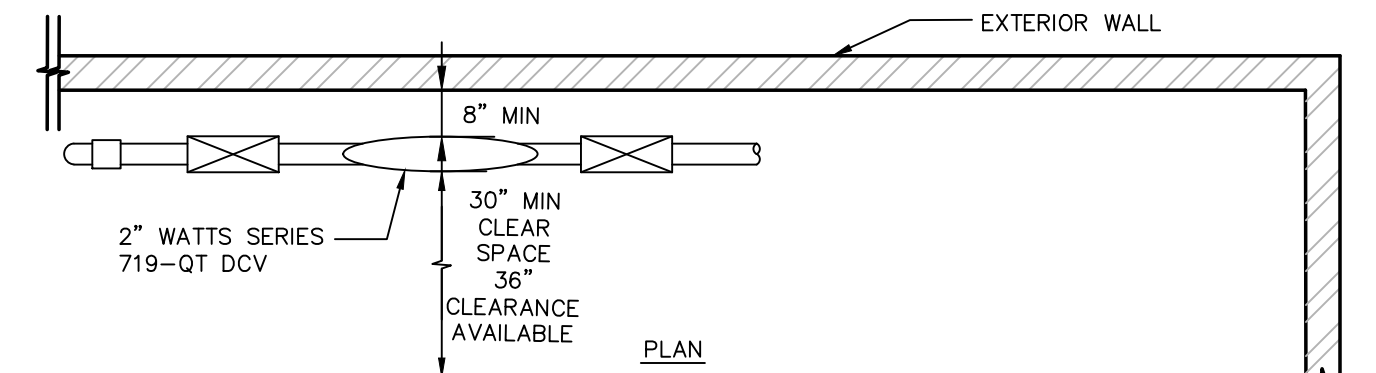


MANUFACTURER	PATTERN NUMBER	"d"	"e"
SYRACUSE CAST®	1009-8	24"	8"

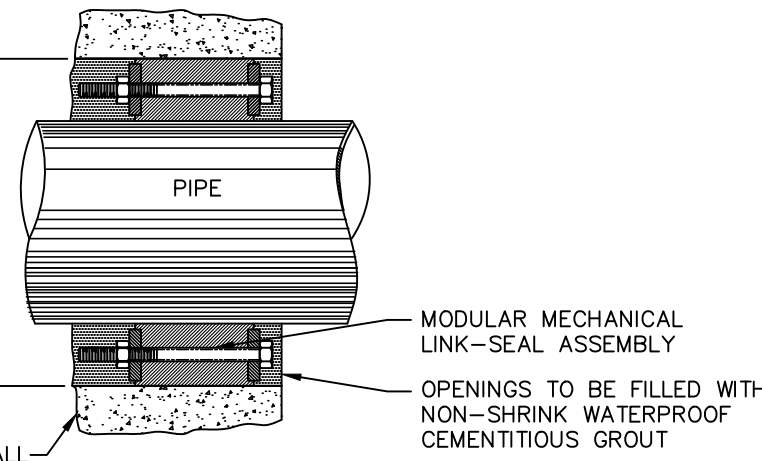
\* OR EQUIVALENT

- NOTE:**
1. FRAME AND COVER SHALL BE DESIGNED FOR HS20-44 VEHICLE LOADING AND 25% IMPACT.

**9 HEAVY DUTY STANDARD CAST IRON MH COVER**  
SCALE: NOT TO SCALE



**2 DOUBLE CHECK VALVE ASSEMBLY-PLAN VIEW**  
SCALE: NOT TO SCALE



- NOTES:**
1. MODULAR SEALS SHALL BE LINK-SEAL 5-316 SERIES, OR APPROVED EQUIVALENT. HOLE SIZE SHALL BE PER LINKSEAL RECOMMENDATION.
  2. DETAIL APPLICABLE FOR HORIZONTAL AND VERTICAL INSTALLATIONS.

**3 LINK SEAL DETAIL**  
SCALE: NOT TO SCALE

### DUTCHESS COUNTY DEPARTMENT OF HEALTH STANDARD NOTES FOR PUBLIC WATER SYSTEMS:

1. THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
  - "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."
  - "DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."
  - "DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."
2. THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF WATER SUPPLY FACILITIES.
3. UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC ESD BY THE NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC ESD.
4. APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.
5. THE UNDERSIGNED OWNERS OF THE PROPERTY HERETO STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

### GREASE TRAP SIZING CALCULATIONS:

1. Restaurants:
  - (D)(GL)(ST)(HR)(2/LF) = Size of Grease Trap, Gallons Where,
  - D = Number of Seats in Dining Area
  - GL = Gallons of Wastewater Per Meal, Normally 5 Gallons
  - ST = Storage Capacity Factor (Minimum = 1.7, Onsite Disposal = 2.5)
  - HR = Number of Hours Open
  - LF = Loading Factor (Interstate Freeways = 1.25, Other Freeways and Recreational Areas = 1.0, Min Highways = 0.8, Other Highways = 0.5).

D=1 SEAT, (THERE ARE NO SEATS PROPOSED BUT FOR PURPOSE OF EQUATION WE ARE CALLING NUMBER OF SEATS=1.)  
GL=5 GALLONS  
ST= 1.7  
HR=18 HOURS  
LF= 0.8 MIN HIGHWAYS

(1)(5)(1.7)(19/2)(0.8)= 64.8 GALLONS (SIZE OF GREASE TRAP)

PER PAGE 34 OF THE 1988 DEC DESIGN STANDARD FOR WASTEWATER TREATMENT WORKS, THE MINIMUM GREASE TRAP SHOULD BE 750 GALLONS.

A 750-GALLON GREASE TRAP IS PROPOSED.

### GREASE TRAP SIZING CALCULATIONS II:

PER THE 2014 NYSDEC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS, GREASE TRAPS SHALL BE SIZED BASED ON THE 30-MINUTE DETENTION TIME OF PEAK FLOW.

PER TABLE E 103.3(2), LOAD VALUES ASSIGNED TO FIXTURES, IN THE NYS PLUMBING CODE THE LOAD VALUES, IN WATER SUPPLY FIXTURES UNITS (WSFU) OF A KITCHEN SINK ASSOCIATED WITH A HOTEL/RESTAURANT WOULD BE 4 FIXTURE UNITS.

PER TABLE E 103.3(3), TABLE FOR ESTIMATING DEMAND, IN THE NYS PLUMBING CODE THE DEMAND ASSOCIATED WITH 4 FIXTURE UNITS IS 80GPM.

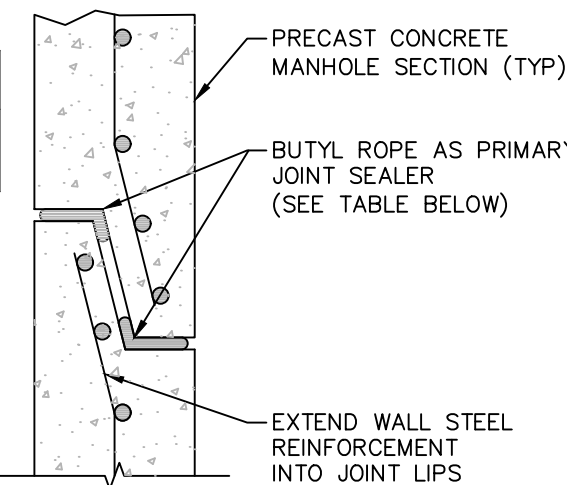
TO ACHIEVE A 30 MINUTE DETENTION TIME THE TANK WOULD NEED TO BE : 8 GPM X 30 MIN=240 GALLON TANK

A 750 GALLON GREASE TRAP IS PROPOSED.

### DUTCHESS COUNTY DEPARTMENT OF HEALTH NOTES:

1. AT SUCH TIME THAT PAVEMENT IS REMOVED IN THIS SECTION OF CLINTON STREET, K-CRETE SHALL BE INSTALLED BETWEEN THE MANHOLE AND THE WATER MAIN TO PROVIDE SUFFICIENT MITIGATION FOR THE LACK OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND SANITARY LINE.
2. CONTRACTOR SHALL INSPECT AND TEST THE INSTALLATIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION WHEN WORK IS READY FOR TESTING. AFTER ALL TESTS HAVE BEEN PERFORMED, EVIDENCE OF COMPLIANCE SHALL BE FORWARDED TO OWNER/ENGINEER AND THE AUTHORITY HAVING JURISDICTION PRIOR TO ACCEPTANCE.
3. EACH MANHOLE-TO-MANHOLE SECTION SHALL BE REJECTED OR ACCEPTED BASED ONLY ON RESULTS OF ITS OWN INDEPENDENT SECTION TEST AND NOT ON RESULTS OF ANY ONE TEST RUN SIMULTANEOUSLY OVER MORE THAN ONE CONSECUTIVE MANHOLE-TO-MANHOLE SECTION. ONLY EVIDENCE ALLOWED: ACCEPTING SEVERAL CONSECUTIVE MANHOLE-TO-MANHOLE SECTIONS BASED ON ONE COMBINED INFILTRATION TEST INDICATING ZERO INFILTRATION.
4. LOW PRESSURE AIR TESTING SHALL BE PERFORMED UNDER DIRECTION OF ENGINEER ACCORDING TO ASTM F1417. LOW PRESSURE AIR TEST IS A COMPARISON OF THE MEASURED TIME NECESSARY FOR PRESSURE DROP TO OCCUR, IF AT ALL, WITH MINIMUM ALLOWABLE TIME FOR THAT PRESSURE DROP TO OCCUR DETERMINED BY METHODS INDICATED IN ASTM F1417. IF THE ONE (1) PSIG PRESSURE DROP OCCURS FASTER THAN ALLOWABLE TIME, SECTION IS UNACCEPTABLE.
5. AN AIR TEST SHALL NOT BE RUN UNTIL SECTION OF LINE TO BE TESTED HAS BEEN CLEANED OF ALL FOREIGN MATERIAL BY FLUSHING AND HAS BEEN VISUALLY INSPECTED AND APPROVED BY THE ENGINEER. CERTAIN PIPE MATERIALS PRODUCE MORE CONSISTENT RESULTS WHEN INTERIOR OF PIPE IS WETTED PRIOR TO TESTING.
6. SEWERS SHALL BE LAID WITH STRAIGHT ALIGNMENT BETWEEN MANHOLES. STRAIGHT ALIGNMENT SHALL BE CHECKED EITHER USING A LASER BEAM OR LAMPING. TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
7. MANHOLES, WHICH CANNOT BE PROPERLY AIR TESTED, SHOULD BE VISUALLY INSPECTED AND LEAKAGE-TESTED USING INTERNAL OR EXTERNAL HYDROSTATIC PRESSURE. LEAKAGE TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
8. IN AREAS WHERE CONVENTIONAL TESTING IS IMPRACTICAL (I.E. AREAS DESIGNATED BY ENGINEER WHERE EXISTING SEWERS ARE TIED INTO NEW LINE IMMEDIATELY) AND ANY BLOCKAGE COULD RESULT IN HEALTH PROBLEMS) NO LINES SHALL BE BACKFILLED UNTIL EACH PIPE SECTION AND CONNECTION IS INSPECTED AND APPROVED.
9. WHERE SEWERS ARE CONSTRUCTED OF PRESSURE-REDUCED PIPE AND INSTALLED WITH LESS THAN 10 INCHES VERTICAL SEPARATION FROM EXISTING OR PROPOSED WATER MAINS, SEWERS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI TO ASSURE WATER TIGHTNESS. HYDROSTATIC ACCEPTANCE TESTS SHALL BE CONDUCTED AS SPECIFIED FOR TESTING WATER MAINS, EXCEPT THAT TESTING MAY BE PERFORMED WITH THE PIPE SECTION PARTIALLY BACK-FILLED.
10. IF THE ALLOWABLE RATE OF AIR LEAKAGE IS EXCEEDED, THE CONTRACTOR SHALL LOCATE POINTS OF EXCESSIVE LEAKAGE AND SEPARATELY REPAIR, CORRECT, REPAIR AND BRING SYSTEM UP TO THE STANDARD COSTS OF ALL SUCH REPAIRS AND CORRECTIVE MEASURES, INCLUDING COSTS OF REPEATED TESTS, SHALL BE BORN BY CONTRACTOR. THE SEWER LINE SECTION (INCLUDING MANHOLES AND BUILDING SECTIONS) UNDER TEST SHALL NOT BE ACCEPTED UNTIL THESE TEST CRITERIA ARE MET.
11. SANITARY MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C1244. A VACUUM OF 10 INCHES OF HG SHOULD BE DRAWN ON THE MANHOLE AFTER ALL HOLES ARE PLUGGED, AND INLETS/OUTLETS ARE TEMPORARILY PLUGGED. HOLD FOR 15 MINUTES. THE TIME IS MEASURED FROM THE TIME THE VACUUM IS ESTABLISHED. IF THE MANHOLE IS ACCEPTED IF THE MEASURED TIME MEETS OR EXCEEDS THE VALUES PRESENTED IN TABLE 1 OF ASTM C1244. IF THE MANHOLE IS NOT ACCEPTED, THE REPAIRS BY AN APPROVED METHOD UNTIL A SATISFACTORY TEST IS OBTAINED. MANHOLES, WHICH CANNOT BE PROPERLY AIR TESTED, SHOULD BE VISUALLY INSPECTED USING INTERNAL OR EXTERNAL HYDROSTATIC PRESSURE. LEAKAGE TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

**4" TO 6" PVC SEWER WYE CONNECTION**  
SCALE: N.T.S.



**11 MANHOLE JOINT**  
SCALE: NOT TO SCALE

### SANITARY SEWER NOTES:

1. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAIN. ALL DISCHARGES TO THE SANITARY SEWER SHALL COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL SANITARY CODE.
2. SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE SEWER DEPARTMENT. ALL SANITARY SEWER SYSTEM COMPONENTS SHALL BE INSTALLED BY OR UNDER THE SUPERVISION OF A LICENSED PLUMBER IN ACCORDANCE WITH THE PLUMBING CODE.
3. MAJOR EARTHWORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY SANITARY SEWER MAINS AND APPURTENANCES. ALL CONNECTING SEWER LINES SHALL BE FLOUGH BEFORE TESTED.
4. SANITARY SEWER MAINS ARE TO BE POLYVINYL CHLORIDE (PVC) SDR-21. PROJECT SANITARY LATERALS SHALL BE PVC, SDR-35, UNLESS OTHERWISE NOTED.
5. FINAL SEWER COLLECTION SYSTEM LAYOUT IS SUBJECT TO REVIEW, REVISION AND APPROVAL BY THE SEWER DEPARTMENT.
6. ALL SANITARY PIPE AND/OR MANHOLES SHALL BE A MINIMUM OF TEN (10) HORIZONTAL FEET FROM THE WATER MAIN. SANITARY PIPE SHALL HAVE A MINIMUM 18" SEPARATION FROM ANY WATER MAIN OR WATER SERVICE LINE. IF FOR SOME REASON THIS SEPARATION CANNOT BE ACHIEVED, SANITARY SEWER PIPE IN THE AREA SHALL BE SDR-35 PRESSURE RATED PIPE, AND ONE FULL LENGTH WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER. ALL SANITARY SEWER CONSTRUCTION SHALL BE TO SPECIFICATIONS OF THE SEWER DEPARTMENT.
7. ALL SANITARY TESTING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE PROJECT ENGINEER, AND CERTIFICATES OF COMPLIANCE WITH THE INSTALLATION SPECIFICATIONS, TEST STANDARDS, APPROVED PLANS OR APPROVED AMENDMENTS SHALL BE PROVIDED TO THE APPROPRIATE SEWER AUTHORITY AS A CONDITION OF APPROVAL FOR OPERATION.
8. ALL SANITARY SEWER CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE SEWER SUPERINTENDENT PRIOR TO BACKFILLING. PIPE BEDDING AND PIPE ZONE MATERIAL SHALL BE IN ACCORDANCE WITH THIS SHEET, DETAIL 1.
9. INDICATOR TAPE SHALL BE INSTALLED 12" ABOVE SEWER LATERAL.
10. LOCATION OF SEWER LATERAL CLEAN OUTS ARE TO BE PLACED AS SHOWN ON THE APPROVED SITE PLAN AND NOT TO EXCEED EVERY 75' MEASURED FROM THE SEWER MAIN CONNECTION OR AS DETERMINED BY THE SUPERINTENDENT OF SEWERS WHERE LOCATIONS ARE NOT SPECIFICALLY SHOWN.
11. THREE AS-BUILT DRAWINGS PREPARED BY A LICENSED NYS SURVEYOR, WHICH INCLUDE VERIFICATION OF THE SEWER INFRASTRUCTURE INCLUDING RIMS AND INVERTS WILL BE PROVIDED FOR DISSEMINATION TO THE ENGINEERING AND SEWER DEPARTMENTS.

### GREASE TRAP HYDROSTATIC TESTING:

1. IF THE GREASE TRAP IS DELIVERED IN TWO PIECES (NON-MONOLITHIC), THE GREASE TRAP SHALL BE TESTED FOR LEAKAGE AND ALL LEAKS SHALL BE REPAIRED IN A MANNER SUBJECT TO THE ENGINEER'S APPROVAL. A HYDROSTATIC TEST SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.
2. HYDROSTATIC TESTING
  - UNLESS OTHERWISE APPROVED, CONDUCT ALL TESTING IN THE PRESENCE OF THE ENGINEER.
  - NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF TESTING.
  - THE STRUCTURE SHALL BE COMPLETELY PLUGGED AND FILLED WITH WATER AND ALLOWED TO STAND FOR TWO (2) HOURS PRIOR TO ANY READING IN ORDER TO PERMIT ABSORPTION BY THE WET WELL STRUCTURE.
  - AFTER TWO (2) HOURS, A READING SHALL BE TAKEN AND THE STRUCTURE ALLOWED TO STAND FOR 24 HOURS.
  - THE DROP IN WATER LEVEL AFTER 24 HOURS SHALL BE NOTED.
  - LEAKAGE IN THE GREASE TRAP SHALL NOT EXCEED 0.6 GALLONS/FT MANHOLE DIAMETER/FT OF MANHOLE DEPTH.
  - GREASE TRAP FAILING THE TEST SHALL BE REPAIRED AND RETESTED TO THE SATISFACTION OF THE ENGINEER.
  - THE CONTRACTOR SHALL COORDINATE AND BEAR ALL COSTS FOR PROVISION AND DISPOSAL OF WATER NECESSARY FOR THE LEAK TESTING OF THE WET WELL.

### DUTCHESS COUNTY DEPARTMENT OF HEALTH STANDARD NOTES:

1. THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
  - "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS"; NYSDEC "APPENDIX 7-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."
  - "RECOMMENDED STANDARDS FOR SEWAGE TREATMENT WORKS (TEN STATES)".
  - "NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."
  - "DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."
  - "DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."
2. THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT.
3. UPON COMPLETION OF THE FACILITIES, THE FINISHED WORKS SHALL BE INSPECTED, TESTED, AND CERTIFIED COMPLETE TO THE DC ESD BY THE NEW YORK STATE REGISTERED DESIGN PROFESSIONAL SUPERVISING CONSTRUCTION. NO PART OF THE FACILITIES SHALL BE PLACED INTO SERVICE UNTIL ACCEPTED BY THE DC ESD.
4. APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL. FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.
5. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC ESD FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.
6. NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE WASTEWATER TREATMENT SYSTEM.
7. THE DC ESD SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE RE-APPROVAL BY THE DC ESD.
8. THE DC ESD SHALL BE NOTIFIED SIXTY DAYS PRIOR TO ANY CHANGE IN USE; USE CHANGES MAY REQUIRE RE-APPROVAL BY THE DC ESD.
9. ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.
10. THE UNDERSIGNED OWNERS OF THE PROPERTY HERETO STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

### TESTING GRAVITY SEWER SYSTEM:

1. CONTRACTOR SHALL INSPECT AND TEST THE INSTALLATIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION WHEN WORK IS READY FOR TESTING. AFTER ALL TESTS HAVE BEEN PERFORMED, EVIDENCE OF COMPLIANCE SHALL BE FORWARDED TO OWNER/ENGINEER AND THE AUTHORITY HAVING JURISDICTION PRIOR TO ACCEPTANCE.
2. THE CONTRACTOR SHALL TEST AND INSPECT FOR ALIGNMENT OF ALL SANITARY SEWERS.
3. EACH MANHOLE-TO-MANHOLE SECTION SHALL BE REJECTED OR ACCEPTED BASED ONLY ON RESULTS OF ITS OWN INDEPENDENT SECTION TEST AND NOT ON RESULTS OF ANY ONE TEST RUN SIMULTANEOUSLY OVER MORE THAN ONE CONSECUTIVE MANHOLE-TO-MANHOLE SECTION. ONLY EVIDENCE ALLOWED: ACCEPTING SEVERAL CONSECUTIVE MANHOLE-TO-MANHOLE SECTIONS BASED ON ONE COMBINED INFILTRATION TEST INDICATING ZERO INFILTRATION.
4. LOW PRESSURE AIR TESTING SHALL BE PERFORMED UNDER DIRECTION OF ENGINEER ACCORDING TO ASTM F1417. LOW PRESSURE AIR TEST IS A COMPARISON OF THE MEASURED TIME NECESSARY FOR PRESSURE DROP TO OCCUR, IF AT ALL, WITH MINIMUM ALLOWABLE TIME FOR THAT PRESSURE DROP TO OCCUR DETERMINED BY METHODS INDICATED IN ASTM F1417. IF THE ONE (1) PSIG PRESSURE DROP OCCURS FASTER THAN ALLOWABLE TIME, SECTION IS UNACCEPTABLE.
5. AN AIR TEST SHALL NOT BE RUN UNTIL SECTION OF LINE TO BE TESTED HAS BEEN CLEANED OF ALL FOREIGN MATERIAL BY FLUSHING AND HAS BEEN VISUALLY INSPECTED AND APPROVED BY THE ENGINEER. CERTAIN PIPE MATERIALS PRODUCE MORE CONSISTENT RESULTS WHEN INTERIOR OF PIPE IS WETTED PRIOR TO TESTING.
6. SEWERS SHALL BE LAID WITH STRAIGHT ALIGNMENT BETWEEN MANHOLES. STRAIGHT ALIGNMENT SHALL BE CHECKED EITHER USING A LASER BEAM OR LAMPING. TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
7. MANHOLES, WHICH CANNOT BE PROPERLY AIR TESTED, SHOULD BE VISUALLY INSPECTED AND LEAKAGE-TESTED USING INTERNAL OR EXTERNAL HYDROSTATIC PRESSURE. LEAKAGE TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
8. IN AREAS WHERE CONVENTIONAL TESTING IS IMPRACTICAL (I.E. AREAS DESIGNATED BY ENGINEER WHERE EXISTING SEWERS ARE TIED INTO NEW LINE IMMEDIATELY) AND ANY BLOCKAGE COULD RESULT IN HEALTH PROBLEMS) NO LINES SHALL BE BACKFILLED UNTIL EACH PIPE SECTION AND CONNECTION IS INSPECTED AND APPROVED.
9. WHERE SEWERS ARE CONSTRUCTED OF PRESSURE-REDUCED PIPE AND INSTALLED WITH LESS THAN 10 INCHES VERTICAL SEPARATION FROM EXISTING OR PROPOSED WATER MAINS, SEWERS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI TO ASSURE WATER TIGHTNESS. HYDROSTATIC ACCEPTANCE TESTS SHALL BE CONDUCTED AS SPECIFIED FOR TESTING WATER MAINS, EXCEPT THAT TESTING MAY BE PERFORMED WITH THE PIPE SECTION PARTIALLY BACK-FILLED.
10. IF THE ALLOWABLE RATE OF AIR LEAKAGE IS EXCEEDED, THE CONTRACTOR SHALL LOCATE POINTS OF EXCESSIVE LEAKAGE AND SEPARATELY REPAIR, CORRECT, REPAIR AND BRING SYSTEM UP TO THE STANDARD COSTS OF ALL SUCH REPAIRS AND CORRECTIVE MEASURES, INCLUDING COSTS OF REPEATED TESTS, SHALL BE BORN BY CONTRACTOR. THE SEWER LINE SECTION (INCLUDING MANHOLES AND BUILDING SECTIONS) UNDER TEST SHALL NOT BE ACCEPTED UNTIL THESE TEST CRITERIA ARE MET.
11. SANITARY MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C1244. A VACUUM OF 10 INCHES OF HG SHOULD BE DRAWN ON THE MANHOLE AFTER ALL HOLES ARE PLUGGED, AND INLETS/OUTLETS ARE TEMPORARILY PLUGGED. HOLD FOR 15 MINUTES. THE TIME IS MEASURED FROM THE TIME THE VACUUM IS ESTABLISHED. IF THE MANHOLE IS ACCEPTED IF THE MEASURED TIME MEETS OR EXCEEDS THE VALUES PRESENTED IN TABLE 1 OF ASTM C1244. IF THE MANHOLE IS NOT ACCEPTED, THE REPAIRS BY AN APPROVED METHOD UNTIL A SATISFACTORY TEST IS OBTAINED. MANHOLES, WHICH CANNOT BE PROPERLY AIR TESTED, SHOULD BE VISUALLY INSPECTED USING INTERNAL OR EXTERNAL HYDROSTATIC PRESSURE. LEAKAGE TESTING SHALL COMPLY WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

ISSUED FOR CONCEPT REVIEW - NOT FOR CONSTRUCTION

1663 ROUTE 9 - GAS LAND - MESIER MOBIL

## WATER AND SANITARY SEWER DETAILS

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
SPL	CPL
date	scale
03/12/20	AS NOTED
project no.	
82010.00	
sheet no.	
C560	

rev.	date	description
1	05/14/20	THIS SHEET ADDED.

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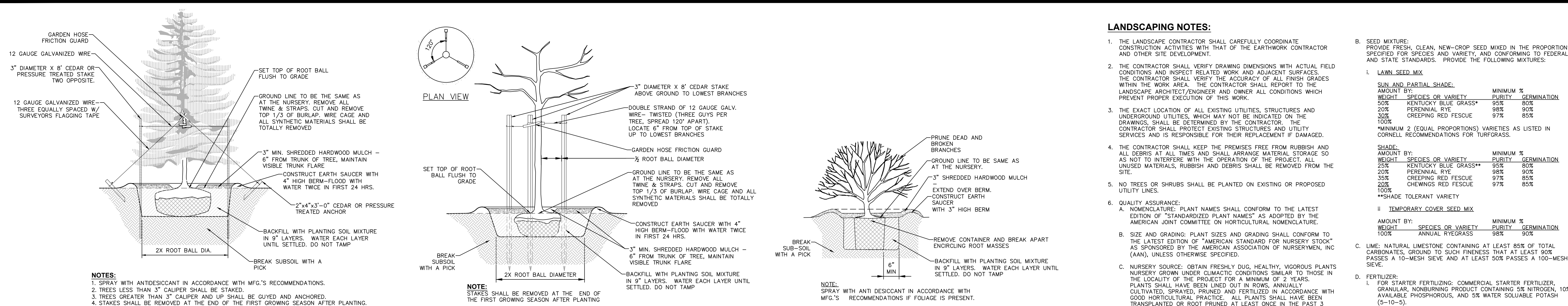
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LANDSCAPING NOTES:

- 1. THE LANDSCAPE CONTRACTOR SHALL CAREFULLY COORDINATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
- 2. THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
- 3. THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
- 4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
- 5. NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
- 6. QUALITY ASSURANCE:
  - A. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
  - B. SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC (AAN), UNLESS OTHERWISE SPECIFIED.
  - C. NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS PLANTS NURSERY GROWN UNDER CULTIVATION CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HEEL IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.
  - D. SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WHEN AUTHORIZED, ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
- 7. SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:
  - A. UNLESS OTHERWISE DIRECTED IN WRITING, SEED LAWNS FROM MARCH 15 TO JUNE 15, AND FROM AUGUST 15 TO OCTOBER 15.
  - B. UNLESS OTHERWISE DIRECTED IN WRITING PLANT TREES AND SHRUBS FROM MARCH 15 TO JUNE 1, AND FROM AUGUST 15 TO OCTOBER 30.
  - C. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE LAWNS OR PLANTINGS ARE TO BE ESTABLISHED AND WORK IS COMPLETE, SHALL BE RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. WORK SHALL BE WITHIN THE SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER (TOPSOIL AND TEMPORARY COVER SEED MIX) WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
- 8. PRODUCTS:
  - A. IMPORTED TOPSOIL: PROVIDE TOPSOIL CONFORMING TO THE FOLLOWING:
    - i. LOAM TOPSOIL, WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL.
    - ii. CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
    - iii. CONTAINING A PH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
    - iv. CONTAINING THE FOLLOWING WASHED GRADATIONS:

SIEVE DESIGNATION	% PASSING
1"	100
1/4"	97-100
NO 200	20-60
  - B. SEED MIXTURE:
    - i. PROVIDE FRESH, CLEAN, NEW-CROP SEED MIXED IN THE PROPORTIONS SPECIFIED FOR SPECIES AND VARIETY, AND CONFORMING TO FEDERAL AND STATE STANDARDS. PROVIDE THE FOLLOWING MIXTURES:

LAWN SEED MIX			
SUN AND PARTIAL SHADE:			
AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM % PURITY	GERMINATION
50%	KENTUCKY BLUE GRASS**	95%	80%
20%	PERENNIAL RYE	98%	90%
30%	CREeping RED FESCUE	97%	85%
100%	*MINIMUM 2 (EQUAL PROPORTIONS) VARIETIES AS LISTED IN CORNELL RECOMMENDATIONS FOR TURFGRASS.		
SHADE:			
AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM % PURITY	GERMINATION
    - ii. TEMPORARY COVER SEED MIX

AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM % PURITY	GERMINATION
100%	ANNUAL RYEGRASS	98%	90%
  - C. LIME: NATURAL LIMESTONE CONTAINING AT LEAST 85% OF TOTAL CARBONATES, GROUND TO SUCH FINENESS THAT AT LEAST 90% PASSES A 10-MESH SIEVE AND AT LEAST 50% PASSES A 100-MESH SIEVE.
  - D. FERTILIZER:
    - i. FOR STARTER FERTILIZING: COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT CONTAINING 5% NITROGEN, 10% AVAILABLE PHOSPHOROUS, AND 5% WATER SOLUBLE POTASH (5-10-5).
    - ii. FOR FINAL FERTILIZING: IF APPLIED IN SPRING SEASON, SHALL BE A SLOW RELEASE COMMERCIAL FERTILIZER, GRANULAR, WITH 3-1-2 NPK. /IF APPLIED IN FALL SEASON, SHALL BE AS SPECIFIED IN (8.D.i) ABOVE.
  - E. TREES, SHRUBS, GROUND COVERS, PERENNIALS, ANNUALS:
    - i. PLANTING SOIL MIXTURE: SHALL BE PREMIXED IN BULK, AND CONTAIN THE FOLLOWING BY VOLUME:
      - 30 PARTS TOPSOIL
      - 10 PARTS PEAT
      - 1 PART BONE MEAL
    - ii. PEAT: BROWN TO BLACK IN COLOR. WEED AND SEED FREE. DRIED SPHAGNUM PEAT, CONTAINING NOT MORE THAN 9% MINERAL ON A DRY BASIS AND CONFORMING TO NYSDOT 713-15.
    - iii. BONE MEAL: FINELY GROUND, RAW, MINIMUM 42% NITROGEN AND 20% PHOSPHORIC ACID. IT SHALL BE DELIVERED IN SEALED BAGS SHOWING THE MANUFACTURER'S GUARANTEED ANALYSIS.
  - F. STAKES: 8 FEET LONG, 3 INCH DIA. CEDAR OR P.T. WOOD STAKES.
  - G. HOSE: NEW, 2-PLY GARDEN HOSE NOT LESS THAN 1/2 INCH IN DIAMETER.
  - H. WEED CONTROL FABRIC: SOIL CHECK AS MANUFACTURED BY BRIGHTON BYPRODUCTS CO. INC, NEW BRIGHTON, PA; MIRASCAPE OR MIRAFI GEOSYNTHETIC PRODUCTS, NORCROSS, PA, OR APPROVED EQUIVALENT.
  - I. MULCH:
    - i. LAWN AREAS
      - oat or wheat straw, free of weeds, an alternative is wood fiber cellulose if hydroseeding is used.
    - ii. PLANT BED AREAS
      - ground or shredded hardwood bark, uncolored. no pieces over 2 inches greatest dimension. free from sawdust.
- 9. EXECUTION:
  - A. LANDSCAPE WORK SHALL BE UNDERTAKEN AS SOON AS SITE AREAS ARE AVAILABLE.
  - B. TOPSOIL SHALL BE SPREAD NO LESS THAN 4" OVER SUB-GRADE MATERIAL. SOIL AMENDMENTS SHALL BE THOROUGHLY MIXED INTO THE TOP 4" OF TOPSOIL, FOLLOWING THE SPECIFICATIONS STATED BELOW.
  - C. PERFORM FINE GRADING TO FINISHED ELEVATION ONLY IMMEDIATELY PRIOR TO PLANTING. PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN SURFACE, FREE OF DEPRESSIONS OR RIDGES WITH A UNIFORM LOOSE, FINE TEXTURE.
  - D. FERTILIZING:
    - i. THE SOIL SHALL BE TESTED FOR PH AND LIME ADDED AS NECESSARY. ALL AMENDMENTS SHALL BE CHECKED AND APPROVED BY LANDSCAPE ARCHITECT BEFORE AMENDMENTS ARE MADE.
    - ii. APPLY FERTILIZER AT RATE OF 4 LBS/1000 SF FOR LAWN AREAS.
  - E. LAWN:
    - i. LAWN SEED MIX: SEED AT THE RATE OF 5 TO 6 LBS PER 1,000 SF.
    - ii. TEMPORARY COVER SEED MIX: SEED AT THE RATE OF 3 TO 4 LBS PER 1,000 SF.
    - iii. TEMPORARY COVER SEED MIX TO BE APPLIED ONLY FOR LATE FALL OR SUMMER SOIL STABILIZATION OUTSIDE ALLOWED SEEDING PERIODS.
  - F. ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:
    - i. A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS/ACRE MIN. TO BE APPLIED ONCE SEEDING IS COMPLETE.
    - ii. WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY A HYDROSEEDER AT A RATE OF 2,000 LBS/ACRE.
  - G. ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.
  - H. ALL NEWLY PLANTED AREAS SHALL BE KEPT MOIST BY WATERING UNTIL GRASSES AND GROUND COVERS ARE WELL ESTABLISHED. THE LANDSCAPE CONTRACTOR MUST WATER PLANT MATERIAL WHEN NECESSARY FOR 60 DAYS AFTER INSTALLATION.
  - I. LAWNS ARE TO BE WARRANTED UNTIL THEY BECOME ESTABLISHED, UNTIL FINAL ACCEPTANCE, AND NOT LESS THAN 60 DAYS AFTER COMPLETION OF ALL WORK. TREES, SHRUBS, GROUND COVERS, AND PERENNIALS SHALL BE WARRANTED AGAINST DEFECTS INCLUDING POOR GROWTH AND DEATH, EXCEPT WHEN RESULTING FROM OWNER NEGLECT, INCIDENTS THAT ARE BEYOND THE CONTROL OF THE LANDSCAPE INSTALLER AND DAMAGE OR ABUSE BY OTHERS, FOR AT LEAST ONE FULL YEAR AFTER PROJECT COMPLETION.

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1	05/14/20	THIS SHEET ADDED.
rev.	date	description

1663 ROUTE 9 - GAS LAND - MESIER MOBIL

**LANDSCAPING DETAILS AND NOTES**

VILLAGE OF WAPPINGERS FALLS, DUTCHESS COUNTY, NEW YORK

designed	checked
LL	CPL
date	scale
03/12/20	AS NOTED
project no.	82010.00
sheet no.	<b>C570</b>

May 14, 2020

Mr. Tom Morris, Chairman  
Village of Wappingers Falls Planning Board  
2582 South Avenue  
Wappingers Falls, NY 12590

Re: 1663 Route 9 - GasLand, Proposed Site Plan  
(Tax Parcel 135601-6158-14-498418)  
Village of Wappingers Falls, Dutchess County, NY  
Chazen Project #82010.00

Dear Chairman Morris:

The Applicant appeared before your board on April 2, 2020 and was provided comments from your Planning and Engineering Consultants. The site plan drawings have been amended in response to these comments. Below is a point-by-point response to each of the comments received:

KC Engineering and Land Surveying, P.C. comments dated March 30, 2020:

EAF

1. Questions 5a, 5b, 6, 8b, & 8c need to be answered.

**Response: The responses have been provided.**

*Existing Survey*

1. There appear to be two sanitary sewer lines leaving the existing building. The line heading northeast is shown going through the area of underground gasoline tanks to a manhole which no longer exists. Applicant is to review and revise.

**Response: The survey has been updated to remove the sanitary sewer that is described above.**

*Sheet C130*

1. The existing ramp up to the sidewalk along the northerly side of the building will be within the unloading area for the handicapped parking space. Please clarify how access will be maintained.

**Response: The existing sidewalk and handicap parking area have been revised as shown on Sheets C130 and C140.**

2. Future submissions are to include proposed spot grades for the modified curbing and parking layout.

**Response: Spot grades have been included in this submission. Please see sheet C140.**

3. *The proposed ADA space must be 9 feet wide, minimum.*

**Response: The ADA space has been revised to be 9 feet wide.**

*Sheet C180*

1. *Proposed lighting levels at ground level are to be provided. This is to include a summary of min/max, average, etc. There is an existing overhead light on a pole at the corner of Route 9 and Mesier Ave., which should be taken into account.*

**Response: Proposed lighting levels, including a summary of min/max and average, are provided on sheet C190. Please note, there are exceedance of 0.25 foot candles along the property line adjoining Route 9 and Mesier Avenue due to the existing lighting in the NYSDOT ROW this office was asked to model.**

2. *Applicant has stated that lighting under the existing canopy will remain as-is. The Planning Board is asked to offer guidance on this item regarding intensity, color temp, etc.*

**Response: Canopy lighting information can be found on sheet C190.**

3. *Manufacturer cutsheets are to be provided for the proposed lights, including BUG ratings. Be advised that the Village requires an Uplighting value of "0".*

**Response: Cut sheets, including BUG ratings, have been provided in this submission.**

4. *Provide a detail for the proposed light pole base.*

**Response: A detail of the proposed light pole base has been provided on sheet C531.**

Four Corners Planning comments dated April 2, 2020:

1. *Proposed Project. The applicant proposes to modify and expand the uses in an existing 1,200 square foot, one-story building located on a  $\pm$  0.46 acre parcel that includes a gasoline station. The existing building currently houses an 800 square foot auto body repair shop and a 400 square foot convenience store. The auto body repair shop will be removed, and the entire building will be used for a convenience store. A 900 square foot building addition is proposed to the west and south sides of the building, bringing the convenience store to a total of 2,100 square feet in size. The number of fueling stations, which is currently 8, will remain the same, and the existing canopy will be renovated. Three additional off-street parking spaces are proposed, bringing the total number of parking spaces to nine. An existing shed will be removed. The project requires Site Plan approval from the Planning Board.*

**Response: Comment noted.**

2. *SEQR. The proposed project is an Unlisted action under SEQR. We will assist the Planning Board in identifying Involved agencies once further information has been provided for review. The following revisions should be made to the Part 1 EAF:*

- a. *Responses to Questions 5a and 5b, 6, 8b and 8c, 10, 11, and 17 should be provided. (Although text responses have been provided to some of these questions, the boxes for “yes” or “no” have not been checked.)*

**Response: The responses have been provided.**

3. *Use. A gasoline station and a retail use (which is defined as including a “convenience store”) are permitted uses in the CMU District subject to Site Plan approval.*

**Response: Comment noted.**

4. *Area Variances. It appears that the following area variances are required, subject to the Code Enforcement Officer/Zoning Administrator’s determination. The need for additional area variances may be identified once further material has been provided for review.*

- a. *Building height. A minimum of two stories is required in the CMU District and a one-story building addition is proposed.*

**Response: Comment noted, a variance will be sought.**

- b. *Front yard setbacks. The maximum permitted setback for a principal building from a principal and secondary frontage is 12 feet. The building addition front yard setbacks from Route 9 and Mesier Avenue exceed this maximum.*

**Response: Comment noted, a variance will be sought.**

- c. *Screening. Section 151-24H(2) requires that parking lots be screened from all streets or rights-of-way, and §151-24I(2) requires buffer planting between the parking lot and the street. Additional landscaping may be required to meet this requirement.*

**Response: Additional landscaping has been provided; see sheet C180.**

5. *Off-Street Parking. The off-street parking requirement for a gasoline station and a retail use in the CMU District is “per site plan review.” Recognized parking standards for convenience retail (characterized by high turnover) with a gasoline station range from 1 space/200 square feet to 1 space/250 square feet, which in this case would result in 8 to 10 parking spaces. Nine spaces are proposed, which is within the recommended range.*

**Response: Comment noted.**

6. *Signage. Details of all existing and proposed signs should be provided.*

**Response: Sign details have been provided in this submission.**

7. *Outdoor Lighting. Three building-mounted lighting fixtures and two freestanding fixtures are proposed. Manufacturer’s cut-sheets of the proposed fixtures should be provided. Cut-sheets should also be provided for the canopy fixtures since §151-12D10(a) requires that all outdoor lighting fixtures that do*

*not conform with the Zoning Law be brought into compliance by 2018 (i.e., within three years of adoption of the law). Color temperature is proposed at 3000K; a maximum of 2700K is recommended. A photometric plan for the existing and proposed fixtures should be submitted.*

**Response:** Cut sheets have been provided in this submission. The maximum color temperature used is 2700 K. The Providence Wall Sconce – LED fixtures will be special ordered to have color temperature 2700K. A photometric plan has also been provided as sheet C190.

8. *Pedestrian Access. We recommend that a pedestrian path be provided on site to connect the convenience store to the sidewalk along Route 9.*

**Response:** A sidewalk has been added to connect the convenience store to the sidewalk along Route 9; see sheet C130.

9. *Landscaping. We will provide comments on landscaping once additional information has been provided.*

**Response:** Comment noted.

10. *Refuse Container. Details of the refuse container should be provided.*

**Response:** Details of a refuse enclosure have been provided on sheet C531.

11. *Building Elevations, Materials Samples and Colors. Elevations for the proposed building addition and the renovations to the canopy should be provided, along with samples of all proposed materials and colors.*

**Response:** Building elevations and colors have been provided in an elevation prepared by Gillespie and Associates.

12. *239-m Review. The Site Plan application must be referred to Dutchess County Department of Planning and Development for review under General Municipal Law 239-m since the property is located within 500' of a State highway and a municipal boundary.*

**Response:** Comment noted.

13. *Public Hearing. A public hearing, if deemed necessary by the Planning Board, must be held within 62 days following the receipt of a complete application.*

**Response:** Comment noted.

14. *239-nn Notification. Notice of the public hearing, if held, must be sent to the Clerk of the Town of Wappinger at least ten (10) days prior to the hearing, in accordance with General Municipal Law § 239-nn.*

**Response:** Comment noted.

**We have also relocated the refuse enclosure to the northwest side of the site and provided additional landscaping surrounding the refuse enclosure. Additional landscaping was provided at the northeast**

**corner of the site near the proposed sign, around the stone pavers on the south side where the ice cooler and propane exchange are proposed, and southwest corner of the building.**

Attached are twelve (12) copies of the following items:

- Engineering Plan Set dated May 14, 2020;
- Lighting Cut Sheets;
- Short Environmental Assessment Form Part 1 with Figures and Attachments dated May 14, 2020; and
- Building Elevations and Material Samples/Colors.

Please place this item on the agenda of the June 4, 2020 Planning Board meeting. If you have any questions or need further information, please do not hesitate to contact me.

Sincerely,

A handwritten signature in cursive script that reads "Christopher Lapine".

Christopher Lapine, P.E.  
Director of Engineering

# PROV2

ARCHITECTURAL AREA/SITE

## FEATURES

- Reliable, uniform, glare free illumination
- Types II, III, IV, V and custom distributions
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral surge suppression
- 15 standard powder coat finishes
- Upgrade Kits



3000K and warmer CCTs only

## SPECIFICATIONS

### CONSTRUCTION

- All housing components aluminum 360 alloy, sealed with continuous silicone rubber gaskets
- Standard configurations do not require a flat lens, optional lenses is tempered glass
- All internal and external hardware is stainless steel
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidyl isocyanurate (TGIC) polyester powdercoat
- Optical bezel finish is match the luminaire housing

### LED/OPTICS

- Optical cartridge system consisting of a die cast heat sink, LED engine, TIR optics, gasket and bezel plate.
- Cartridge is easily disassembled to replace components. Optics are held in place without the use of adhesives.
- Molded silicone gasket ensures a weather-proof seal around each individual LED.
- Features revolutionary individual LED optical control based on high performance TIR optical designs.
- House Side Shield is available on Standard and Clear Lens options except any Type 5 distribution. House Side Shield is not available for any distribution using a Diffused Lens.

### INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

### ELECTRICAL

- Luminaires have integral surge protection, UL recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J
- Drivers are UL recognized with an inrush current maximum of <20.0 Amps maximum at 230VAC
- Drivers are not be compatible with current sourcing dimmers, consult factory for current list of known compatible dimming systems, approved dimmers include Lutron Diva AVTV, Lutron Nova NFTV and NTFTV
- Driver and surge suppressor are mounted to a prewired tray with quick disconnects that may be removed from the gear compartment

## PROVIDENCE®



Providence Medium

### RELATED PRODUCTS

[PROL2](#)

[PROL2-LK](#)

[PROS](#)

[PROB](#)

### CONTROLS

- Egress adapter(s) shall slip over a 4"/100mm DIA. pole with the luminaire or arm slipping over the adapter to add a total of 4.5"/114mm to the overall height. Adapter(s) shall be prewired, independently rotatable 359°, and have a cast access cover with an integral lens and lanyard.
- Photocell adapter shall include an internal twist lock receptacle. Photocell by others.
- Egress adapter shall require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15°-45°. Adapter shall have a socket that accepts miniature bi-pin MR16 lamps up to 50 watts, lamp by others

### CERTIFICATIONS

- ETL listed under UL 1598 and CSA C22.2 No. 250.0-08 for wet locations

### WARRANTY

- See [HLI Standard Warranty](#) for additional information

KEY DATA	
LUMEN RANGE	1,838–7,740
WATTAGE RANGE	37.8–70.3
EFFICACY RANGE (LPW)	44.9–118.9
INPUT CURRENT RANGE (mA)	335/510/615 mA
WEIGHT	29 lbs / 13.15 kg
EPA	1.33

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## ORDERING GUIDE

Example: PROV2-36L-325-3K7-4W-BL-SLA1-DF-HS-AD5-UNV

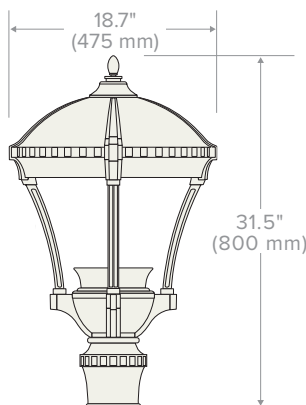
CATALOG #

## HOUSING

PROV2											
Housing		LED Quantity		Lumen output		CCT/CRI		Distribution		Finish	
PROV2	Providence Medium 2.0	36L	36 LED	295	450mA Microcore Crossover	5K7	5000K, 70 CRI	1	Type I	AGN	Antique Green
				325	325mA, 4500 Lumens	4K7	4000K, 70 CRI	2	Type II	BL	Black
				510	510mA, 6500 Lumens	3K7	3000K, 70 CRI	3	Type III	BLT	Matte Black
				525	700mA Microcore Crossover	AMB	Amber-595nm Peak <sup>1</sup>	4W	Type IV Wide	CRT	Corton
				615	615mA, 7500 Lumens			5Q	Type V Square	DB	Dark Bronze
								5W	Type V Wide	DGN	Dark Green
										GT	Graphite
										LG	Light Gray
										MAL	Matte Aluminum
										MDB	Metallic Bronze
										MG	Medium Gray
										TT	Titanium
				VBU	Verde Blue						
				WDB	Weathered Blue						
				WH	White						
				CC	Custom Color <sup>4</sup>						

Mounting		Optional Lens		Options		Mounting Options		Voltage	
Pole Mount	Slide over 4" OD Pole	CL	Clear Lens	HS	House Side Shield <sup>3</sup>	AD5	Adaptor-5" OD Pole	UNV	120-277V
STND_MNT	Standard Mount	DL	Diffused Lens <sup>2</sup>	PFN	Brass Colored Finish	PCA-C	Photocontrol Adaptor Contemporary		
PT23	PT23			SPK	Cast Spikes	EPA-C	Egress Adaptor Contemporary		
PT3	PT3			BPS	Brass Colored Struts				
PT4	PT4			SF	Single Fuse (120, 277)				
PM1	PM1			DF	Double Fuse (208, 240)				
PM2	PM2								
PM3	PM3								
SLA1	SLA1								
TRA5U-4	TRA5U-4								
TRA6U-4	TRA6U-4								
TRA8U-4	TRA8U-4								
TRA55-4	TRA55-4								
TRA5U-5	TRA5U-5								
TRA6U-5	TRA6U-5								
TRA8U-5	TRA8U-5								
TRA55-5	TRA55-5								
TRA56-5	TRA56-5								
Wall Mount									
WMA55	WMA55								
WMA56	WMA56								

## DIMENSIONS



Notes:

- Wild life friendly
- Diffused Lens <sup>2</sup> is available only with T3 and T5W distribution
- House side Shield is available only with T1, T2, T3 and T4W distributions
- Consult factory for custom color, marine and corrosive finish options

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## DELIVERED LUMENS

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI					4000K 70CRI					5000K 70CRI				
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
36	295	450mA Microcore Crossover	None	1	3807	1	0	1	111.6	3960	1	0	1	116.1	4128	1	0	1	121.0
				2	3596	1	0	1	105.4	3740	1	0	1	109.7	3899	1	0	1	114.3
				3	3471	1	0	1	101.8	3611	1	0	1	105.9	3764	1	0	1	110.4
				4W	3501	1	0	1	102.7	3642	1	0	1	106.8	3796	1	0	1	111.3
				1-HS	2355	0	0	1	69.1	2450	0	0	1	71.8	2554	0	0	1	74.9
				2-HS	2049	0	0	1	60.1	2132	0	0	1	62.5	2222	0	0	1	65.2
				3-HS	1981	0	0	1	58.1	2061	0	0	1	60.4	2148	0	0	1	63.0
				4W-HS	2044	0	0	1	59.9	2126	0	0	1	62.3	2216	0	0	1	65.0
				5Q	3818	2	0	1	112.0	3971	2	0	1	116.5	4140	2	0	1	121.4
				5W	3529	2	0	1	103.5	3670	2	0	1	107.6	3826	2	0	1	112.2
			Clear	1-CL	3242	1	0	1	95.0	3373	1	0	1	98.8	3516	1	0	1	103.0
				2-CL	3062	1	0	1	89.7	3186	1	0	1	93.3	3321	1	0	1	97.3
				3-CL	2957	1	0	1	86.6	3075	1	0	1	90.1	3206	1	0	1	93.9
				4W-CL	2982	1	0	1	87.4	3102	1	0	1	90.9	3233	1	0	1	94.7
				1-CL-HS	2006	0	0	1	58.8	2087	0	0	1	61.1	2175	0	0	1	63.7
				2-CL-HS	1746	0	0	1	51.1	1816	0	0	1	53.2	1893	0	0	1	55.5
				3-CL-HS	1688	0	0	1	49.4	1755	0	0	1	51.4	1830	0	0	1	53.6
				4W-CL-HS	1740	0	0	1	51.0	1810	0	0	1	53.0	1887	0	0	1	55.3
				5Q-CL	3252	2	0	1	95.3	3382	2	0	1	99.1	3526	2	0	1	103.3
				5W-CL	3005	2	0	1	88.1	3126	2	0	1	91.6	3259	2	0	1	95.5
			Diffused	3-DL	2243	1	0	1	65.8	2334	1	0	1	68.4	2433	1	0	1	71.3
				5W-DL	2280	1	0	1	66.9	2372	1	0	1	69.6	2473	1	0	1	72.5
	325	4500	None	1	4147	1	0	1	110	4313	1	0	1	114	4496	1	0	1	118.9
				2	3917	1	0	1	104	4074	1	0	1	108	4247	1	0	1	112.3
				3	3781	1	0	1	100	3933	1	0	1	104	4100	1	0	1	108.4
				4W	3813	1	0	1	101	3967	1	0	2	105	4135	1	0	2	109.3
				1-HS	2566	0	0	1	68	2669	0	0	1	71	2782	0	0	1	73.6
				2-HS	2232	0	0	1	59	2322	0	0	1	61	2421	0	0	1	64.0
				3-HS	2158	0	0	1	57	2245	0	0	1	59	2340	0	0	1	61.9
				4W-HS	2226	0	0	1	59	2315	0	0	1	61	2414	0	0	1	63.8
				5Q	4158	2	0	1	110	4326	2	0	1	114	4509	2	0	1	119.2
				5W	3844	2	0	1	102	3998	2	0	1	106	4168	3	0	1	110.2
			Clear	1-CL	3532	1	0	1	93.4	3674	1	0	1	97.1	3829	1	0	1	101.3
				2-CL	3336	1	0	1	88.2	3470	1	0	1	91.7	3617	1	0	1	95.6
				3-CL	3220	1	0	1	85.2	3350	1	0	1	88.6	3492	1	0	1	92.3
				4W-CL	3248	1	0	1	85.9	3379	1	0	1	89.3	3522	1	0	1	93.1
				1-CL-HS	2185	0	0	1	57.8	2273	0	0	1	60.1	2369	0	0	1	62.6
				2-CL-HS	1901	0	0	1	50.3	1978	0	0	1	52.3	2062	0	0	1	54.5
				3-CL-HS	1838	0	0	1	48.6	1912	0	0	1	50.6	1993	0	0	1	52.7
				4W-CL-HS	1896	0	0	1	50.1	1972	0	0	1	52.1	2056	0	0	1	54.4
				5Q-CL	3542	2	0	1	93.6	3684	2	0	1	97.4	3840	2	0	1	101.5
				5W-CL	3274	2	0	1	86.6	3405	2	0	1	90.0	3550	2	0	1	93.9
			Diffused	3-DL	2459	1	0	1	65.0	2558	1	0	1	67.7	2666	1	0	1	70.7
				5W-DL	2469	1	0	1	65.3	2568	1	0	1	67.9	2677	1	0	1	70.9

## DELIVERED LUMENS (CONTINUED)

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI					4000K 70CRI					5000K 70CRI				
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
36	510	6500	None	1	6081	1	0	1	104.1	6326	1	0	1	108	6594	1	0	1	113
				2	5744	1	0	1	98.3	5975	1	0	1	102	6228	1	0	1	107
				3	5545	1	0	2	94.9	5768	1	0	2	99	6013	1	0	2	103
				4W	5593	1	0	2	95.7	5818	1	0	2	100	6064	1	0	2	104
				1-HS	3763	0	0	1	64.4	3914	0	0	1	67	4080	0	0	1	70
				2-HS	3274	0	0	1	56.1	3406	0	0	1	58	3550	0	0	1	61
				3-HS	3165	0	0	1	54.2	3292	0	0	1	56	3432	0	0	1	59
				4W-HS	3265	0	0	1	55.9	3396	0	0	1	58	3540	0	0	1	61
				5Q	6099	2	0	1	104.4	6344	2	0	1	109	6613	3	0	1	113
				5W	5637	3	0	1	96.5	5864	3	0	1	100	6112	3	0	1	105
			Clear	1-CL	5180	1	0	1	88.7	5388	1	0	1	92.2	5616	1	0	1	96.2
				2-CL	4892	1	0	1	83.8	5089	1	0	1	87.1	5305	1	0	1	90.8
				3-CL	4723	1	0	1	80.9	4913	1	0	1	84.1	5121	1	0	1	87.7
				4W-CL	4763	1	0	2	81.6	4955	1	0	2	84.8	5165	1	0	2	88.4
				1-CL-HS	3205	0	0	1	54.9	3334	0	0	1	57.1	3475	0	0	1	59.5
				2-CL-HS	2788	0	0	1	47.7	2901	0	0	1	49.7	3024	0	0	1	51.8
				3-CL-HS	2696	0	0	1	46.2	2804	0	0	1	48.0	2923	0	0	1	50.0
				4W-CL-HS	2780	0	0	1	47.6	2892	0	0	1	49.5	3015	0	0	1	51.6
				5Q-CL	5194	2	0	1	88.9	5403	2	0	1	92.5	5632	2	0	1	96.4
				5W-CL	4801	3	0	1	82.2	4994	3	0	1	85.5	5206	3	0	1	89.1
			Diffused	3-DL	3584	1	0	1	61.4	3728	1	0	1	63.8	3886	1	0	1	66.5
				5W-DL	3615	2	0	1	61.9	3760	2	0	1	64.4	3919	2	0	1	67.1
	525	700mA Microcore Crossover	None	1	6235	1	0	1	103.6	6486	1	0	1	107.7	6761	1	0	1	112.3
				2	5889	1	0	1	97.8	6126	1	0	1	101.8	6386	1	0	1	106.1
				3	5686	1	0	2	94.4	5914	1	0	2	98.2	6165	1	0	2	102.4
				4W	5734	1	0	2	95.3	5965	1	0	2	99.1	6218	1	0	2	103.3
				1-HS	3858	0	0	1	64.1	4013	0	0	1	66.7	4183	0	0	1	69.5
				2-HS	3357	0	0	1	55.8	3492	0	0	1	58.0	3640	0	0	1	60.5
				3-HS	3245	0	0	1	53.9	3376	0	0	1	56.1	3519	0	0	1	58.5
				4W-HS	3347	0	0	1	55.6	3482	0	0	1	57.8	3629	1	0	1	60.3
				5Q	6253	2	0	1	103.9	6504	2	0	1	108.0	6780	3	0	1	112.6
				5W	5779	3	0	1	96.0	6012	3	0	1	99.9	6267	3	0	1	104.1
			Clear	1-CL	5311	1	0	1	88.2	5524	1	0	1	91.8	5758	1	0	1	95.7
				2-CL	5016	1	0	1	83.3	5218	1	0	1	86.7	5439	1	0	1	90.3
				3-CL	4842	1	0	1	80.4	5037	1	0	2	83.7	5251	1	0	2	87.2
				4W-CL	4884	1	0	2	81.1	5080	1	0	2	84.4	5296	1	0	2	88.0
				1-CL-HS	3286	0	0	1	54.6	3418	0	0	1	56.8	3563	0	0	1	59.2
				2-CL-HS	2859	0	0	1	47.5	2974	0	0	1	49.4	3100	0	0	1	51.5
				3-CL-HS	2764	0	0	1	45.9	2875	0	0	1	47.8	2997	0	0	1	49.8
				4W-CL-HS	2851	0	0	1	47.4	2965	0	0	1	49.3	3091	0	0	1	51.3
				5Q-CL	5326	2	0	1	88.5	5540	2	0	1	92.0	5775	2	0	1	95.9
				5W-CL	4922	3	0	1	81.8	5120	3	0	1	85.1	5337	3	0	1	88.7
			Diffused	3-DL	3675	1	0	1	61.0	3822	1	0	1	63.5	3984	1	0	1	66.2
				5W-DL	3735	2	0	1	62.0	3885	2	0	1	64.5	4050	2	0	1	67.3

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## DELIVERED LUMENS (CONTINUED)

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI					4000K 70CRI					5000K 70CRI				
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
36	615	7500	None	1	7118	1	0	1	101.3	7404	1	0	1	105.4	7718	1	0	1	109.9
				2	6723	1	0	1	95.7	6994	1	0	2	99.6	7290	1	0	2	103.8
				3	6491	1	0	2	92.4	6752	1	0	2	96.1	7038	1	0	2	100.2
				4W	6546	1	0	2	93.2	6809	1	0	2	96.9	7098	1	0	2	101.0
				1-HS	4404	0	0	1	62.7	4581	0	0	1	65.2	4775	0	0	1	68.0
				2-HS	3832	0	0	1	54.5	3986	0	0	1	56.7	4155	0	0	1	59.1
				3-HS	3705	0	0	1	52.7	3854	0	0	1	54.9	4017	0	0	1	57.2
				4W-HS	3821	1	0	1	54.4	3975	1	0	1	56.6	4143	1	0	1	59.0
				5Q	7138	3	0	1	101.6	7425	3	0	1	105.7	7740	3	0	1	110.2
				5W	6598	3	0	1	93.9	6863	3	0	1	97.7	7154	3	0	1	101.8
			Clear	1-CL	6063	1	0	1	86.3	6306	1	0	1	89.8	6574	1	0	1	93.6
				2-CL	5726	1	0	1	81.5	5956	1	0	1	84.8	6209	1	0	1	88.4
				3-CL	5528	1	0	1	78.7	5750	1	0	1	81.9	5994	1	0	2	85.3
				4W-CL	5575	1	0	2	79.4	5800	1	0	2	82.6	6045	1	0	2	86.1
				1-CL-HS	3751	0	0	1	53.4	3902	0	0	1	55.5	4067	0	0	1	57.9
				2-CL-HS	3264	0	0	1	46.5	3395	0	0	1	48.3	3539	0	0	1	50.4
				3-CL-HS	3155	0	0	1	44.9	3282	0	0	1	46.7	3421	0	0	1	48.7
				4W-CL-HS	3254	0	0	1	46.3	3385	0	0	1	48.2	3529	0	0	1	50.2
				5Q-CL	6080	2	0	1	86.5	6324	2	0	1	90.0	6592	2	0	1	93.8
				5W-CL	5619	3	0	1	80.0	5845	3	0	1	83.2	6093	3	0	1	86.7
			Diffused	3-DL	4195	1	0	1	59.7	4364	1	0	1	62.1	4549	1	0	1	64.7
				5W-DL	4264	2	0	1	60.7	4436	2	0	1	63.1	4624	2	0	1	65.8

## PHOTOMETRY

### PROV2-36L-615-4K7-1

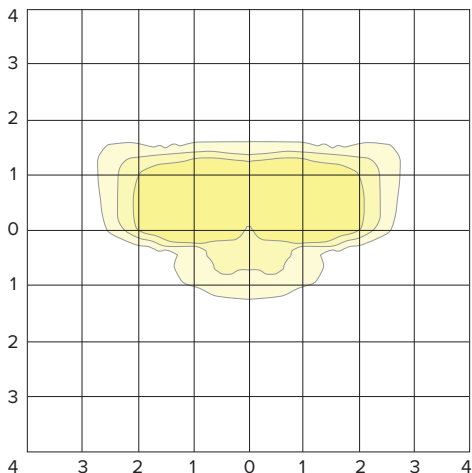
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	7405
Watts	70.25
Efficacy	105.4
IES Type	II
BUG Rating	B1-U0-G1
Mounting Height	15 ft
Grid Scale	15 ft

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	6403	86%
Downward House Side	1002	14%
Downward Total	7405	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	7405	100%

#### ISOFOOT CANDLE PLOT



15' Mounting Height

1.0 FC  
0.5 FC  
0.2 FC

### PROV2-36L-615-4K7-2

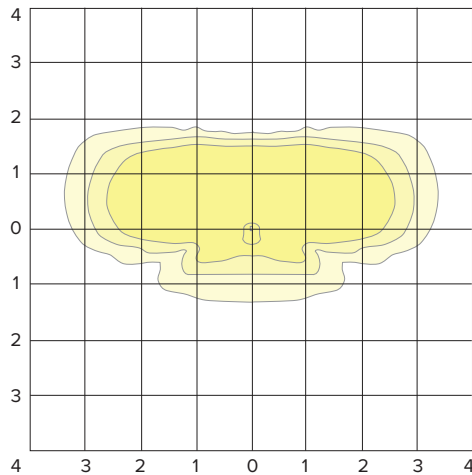
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	6994
Watts	70.25
Efficacy	99.6
IES Type	II
BUG Rating	B1-U0-G2
Mounting Height	15 ft
Grid Scale	15 ft

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	5665	81%
Downward House Side	1329	19%
Downward Total	6994	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	6994	100%

#### ISOFOOT CANDLE PLOT



15' Mounting Height

1.0 FC  
0.5 FC  
0.2 FC

### PROV2-36L-615-4K7-3

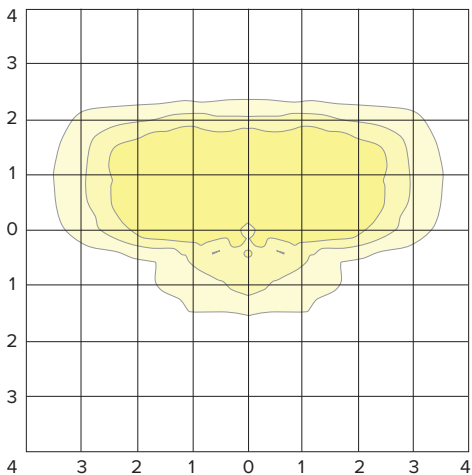
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	6752
Watts	70.25
Efficacy	96.1
IES Type	III
BUG Rating	B1-U0-G2
Mounting Height	15 ft
Grid Scale	15 ft

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	5552	82%
Downward House Side	1200	18%
Downward Total	6752	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	6752	100%

#### ISOFOOT CANDLE PLOT



15' Mounting Height

1.0 FC  
0.5 FC  
0.2 FC

## PHOTOMETRY

### PROV2-36L-615-4K7-4W

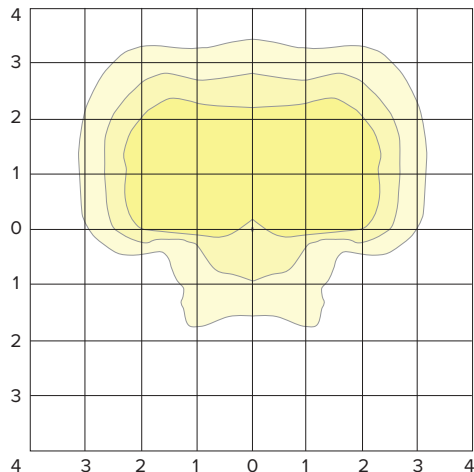
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	6809
Watts	70.25
Efficacy	96.9
IES Type	IV Wide
BUG Rating	B1-U0-G2
Mounting Height	15 ft
Grid Scale	15 ft

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	5802	85%
Downward House Side	1007	15%
Downward Total	6809	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	6809	100%

#### ISOFOOT CANDLE PLOT



### PROV2-36L-615-4K7-5Q

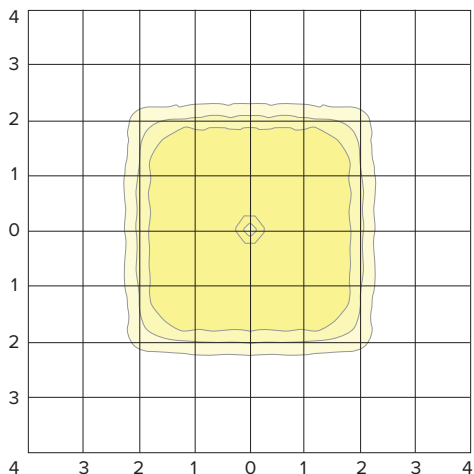
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	7425
Watts	70.25
Efficacy	105.7
IES Type	VS
BUG Rating	B3-U0-G1
Mounting Height	15 ft
Grid Scale	15 ft

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	3713	50%
Downward House Side	3713	50%
Downward Total	7425	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	7425	100%

#### ISOFOOT CANDLE PLOT



### PROV2-36L-615-4K7-5W

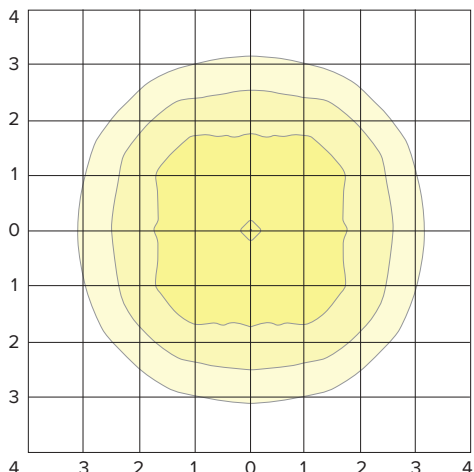
#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	6863
Watts	70.25
Efficacy	97.7
IES Type	VS
BUG Rating	B3-U0-G1
Mounting Height	15 ft
Grid Scale	15 ft

#### ZONAL LUMEN SUMMARY

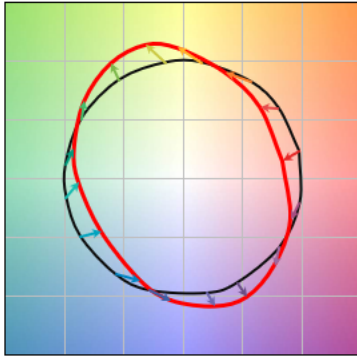
Zone	Lumens	% Luminaire
Downward Street Side	3432	50%
Downward House Side	3432	50%
Downward Total	6863	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	6863	100%

#### ISOFOOT CANDLE PLOT



## TM-30 DATA

### COLOR VECTOR GRAPHIC

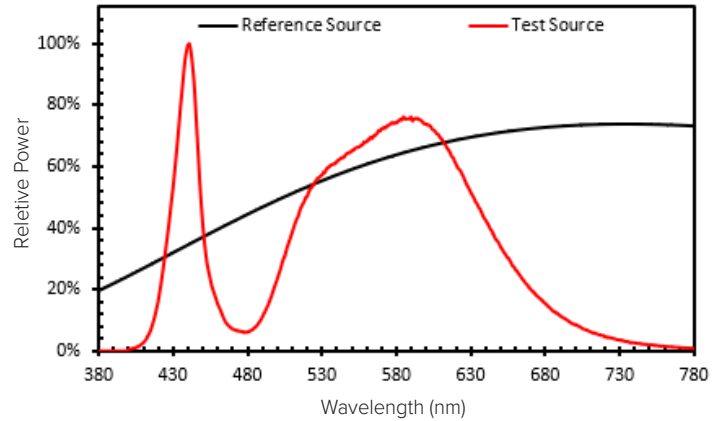


— Reference Illuminant — Test Source

### TEST SOURCE

MBM TEST RESULTS	
CCT (K)	3947
CIE Ra	72
Duv	0.0004
x	0.3831
y	0.3793
Rf	68
Rg	99

### SPECTRAL POWER DISTRIBUTION COMPARISON



## ELECTRICAL DATA

Electrical											Dimming				
Light Engine	System Current	System Watts	Line Voltage		Amps AC				Min. Power Factor	Max THD (%)	Dimming Range	Source current out of 0-10V		Absolute voltage range on 0-10V (+)	
			VAC	HZ	120	208	240	277				Min	Max	Min	Max
36	295 mA	34.1	120-277	50/60	0.28	0.16	0.14	0.12	>0.9	20	10% to 100%	0mA	1mA	0V	10V
	325 mA	37.8			0.32	0.18	0.16	0.14							
	510 mA	58.4			0.49	0.28	0.24	0.21							
	525 mA	60.2			0.50	0.29	0.25	0.22							
	615 mA	70.3			0.59	0.34	0.29	0.25							

TM-21 LIFETIME CALCULATION - PROJECTED LUMEN MAINTENANCE (25°C / 77°F)						
HOURS	0	25,000	36,000	50,000	100,000	REPORTED L70
Projected Lumen Maintenance	100%	98.0%	96.9%	95.4%	90.5%	> 60,000

AMBER MULTIPLIER	
CCT	MULTIPLIER
5000K	1
AM	0.1727

2700K MULTIPLIER	
CCT	MULTIPLIER
5000K	1
2700K	0.897

LENS OPTION MULTIPLIER	
CLEAR LENS	DIFFUSED LENS
0.8517	0.6462

# PW59

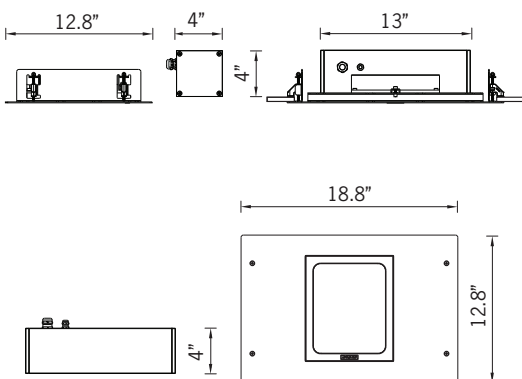
## PowerVision 5 Lowbay

microVOS  
TECHNOLOGY

LIGMAN  
LIGHTING USA



27w - 3484lm | 38w - 4885lm | 54w - 6599lm  
IP66 • Suitable For Wet Locations  
IK07 • Impact Resistant (Vandal Resistant)  
Weight 14.3 lbs



### Construction

#### Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

#### Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

#### Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

#### Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

#### Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

#### BUG Rating

B1 - U0 - G1

#### Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

#### Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

#### Hardware

Provided Hardware is Marine grade 316 Stainless steel.

#### Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

#### Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

#### Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

#### Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Modular area-lighting ceiling-recessed fixture family. Technical, powerful and flexible high-bay lighting delivery instruments designed and built to tackle all environments.**

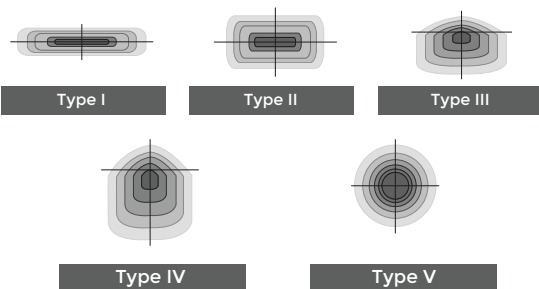
Engineered from the base up with environmental consciousness and energy efficiency in mind, LIGMAN's PowerVision series, developed specifically to fulfill the demanding conditions of industry, warehouse, manufacturing and production hall applications. Industry leading optical technology that minimizes light pollution and optimizes light distribution ensures that only the targeted areas are illuminated.

Color temperature 2700K, 3000K, 3500K and 4000K, LED CRI >80 and life time 50,000 Hours. A high quality aluminum extrusion not only houses the control gear and the light modules but it also acts as the primary thermal management device, eliminating the need for additional and sometimes bulky heat sinks while improving the overall performance and extending the life span of the LEDs.

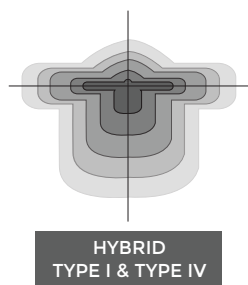
Marine grade 316 stainless steel fasteners. Durable memory retentive silicone rubber gasket and impact resistant tempered glass diffuser. The luminaire is treated with a nickel and zinc phosphate chemical chromatised protection before powder coating, ensuring high corrosion resistance.

microVOS  
TECHNOLOGY

Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



# PW59

PowerVision 5 Lowbay

PROJECT					DATE	
QUANTITY		TYPE		NOTE		

ORDERING EXAMPLE || PW59 - GP028 - M - W30 - 02 - 120/277v - Options

PW59					
LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE	
GP028 - 27w LED 3484 Lumens GP042 - 38w LED 4885 Lumens GP056 - 54w LED 6599 Lumens	M - Medium 27° W - Wide 51° VW - Very Wide 63° EW - Extra Wide 122° T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

ADDITIONAL OPTIONS		

NAT - Natatorium Rated  
DIM - 0-10v Dimming  
F - Frosted Lens  
AMB - Turtle Friendly Amber LED

## PowerVision Product Family





**VILLAGE OF WAPPINGERS FALLS  
BUILDING DEPARTMENT  
2582 SOUTH AVENUE  
WAPPINGERS FALLS, NY 12590  
PHONE: (845) 297-5277  
FAX: (845) 296-0379**

## SIGN PERMIT APPLICATION

Name of Applicant  
Address

Nube LORENA GUARICELA  
268 Spring St 2 Floor  
DSSIMING NY 10562

Owner of Property  
Address

Christopher Santomero  
1554-1564 Route 9 LL  
1 NEW KING ST SUIT 201 West HARRIS NY 10604

Location of Property

1562 Route 9 SUIT A

Linear Frontage of building

Zoning District

WAPPINGERS FALLS

Types of Signs

☐ Post & Arm ☐ Projecting ☐ Seasonal ☐ Multi-Tenant  
☐ Wall ☒ Window ☐ Awning ☐ Free Standing ☐ Sidewalk

Sign Design

All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location

All applications must be accompanied by a plan, drawn to scale showing the following:

**Freestanding signs-** the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.

**Awning, Window, Wall or Projecting signs-** the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications

Type plastic Placement \_\_\_\_\_

Landscaping ☐ Yes ☒ No Size of Sign 3.5 Height 2.5 Width = 8.75 sq ft

☐ Single Faced ☐ Double Faced ☐ Lighted

Material ☐ Wood ☐ Metal plastic other Durable

vinyl

WINDOW SIZE

5'6" x 6'6" = 35.75 sq ft

ALLOWED: 8.9375 sq ft

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- ☒ Application form (ten sets)
- ☒ Sign design drawings (ten sets)
- ☒ Color swatch (if any color other than black/white)
- ☒ Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Nube GUARICELA

Applicant Signature [Signature] Date 04/28/20

Owner of Property Signature [Signature] Date 04/28/2020

**THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER**

Sign Permit Granted: Date \_\_\_\_\_ Permit # Issued \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Receipt # \_\_\_\_\_ Date \_\_\_\_\_

Sign Permit Application referred to Planning Board Date \_\_\_\_\_

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

VARIACIONES

ECUATORIANAS

1562

Route of Suit A

Window  
CARGO SHIPPING  
ROPA TIPICA  
PAGOS DE TELEFONO

Letras Azules

Door

Window  
CORPORACIONES  
UNIDAS  
CLOTHING  
Estampados

Window  
3.5  
VARIACIONES  
ECUATORIANAS  
ENVIOS DE DINERO  
PAQUETES  
PASAJES.

# VARIETADES ECUATORIANAS

VINYL COLOR SAMPLE

FIRST  
CHOICE →



SECOND  
CHOICE →

