

VILLAGE OF WAPPINGERS FALLS  
Offices of Planning/Zoning  
2582 South Avenue Wappingers Falls, NY 12590  
(845) 297-5277 Fax: (845) 296-0379

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**AGENDA OF THE PLANNING BOARD**

**July 1, 2021**

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The Planning Board of the Village of Wappingers Falls will hold a meeting at the American Legion Hall, 7 Spring Street, Wappingers Falls, on July 1, 2021, beginning at 7 p.m. A continued public hearing and a public hearing are scheduled for this meeting.

The agenda is as follows:

**ROLL CALL**

**APPROVAL OF JUNE 10, 2021 MINUTES**

**CONTINUED PUBLIC HEARING**

**10 MARKET STREET**

**10 Market Street (Grid #6158-14-300255) – JSK Rentals LLC (Jeffrey Knipe) (Owner and Applicant), Michael Gillespie of M. Gillespie & Associates Consulting Engineering P.L.L.C. (Engineer) – Reconstruction.**

This property is located in the Village Commercial (VC) zoning district. The applicant is proposing the reconstruction of a three (3) story mixed-use building consisting of four (4) commercial spaces on the ground level and ten (10) dwelling units on the second and third levels.

**PUBLIC HEARING**

**2602 SOUTH AVE**

**2602 South Avenue (Grid #6158-18-342140) – Jeffrey A. Smith and Natalie Smith (Owners and Applicants) – Lot Line Adjustment.**

This property is located in the Village Residential (VR) zoning district. The applicants are seeking a lot line adjustment.

## **CONTINUED APPLICATIONS**

### **2695 W MAIN STREET**

**2695 W Main Street (Grid #6158-14-277339) – HAJUL LLC (Owner), Richard Hollister (Applicant), Day Stokosa Engineering P.C. (Engineer) – Site Plan.**

This property is located in the Village Commercial (VC) zoning district. The applicant is proposing to demolish the top 2 floors of the building and reconstruct them to include one 2-bedroom apartment on the third floor, two 1-bedroom apartments on the second floor, and commercial space on the ground floor.

### **9 S MESIER AVENUE**

**9 S Mesier Avenue (Grid #6158-18-384202) – Centurion Realty Management, LLC (Joe Pettinella and Albert Pettinella) (Owners and Applicants), Al Cappelli (Architect) – Change of Use.**

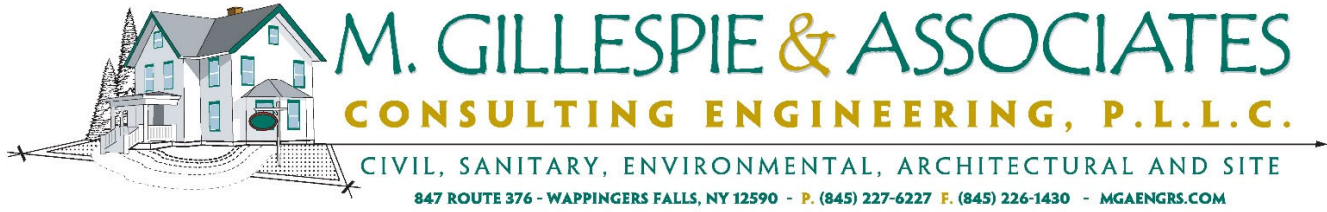
This property is located in the Village Mixed (VM) zoning district. The applicant is proposing converting the existing school annex into a cultural center of performing and cultural arts.

## **NEW APPLICATIONS**

### **HEALTH QUEST URGENT MEDICAL**

**1530 Route 9 (Grid #6158-19-605079) – Health Quest Urgent Medical (Owner), Amber Smith of Expedite the Diehl (Applicant) – New Signs.**

This property is located in the Commercial Mixed Use (CMU) zoning district. The applicant is proposing to change in-kind wall and multitenant signs and install a new window sign.



June 16, 2021

Village of Wappingers Falls  
ATTN: Mercedes Perez, Secretary to Planning and Zoning  
2582 South Avenue  
Wappingers Falls, NY 12590

Re: ***Reconstruction of (3) story mixed-use development (commercial and 10 dwelling units  
10-16 Market Street –  
V/ Wappingers Falls***

Dear Chairman and Board members:

Please find enclosed within this submission the following:

- Five (5) copies of plan set (sheets 1 - 4) dated last revised June 15, 2021
- Five (5) copies of Dutchess County Planning Department Response Letter
- Five (5) copies of Four Corners Planning Response Letter
- Five (5) copies of KC Engineering Response Letter
- Five (5) copies of V. Wappingers Submittal Letter

If you have any additional questions or concerns, please do not hesitate to call. Thank You.

Very truly yours,

A handwritten signature in black ink, appearing to read "MEG", written over a light blue horizontal line.

Michael E. Gillespie, P.E.  
M. Gillespie & Associates, Consulting Engineering, PLLC

cc: file

cg:MEG



June 15, 2021

Mr. Tom Morris, Chairperson  
And Village of Wappingers Falls Planning Board  
Village Hall  
2582 South Avenue  
Wappingers Falls, NY 12590

Re: **ZR21-147, 10 Market Street Reconstruction of Mixed-Use Building**  
**Lot: 300255, 10 Market St**  
**V/ Wappingers Falls**

SENT VIA HAND DELIVERY – 5 pages + attachments

Dear Planning Board Chairman Morris and Members of the Planning Board -

Please see enclosed within this submission the following:

- Five (5) copies of plan set (sheets 1 - 4) dated last revised June 15, 2021

This office is in receipt of a comment letter from KC Engineering and Land Surveying, P.C. dated May 5, 2021. The plans / report has been revised accordingly and I offer the following formal responses –

#### **Comments:**

1. Applicant is to verify the sizes and locations of the existing water services and sewer laterals to ensure they are sufficient for the intended residential and commercial uses. This also applies to a sprinkler system if one is warranted; a new fire line connection may be needed, and the Village Fire Department is to be consulted.  
*Since a sprinkler system is needed, more information is required. We await further information for review.*

**Response:** The reconstructed building will require a sparkler system for the dwelling units. The size of the water service will be determined based on the Village water systems pressure, and volume at the curb. The Applicant has coordinated with the Village DPW and received the as-builts for the water, sewer, and sewer retirement.

2. Future submissions shall include:

- a. Lighting plan for building exterior. All lighting is to conform to Section 151-12 of Village Code.

*The lighting plan needs footcandle spot measurements, min/max/average lighting levels, color temperature, demonstrate dark sky compliance, etc. All that is shown are several 2 fc isolumens with no apparent light spread beyond them. More information is needed.*

- b. Appropriate water and sewer details.

*Water connection detail shall conform to the "Typical Water Service Connection Detail" provided in Appendix A of Village Code. An appropriate metering detail is to be added.*

- c. Proposed location for gas service.

*It is unclear of the proposed location for the gas connection is on the Applicant's property. The exact location is to be clarified.*

- d. Sidewalk and pavement restoration details.

*Provide a pavement restoration detail.*

- e. Snow storage areas for the rear parking area.

*Comment satisfied.*

- f. Provisions for a grease interceptor, if food service facilities are proposed for the commercial space.

*Planning Board to determine if this item can be deferred to a future date, as the actual proposed uses are not yet defined, or if the need to depict provisions for grease interceptor(s) are needed for this application.*

**Response:** A note has been added to Sheet 1 of 4 and Sheet 2 of 4 specifying that all lighting will conform to the Village Code. Water and sewer details are indicated on Sheet 2 of 4. Proposed connection to natural gas and meters is shown on Proposed Site Plan Sheet 1 of 4. Sidewalk restoration detail is shown on Sheet 2 of 4. Snow storage areas are shown on the plans, Sheet 1 of 4 and Sheet 2 of 4. The ground level commercial area has potential to have a restaurant use. The building covers the entire site; therefore, an approval from the Village Board may be required to have an internal grease trap if and when the time is appropriate.

#### **New Comments:**

1. There needs to be overall coordination between the Applicant and Village, given the tightness of the parcel. The Village DPW is to be consulted.

**Response:** Village DPW has provided Applicant with as-builts of sewer and water, and sewer retirement. Further coordination between the Applicant and the Village regarding the 12 FT alley on the north of the property will occur when the time is appropriate.

2. All sheets in the plan set are to have a consecutive numbering system ( 1 of x, 2 of x). and the first sheet is to have a sheet listing.

**Response:** Plan set has been renumbered as Sheet 1 of 2, Sheet 2 of 2, and Sheet 3 of 4. Sheet 1 of 4 includes plan set table of contents list.

3. The "Existing and Proposed Site Plan" is to be separated into one existing conditions plan and one proposed conditions for clarity.

**Response:** Existing Conditions Site Plan and Proposed Ground Level Floor Site Plan are shown separately on Sheet 1 of 4.

4. The property boundary is to be shown on the "Ground Level Floor Plan." (Sheet 1 of 4).

**Response:** Property boundary shown on Existing & Proposed Site Plans on Sheet 1 of 4.

5. "Ground Level Floor Plan" shows what appears to be a one foot gap between the north face of the new building and the Village walkway. Also along the southerly building line and the walkway there appears to be a 30 inch gap. These gaps would pose a hazard and cannot remain. Plans are to be revised to address this.

**Response:** Gaps between the new face of the building and the existing conditions will be addressed prior to construction as Applicant and the Village coordinate.

6. Building connections to the exterior walkways need to be clarified.

**Response:** Building connections will be addressed as Applicant and the Village coordinate.

7. Elevation and plan views ore to show where the building mechanicals are to be located.

**Response:** Mechanical equipment will be located on the roof. Parapet height will be adjusted as required.

8. Provide details and locations for ADA handicap symbol, striping, colors. and appropriate signage.

**Response:** See details and locations for ADA compliance on Sheet 4 of 4. Commercial areas on Market Street will be ADA accessible. The dwelling units on the second floor will also be ADA accessible/adaptable as per the 2020 Building Code of NYS.

9. Provide a location for the Fire Department Knox box.

**Response:** To be located on the Market Street (West) elevation of the building.

We would respectfully request that a review commence at your earliest convenience. If you have any additional questions or concerns, please do not hesitate to call. Thank You.

Very truly yours,

A handwritten signature in black ink, appearing to read "M. Gillespie", with a long horizontal flourish extending to the right.

Michael E. Gillespie, P.E.

M. Gillespie & Associates, Consulting Engineering, PLLC

cc: Client  
file



June 15, 2021

Mr. Tom Morris, Chairperson  
And Village of Wappingers Falls Planning Board  
Village Hall  
2582 South Avenue  
Wappingers Falls, NY 12590

Re: **ZR21-147, 10 Market Street Reconstruction of Mixed-Use Building**  
**Lot: 300255, 10 Market St**  
**V/ Wappingers Falls**

SENT VIA HAND DELIVERY – 5 pages + attachments

Dear Planning Board Chairman Morris and Members of the Planning Board -

Please see enclosed within this submission the following:

- Five (5) copies of plan set (sheets 1 - 4) dated last revised June 15, 2021

This office is in receipt of a comment letter from Four Corners Planning dated May 4, 2021. The plans / report has been revised accordingly and I offer the following formal responses –

**Comments:**

1. SEQR. The Planning Board circulated for lead agency for this Unlisted action on March 16, 2021. If no other Involved agencies have objected, the Planning Board is now the lead agency for the review of the project. The Board should wait to make a determination under SEQR until additional information on outdoor lighting has been provide.

**Response:** No response.

2. Proposed Commercial Uses/Loading Area. The plans should indicate the specific types of commercial uses (e.g., retail, restaurant, office, etc.) proposed for the ground floor so the Planning Board can determine whether a grease trap will be required (for food service uses), whether adequate off-street parking will be provided, and whether an off-street loading area will be required.

**Response:** Commercial lessees will be determined prior to construction. If necessary, a grease trap will be included in compliance and in coordination with the Dutchess County Health Department. No off-street parking is required for commercial use on Market Street. Residential parking provided on Reservoir Place as shown on Sheet 1 of 4.



3. Off-Street Loading. The applicant states that off-street loading will occur on the street in front of the building. This should be reviewed by the Planning Board. Section 151-24N(1) requires that off-street loading facilities be provided for each commercial use unless it is demonstrated that the use does not require a dedicated loading area.

**Response:** No response.

4. Landscaping.

- a. To meet the buffering requirements of § 151-24H(1) and § 151-241(1) of the Zoning Law, the applicant proposes a mix of ornamental Zebra grass and Skyrocket juniper between the parking lot and adjacent properties to the north and south. Ornamental grasses and juniper are generally deer resistant.

**Response:** Required landscape buffering shown on Sheet 1 on 4.

- b. The Planning Board previously suggested some plantings to the rear of the building, between the building and the parking lot.

**Response:** Area between the building and parking lot will be used for circulation and building access for tenants.

- c. A landscape maintenance note should be included on the Site Plan stating, "The owner of record shall maintain the landscaping shown on the Site Plan throughout the duration of use."

**Response:** See note on Sheet 1 of 4.

5. Snow Storage. Area(s) for snow storage for clearing the parking lot have been shown on the Site Plan and should be reviewed by the Village Engineer.

**Response:** Proposed snow removal area shown on Proposed Site Plan, Sheet 1 of 4.

6. Building Elevations.

- a. A stronger cornice has been added to the front facade.

**Response:** No response

- b. We recommend that the larger window trim and drip cap shown around the upper story windows on the front of the building be included on all sides of the building.

**Response:** See more detail on the updated Proposed Elevations on Sheet 3 of 4.

- c. On the front elevation, the upper story windows and doors on the right side of the building do not line up with the windows and doors on the ground floor. The applicant should discuss whether adjustments could be made to address this.

**Response:** See updated Proposed (Market Street) West Elevation on Sheet 3 of 4.

7. Building Materials and Colors. Samples of all proposed building materials and colors should be provided.

**Response:** Samples of proposed building materials will be provided at July meeting.

8. Rooftop Deck. A rooftop deck has been added to the plans.

**Response:** See details of rooftop deck area and railings on Proposed Roof Plan on Sheet 2 of 4, Proposed Elevations on Sheet 3 of 4, and Details on Sheet 4 of 4.

9. Outdoor Lighting. Outdoor lighting should be reviewed by the Village Engineer.

**Response:** A note has been added to Sheet 2 of 4 specifying that all lighting will conform to Section 151-12 of the Village Code.

10. Signage.

- a. The building elevations indicate that signs would be located in an area on the wall above the first-floor windows. The plans should indicate the allowable size of the wall signs; otherwise, the applicant would need to apply later for an amended site plan approval for signs.

**Response:** Allowable size of wall signs shown on Proposed (Market Street) West Elevation on Sheet 3 of 4.

- b. The building elevations show an area designated for signs above the second story windows. Since the uses on this floor are residential, this appears to be an error.

**Response:** Area designated for signs is on the first story, as shown on Proposed (Market Street) West Elevation on Sheet 3 of 4.

11. Refuse Enclosure.

- a. Refuse is proposed to be stored in the existing refuse enclosure. The applicant should discuss whether any improvements will be made to this structure, such as repainting it.

**Response:** Applicant is amenable to aesthetically improving the existing enclosure at the Board's request.

- b. The applicant should discuss how the ground floor commercial uses will access the refuse enclosure located behind the building.

**Response:** Commercial lessees will access the refuse enclosure via vehicular transport from Market Street to Reservoir Place.

12. Lot Coverage. Lot coverage on the Zoning Requirements Table on Sheet SP1 should be verified. Section 151-61 of the Zoning Law defines lot coverage is defined as "That portion of the lot that is covered by buildings, structures and impervious surfaces." It appears that lot coverage is greater than 56 percent, as stated.

**Response:** Lot coverage is pre-existing non-conforming, and will remain the same.

13. Mechanical Equipment. The building elevations should depict where mechanical equipment will be located. If it will be located on the roof, the parapet may need to be higher to conceal it.

**Response:** Mechanical equipment will be located on the roof. Parapet height will be adjusted as required.

14. Recreation Fee. Since the proposed project will not result in any additional dwelling units, payment of the recreation fee is not required.

**Response:** No response.

15. ADA Compliance. The Code Enforcement Officer should evaluate whether the project conforms with the NYS Building Code for ADA compliance.

**Response:** No response.

16. Fire Department. We recommend that the plans be forwarded to the Fire Department for review.

**Response:** No response.

17. 239-m Review. The complete Site Plan application must be referred to the Dutchess County Department of Planning and Development for review under General Municipal Law § 239-m since the property is located within 500' of a State highway.

**Response:** No response.

18. Public Hearing. A public hearing on a Site Plan is not required, but if deemed necessary by the Planning Board, it shall be held within 62 days following the receipt of a complete application.

**Response:** No response.

We would respectfully request that a review commence at your earliest convenience. If you have any additional questions or concerns, please do not hesitate to call. Thank You.

Very truly yours,

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Michael E. Gillespie, P.E.  
M. Gillespie & Associates, Consulting Engineering, PLLC

cc: Client  
file



June 15, 2021

Mr. Tom Morris, Chairperson  
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Village Hall  
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Dear Planning Board Chairman Morris and Members of the Planning Board -

Please see enclosed within this submission the following:

- Five (5) copies of plan set (sheets 1 - 4) dated last revised June 15, 2021

This office is in receipt of a comment letter from the Dutchess County Department of Planning and Development dated June 7, 2021. The plans / report has been revised accordingly and I offer the following formal responses –

**Comments:**

1. **Rooftop Deck:** Minimal details were provided regarding the proposed rooftop deck area. The elevations appear to show a freestanding roof structure but no walls or door to accommodate rooftop access. The fenced area extends very close to the western edge of the roof, which could present a safety hazard. No details of the proposed railing are included. Additional details and more fully developed renderings could help illustrate the full scope and potential impacts of the rooftop deck. We encourage the Village to carefully review this component to ensure any rooftop structure and programming meet safety standards and the intent of the district.

**Response:** See details of rooftop deck area and railings on Proposed Roof Plan on Sheet 2 of 4, and Proposed Elevations on Sheet 3 of 4.

2. **Lighting:** Minimal lighting details were provided (on sheet P-1). Any lighting should be fully shielded (per Village Code §151-12(D)(8)) and dark-sky compliant to reduce glare and light pollution and should provide a range of just 0.1 to 1.0 footcandles in parking and pedestrian

areas. We recommend a color temperature of no higher than 2700-3000K to provide a less harsh, more natural light.

**Response:** See lighting level information on Sheet 2 of 4, as well as the fixture detail. Village Code compliance note also added.

- 3. Signage:** The building elevations indicate that signs would be located above the first-floor windows, however no sign details were provided. We recommend that any signs be simple and clear in communicating the business name(s). The building elevations also show an area designated for signs above the second story windows. Since the uses on this floor are residential, no signs should be located here.

**Response:** Allowable size of wall signs and location above the first-floor windows is shown on updated Proposed (Market Street) West Elevation on Sheet 3 of 4.

- 4. Circulation:** We encourage provision of bicycle parking for residents and visitors. See County bicycle parking guidance at [www.dutchessny.gov/BikeParking](http://www.dutchessny.gov/BikeParking).

**Response:** Four (4) bicycle parking racks are provided at the rear of the building. See Sheet 1 of 4 and Sheet 2 of 4 for site plan locations, and Sheet 4 of 4 for details.

We would respectfully request that a review commence at your earliest convenience. If you have any additional questions or concerns, please do not hesitate to call. Thank You.

Very truly yours,



Michael E. Gillespie, P.E.  
M. Gillespie & Associates, Consulting Engineering, PLLC

cc: Client  
file

PLAN SET TABLE OF CONTENTS

SHEET	TITLE
1	EXISTING CONDITIONS + PROPOSED GROUND LEVEL FLOOR PLAN
2	PROPOSED SECOND, THIRD + ROOF PLANS WITH DETAILS
3	EXISTING + PROPOSED ELEVATIONS WITH DETAILS
4	CONSTRUCTION DETAILS + SPECS

ZONING REQUIREMENTS			
ZONING DISTRICT:	VC - VILLAGE COMMERCIAL		
GROUND LEVEL FLOOR:	EXISTING / PROPOSED (1-4) MERCANTILE or BUSINESS		
2nd - 3rd LEVELS:	EXISTING / PROPOSED (10) DWELLING UNITS (6) TWO-BEDROOM UNITS AND (4) ONE-BEDROOM UNITS		
BULK REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	-	7,934 SQ. FT.	7,934 SQ. FT.
MIN. LOT WIDTH	20'-0"	68'-0" +/-	68'-0" +/-
MAX. LOT COVERAGE	100%	56% +/-	56% +/-
MIN. PRINCIPAL FRONTAGE (FEET)	0'-0" (12'-0" MAX)	0'-0"	0'-0"
MIN. SECONDARY FRONTAGE (FEET)	2'-0" (12'-0" MAX)	0'-0"	0'-0"
MIN. ONE SIDE YARD (FEET)	0'-0" (24'-0" MAX)	0'-0"	0'-0"
MIN. REAR YARD (FEET)	3'-0"	43'-0" +/-	43'-0" +/-
MAX. HEIGHT (FEET)	5 STORIES / 65' +/-	3 STORIES	3 STORIES / 36'
MIN FRONTAGE BUILDOUT	80%	>90%	>90%
PARKING SPACES	VARIABLES ON USE (COMMERCIAL)	0	0
	10 (RESIDENTIAL)	7	6

LANDSCAPE LEGEND	
QUANTITY: 6	ORNAMENTAL GRASS (ZEBRA)
QUANTITY: 7	PROPOSED SKYROCKET JUNIPER

**LANDSCAPE NOTES:**

- PRIOR TO THE START OF CONSTRUCTION OR EXCAVATION, TREES TO BE RETAINED SHALL BE PROTECTED BY SILT FENCE, SNOW FENCE, CONSTRUCTION FENCE, OR CURB, WHICH WILL BE PLACED AT THE GRIP LINE OR SEVERAL FEET BEYOND. HOWEVER, THE FENCING SHALL NOT CROSS PUBLIC SIDEWALKS, HIGHWAYS, OR STREETS. PROTECTION OF CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT SHALL OCCUR WITHIN THE FENCED AREA.
- LAWN / GRASS AREAS SHALL BE SEEDED WITH A MIXTURE OF 50%-60% KENTUCKY BLUE, 20% PERENNIAL RYE AND 20% FINE OR RED FESCUE.
- THE OWNER OF RECORD SHALL MAINTAIN THE LANDSCAPING SHOWN ON THE SITE PLAN THROUGHOUT THE DURATION OF USE.

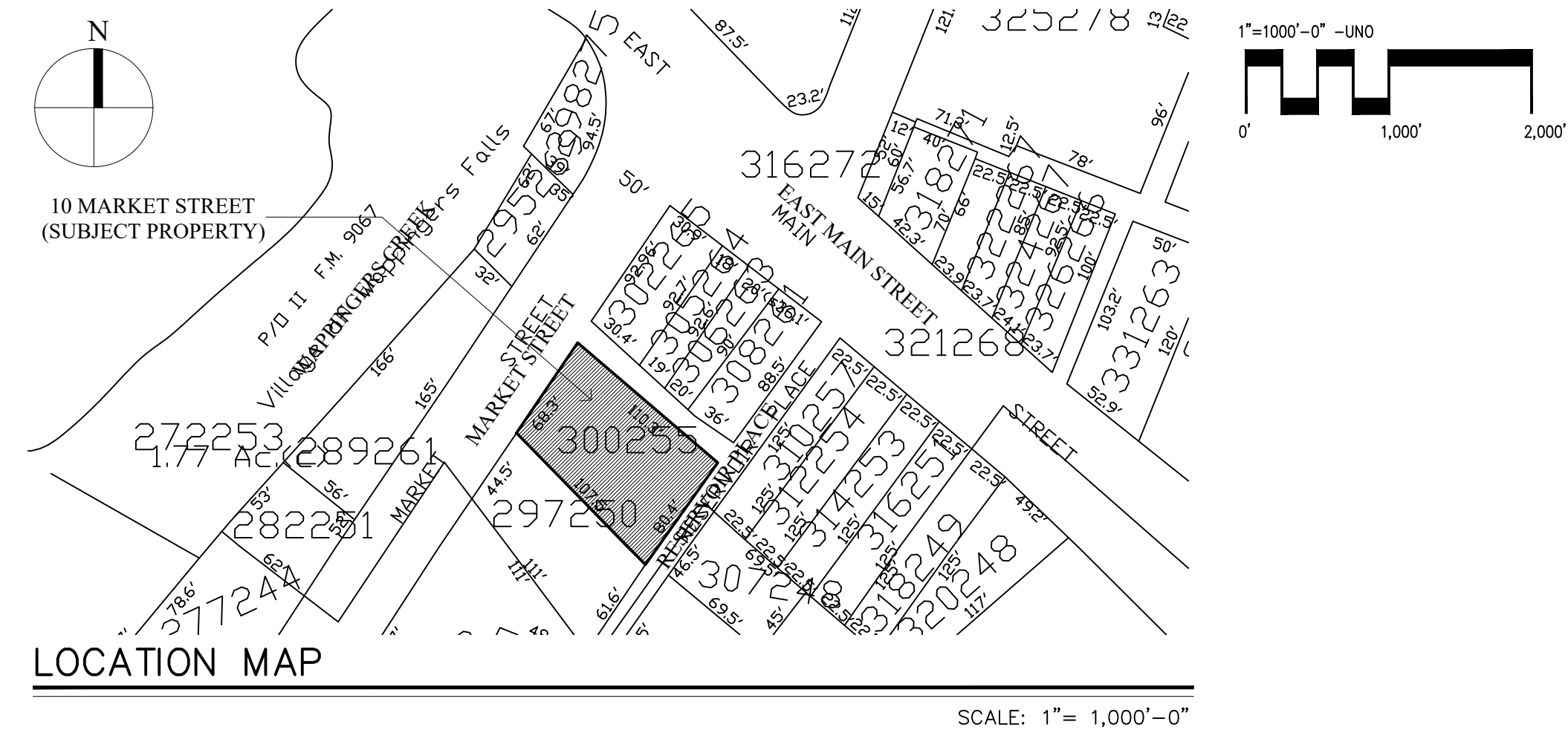
VILLAGE OF WAPPINGERS FALLS

PLANNING BOARD

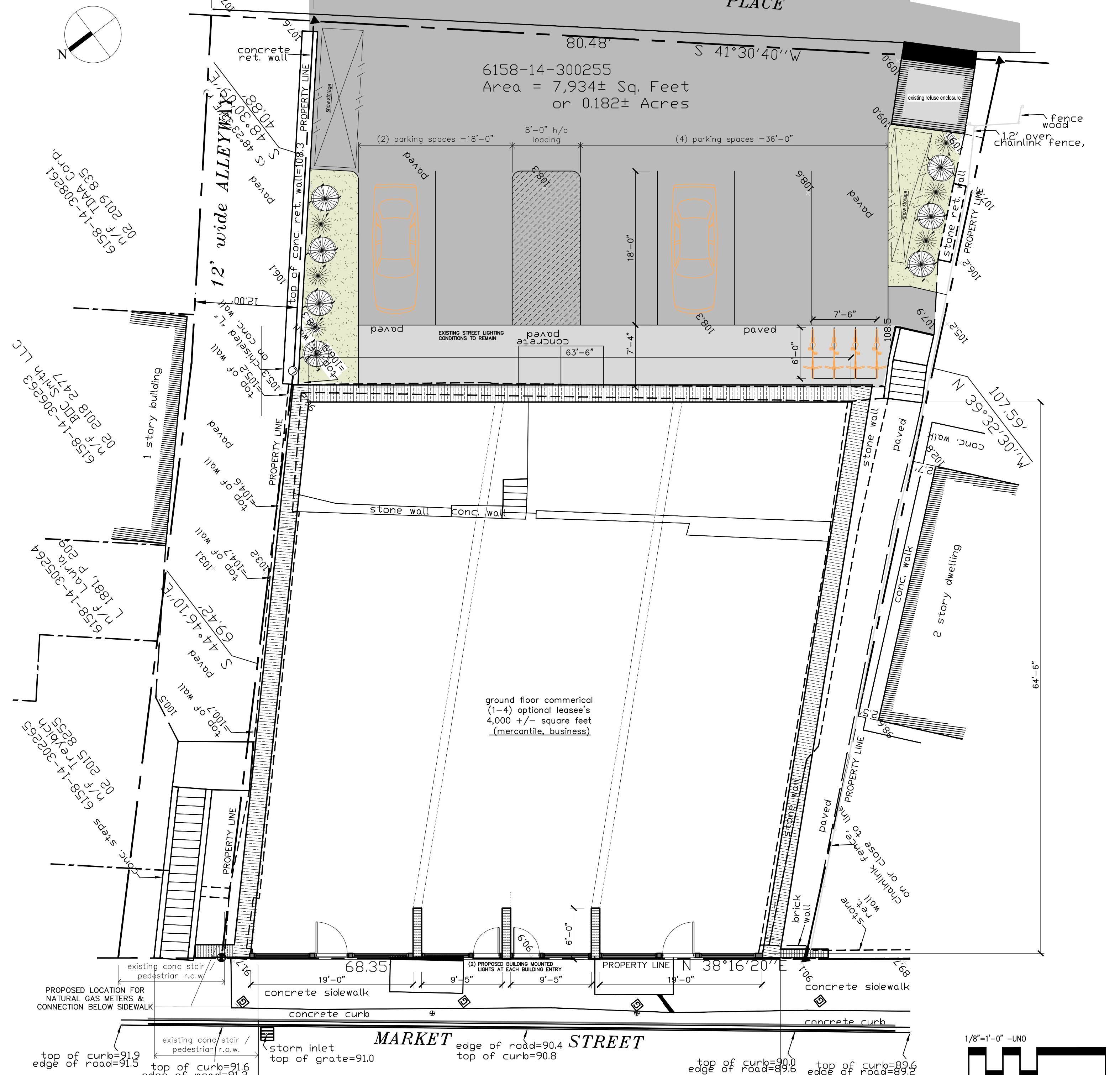
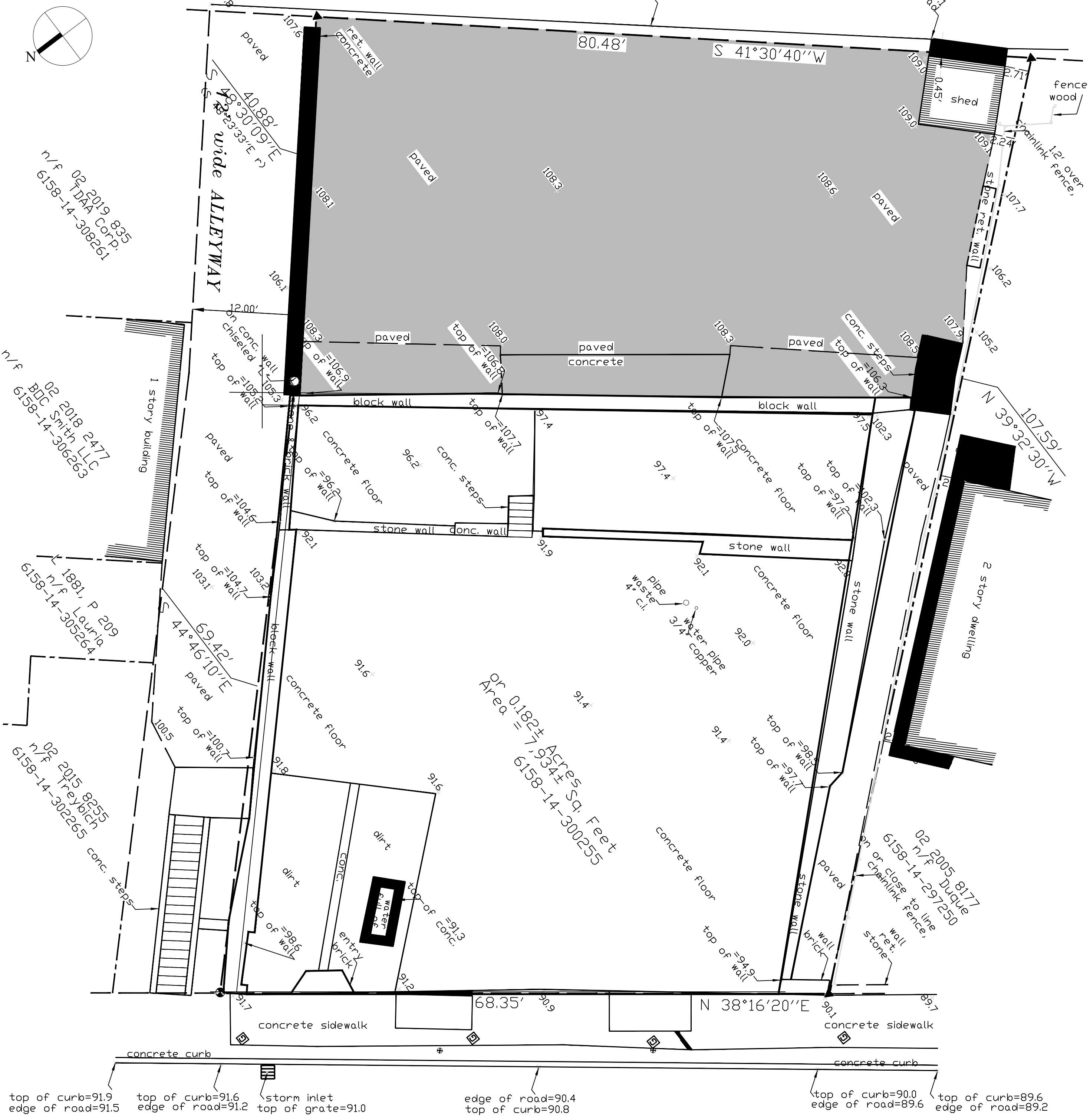
FINAL APPROVAL DATED: \_\_\_\_\_

PB CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_

WITNESS: \_\_\_\_\_



INFORMATION ON SITE PLAN TAKEN FROM SURVEY PERFORMED BY JAMES A. SHERIDAN, L.S. DATED: NOVEMBER 13, 2020



EXISTING CONDITIONS SITE PLAN

PROPOSED GROUND LEVEL FLOOR PLAN (future commercial)

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

RECONSTRUCTION OF A MIXED USE COMMERCIAL AND MULTIPLE RESIDENCE DEVELOPMENT

JSK Rentals LLC

10-16 MARKET STREET - VILLAGE OF WAPPINGERS FALLS, NEW YORK

**M. GILLESPIE & ASSOCIATES**

CONSULTING ENGINEERING, P.L.L.C.

847 ROUTE 396 - WAPPINGERS FALLS, NY 12590

WWW.GILLESPIEASSOCIATES.COM

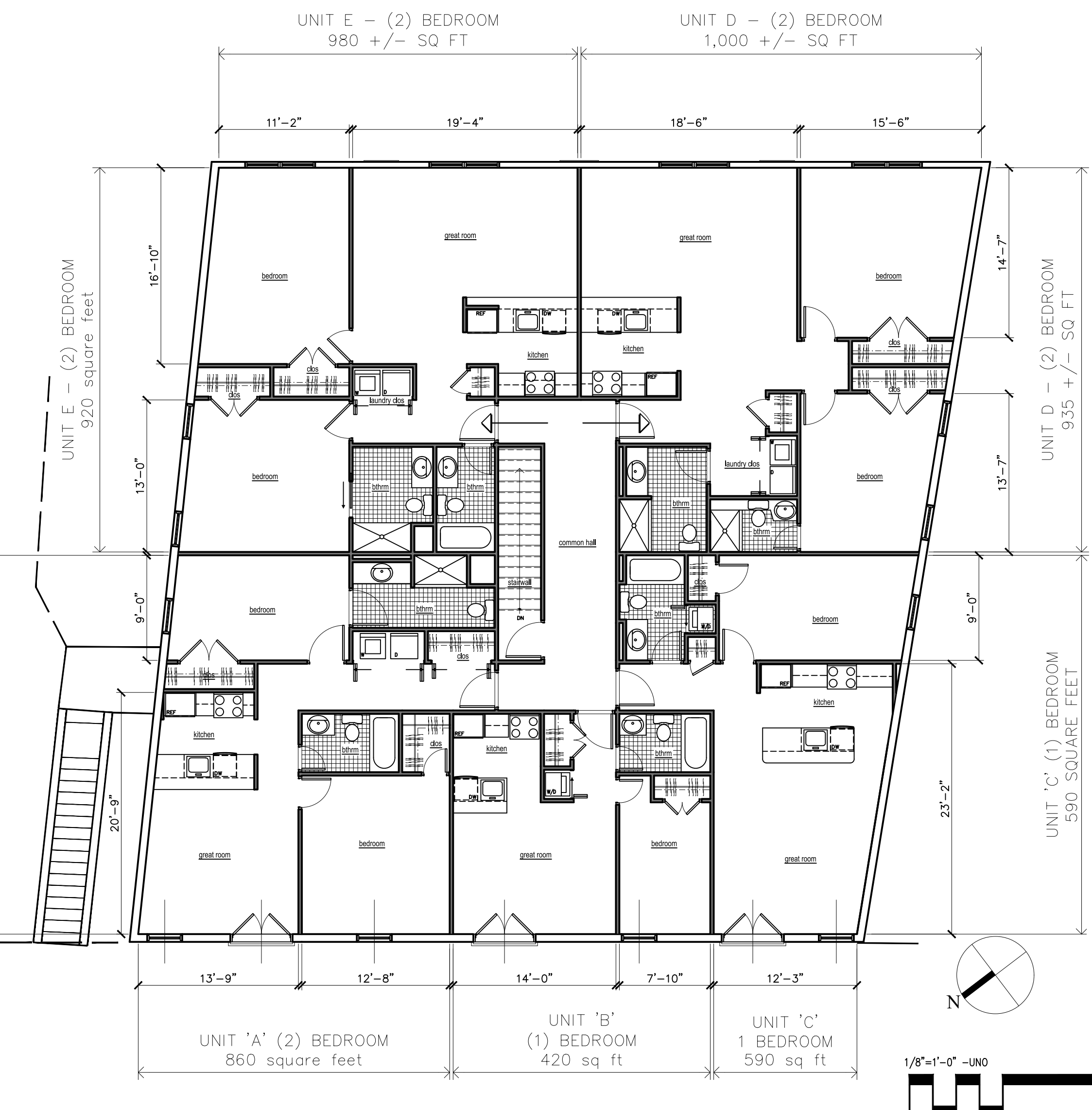
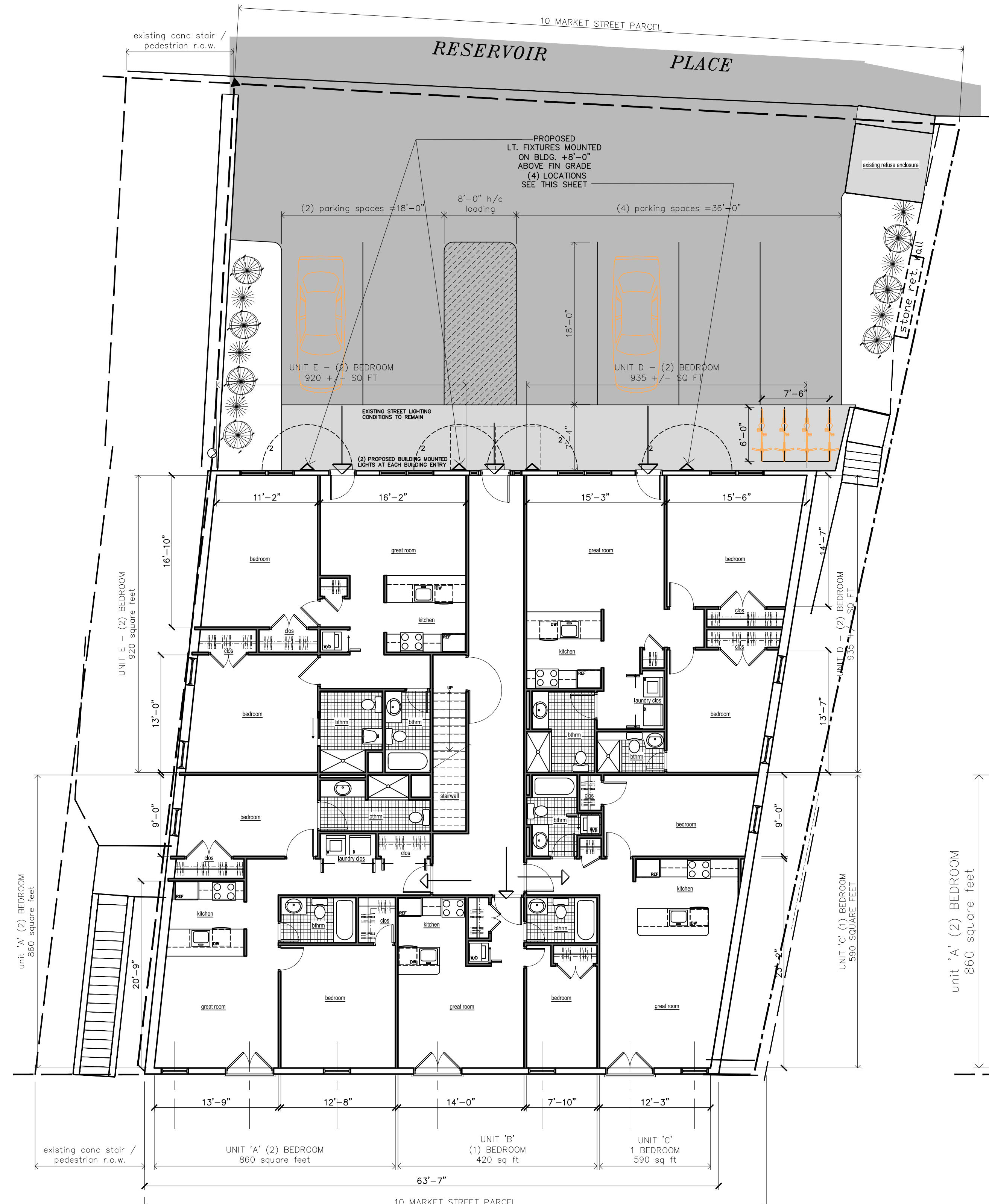
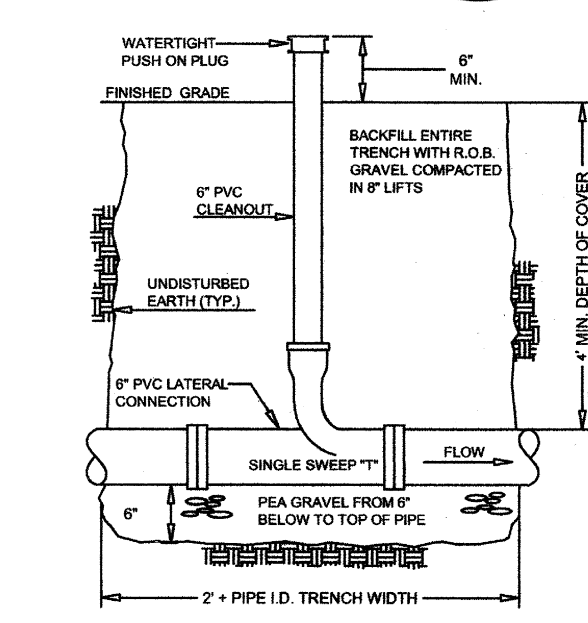
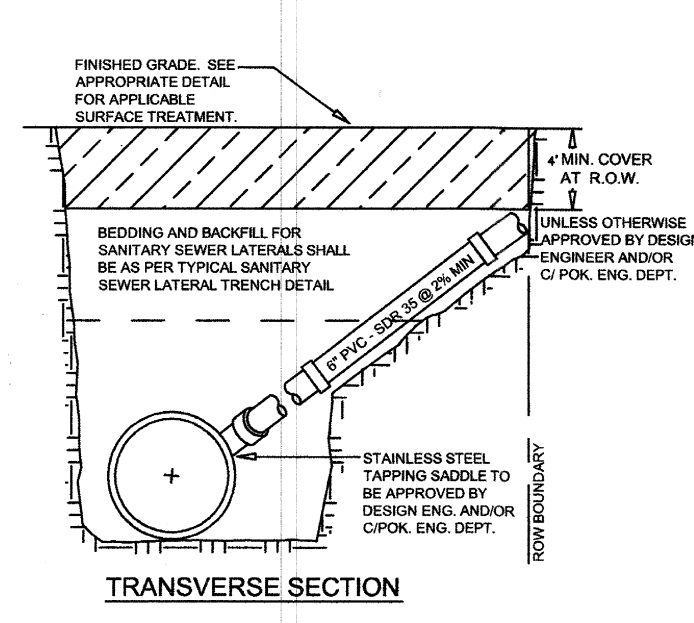
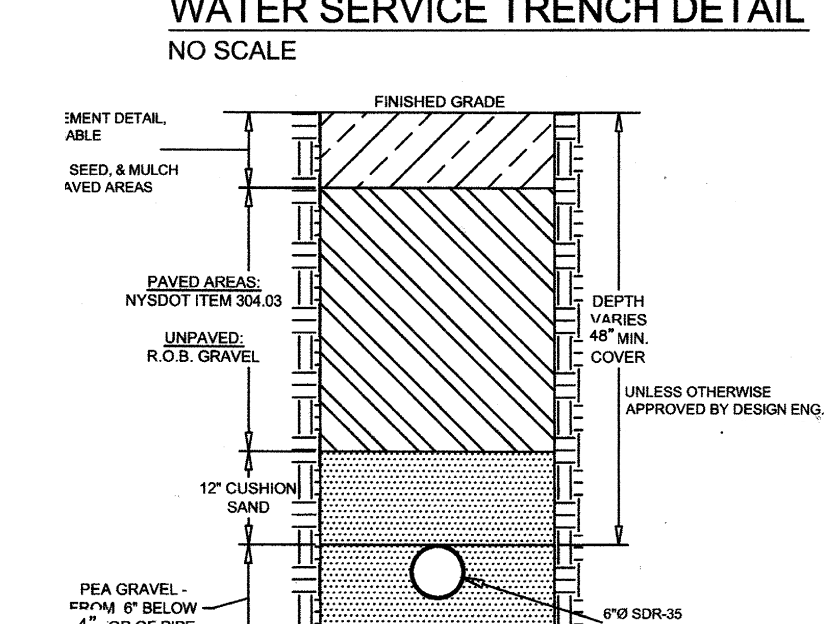
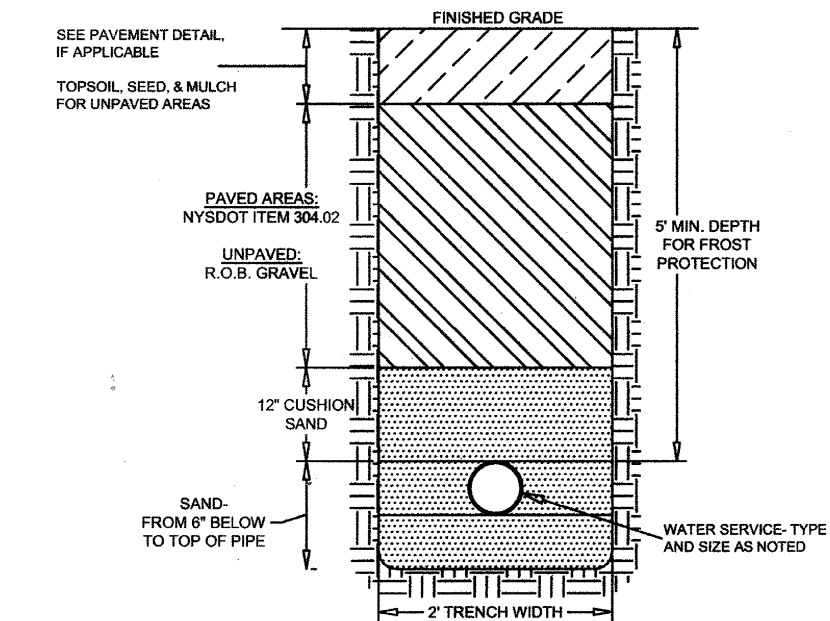
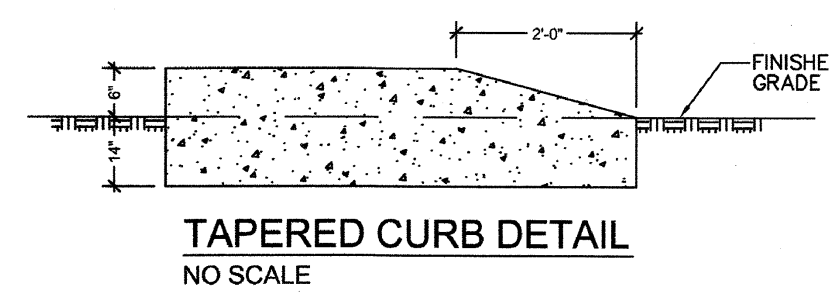
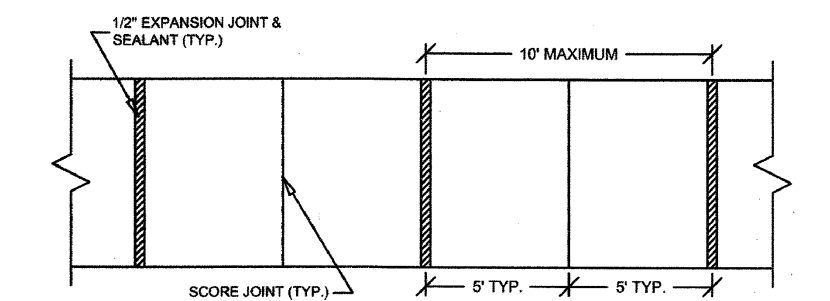
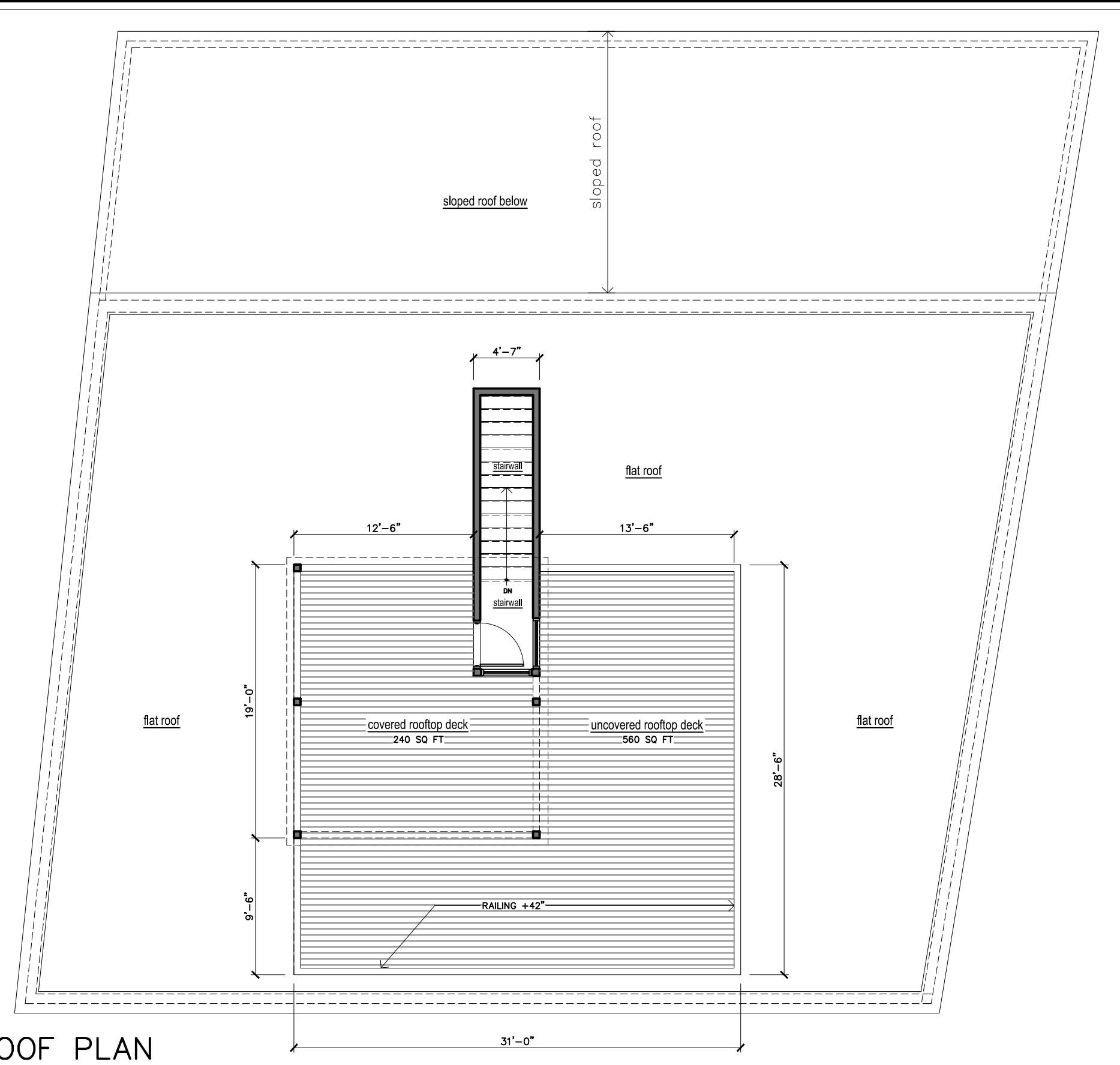
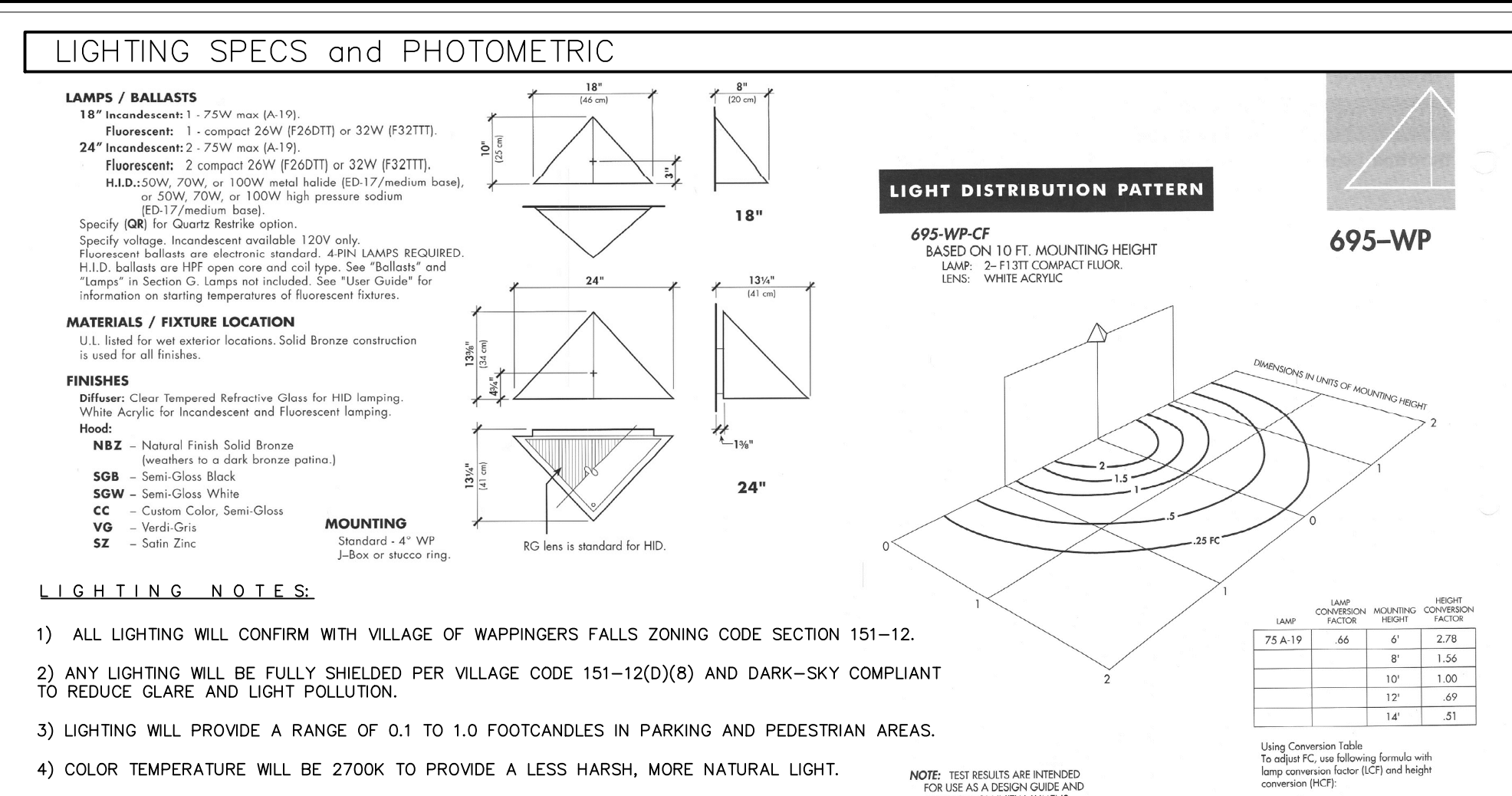
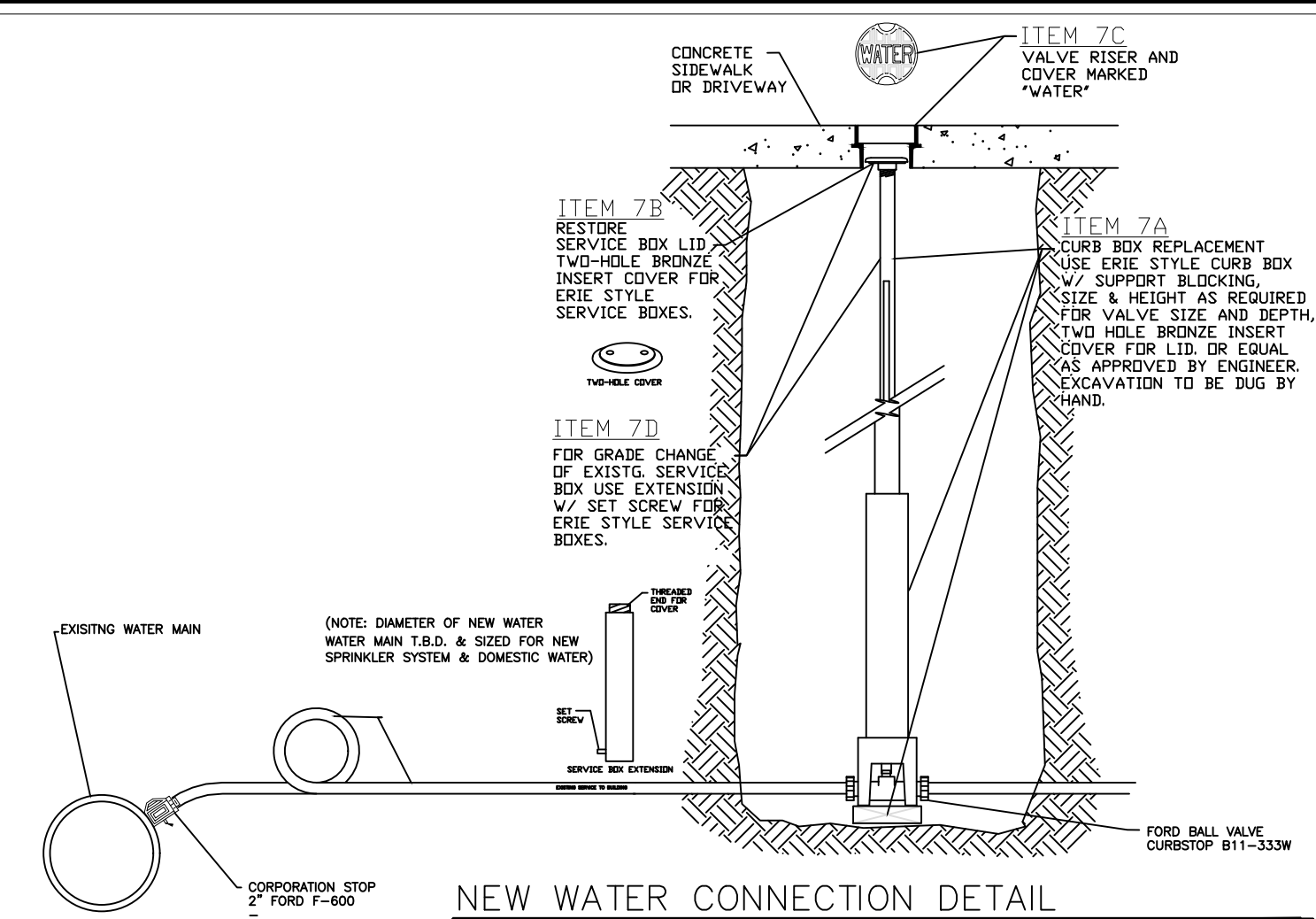
PROJECT No.	2020.205
DRAWN BY:	A.M.S.
CHECKED BY:	M.E.G.
REVISIONS	
JANUARY 29, 2021	
FEBRUARY 4, 2021	
APRIL 14, 2021	
JUNE 15, 2021	

NYSPE #074666

SHEET No.

1

4



RECONSTRUCTION OF A MIXED USE  
 COMMERCIAL AND MULTIPLE RESIDENCE DEVELOPMENT  
 JSK Rentals LLC  
 10-16 MARKET STREET - VILLAGE OF WAPPINGERS FALLS, NEW YORK

**M. GILLESPIE & ASSOCIATES**  
 CONSULTING ENGINEERING, P.L.L.C.  
 847 ROUTE 376 WAPPINGERS FALLS, NY 12590  
 P. (845) 227-6227 F. (845) 226-1430  
 WWW.MGILLESPIEASSOCIATES.COM

PROJECT No. 2020-205  
 DRAWN BY: A.M.S.  
 CHECKED BY: M.E.G.  
 REVISIONS:  
 JANUARY 23, 2021  
 FEBRUARY 4, 2021  
 APRIL 14, 2021  
 JUNE 15, 2021

NYSPE #074666

SHEET No.  
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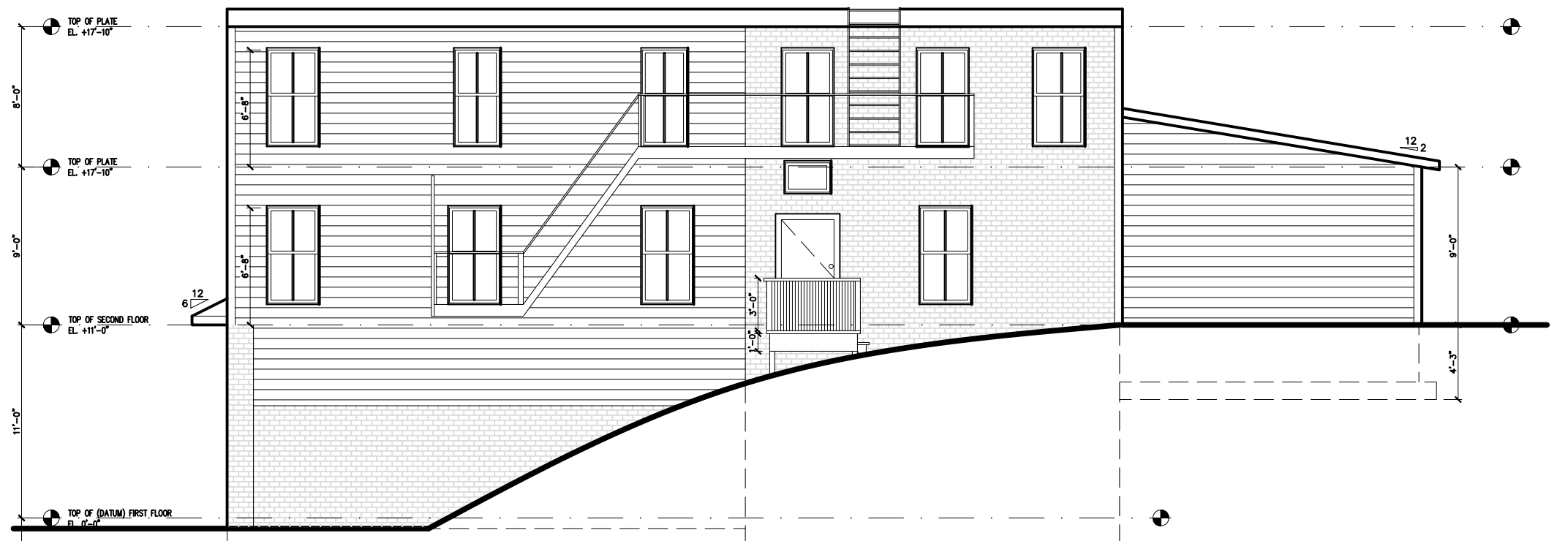
VILLAGE OF WAPPINGERS FALLS  
 PLANNING BOARD  
 FINAL APPROVAL DATED: \_\_\_\_\_  
 PB CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_  
 WITNESS: \_\_\_\_\_





EXISTING (MARKET STREET) WEST ELEVATION PRIOR TO DEMOLITION

SCALE: 1/8" = 1'-0"



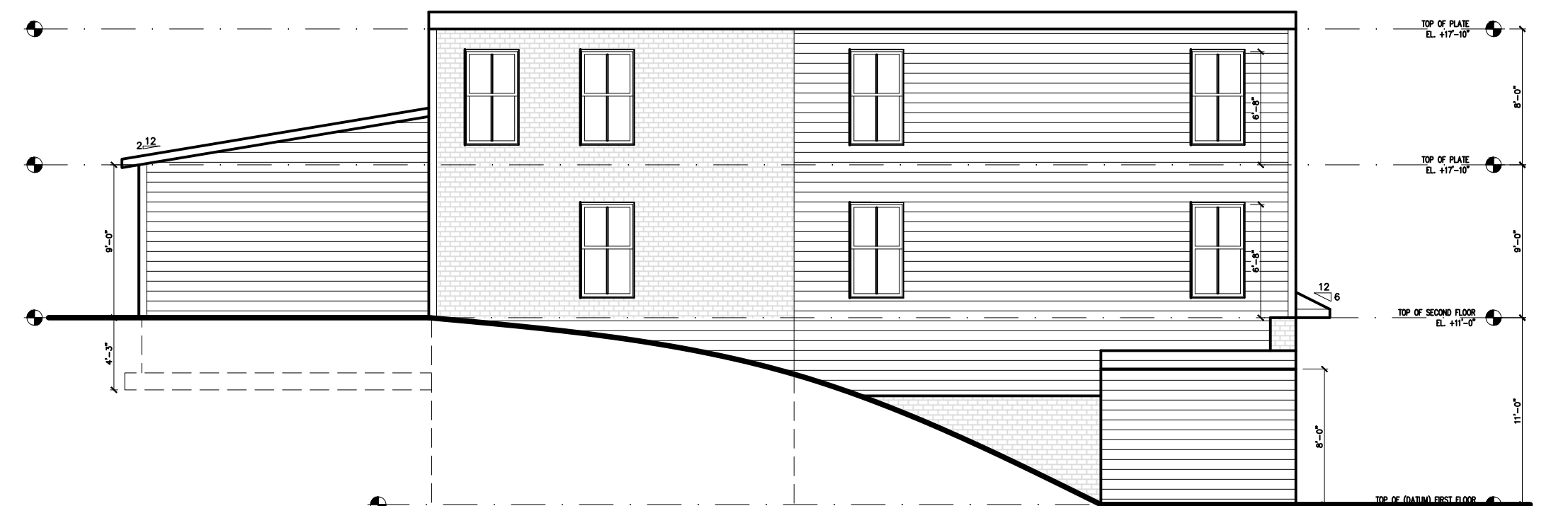
EXISTING SOUTH ELEVATION PRIOR TO DEMOLITION

SCALE: 1/8" = 1'-0"



EXISTING (RESERVOIR PLACE) EAST ELEVATION PRIOR TO DEMOLITION

SCALE: 1/8" = 1'-0"



EXISTING NORTH ELEVATION PRIOR TO DEMOLITION

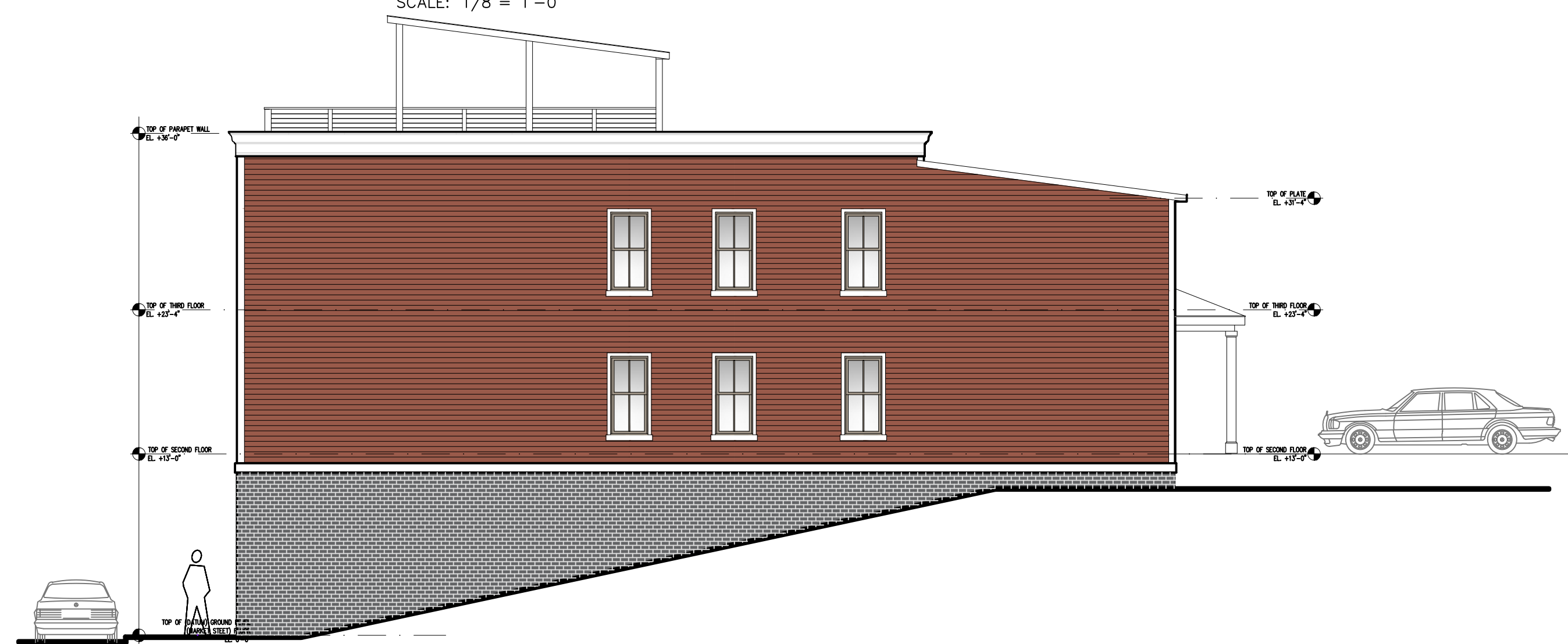
SCALE: 1/8" = 1'-0"

MATERIAL LIST		
MATERIAL	MANUFACTURER	COLOR
HARDEPLANK LAP SIDING	JAMES HARDIE	COUNTRYLINE RED
HARDIE TRIM	JAMES HARDIE	ARCTIC WHITE
WINDOW HEADS, FRIEZE BOARDS	N/A	WHITE
WINDOW CLADDING	N/A	WHITE
ASPHALT SHINGLES	OWENS CORNING	STORM CLOUD
BRACKET 10X12X4	FYPON	WHITE
COMMON BRICK	BELDEN	TITANIUM GRAY VELOUR



PROPOSED (MARKET STREET) WEST ELEVATION

SCALE: 1/8" = 1'-0"



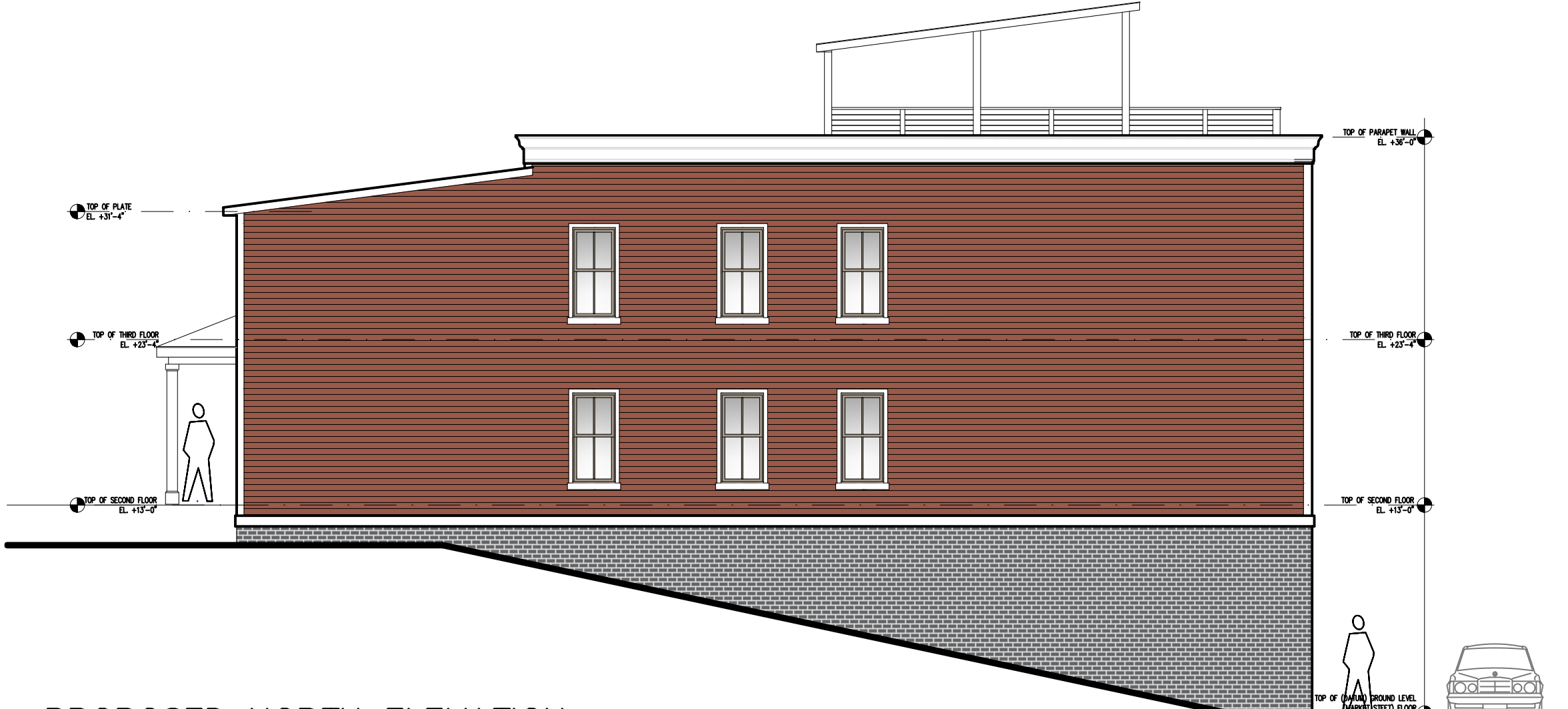
PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED (RESERVOIR PLACE) EAST ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

VILLAGE OF WAPPINGERS FALLS  
PLANNING BOARD  
FINAL APPROVAL DATED: \_\_\_\_\_  
PB CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_  
WITNESS: \_\_\_\_\_

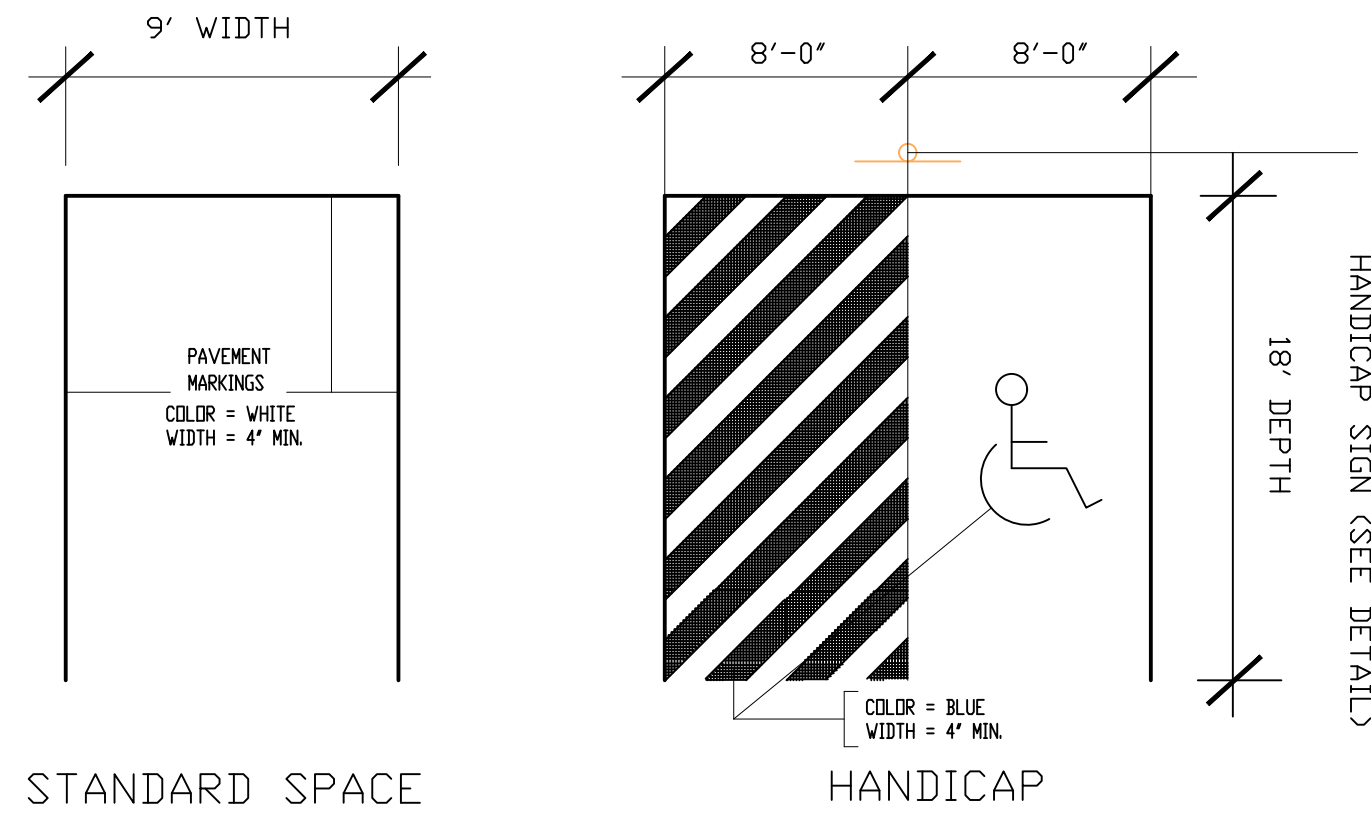
RECONSTRUCTION OF A MIXED USE  
COMMERCIAL AND MULTIPLE RESIDENCE DEVELOPMENT  
JSK Rentals LLC  
10-16 MARKET STREET - VILLAGE OF WAPPINGERS FALLS, NEW YORK

M. GILLESPIE  
& ASSOCIATES  
CONSULTING ENGINEERING, P.L.L.C.  
847 ROUTE 276 WAPPINGERS FALLS, NY 12590  
P. (845) 227-6227 F. (845) 226-1430  
WWW.MGILLESPIEASSOCIATES.COM

PROJECT No. 2020-205  
DRAWN BY: A.M.S.  
CHECKED BY: M.E.G.  
REVISIONS  
JANUARY 23, 2021  
FEBRUARY 4, 2021  
APRIL 14, 2021  
JUNE 15, 2021

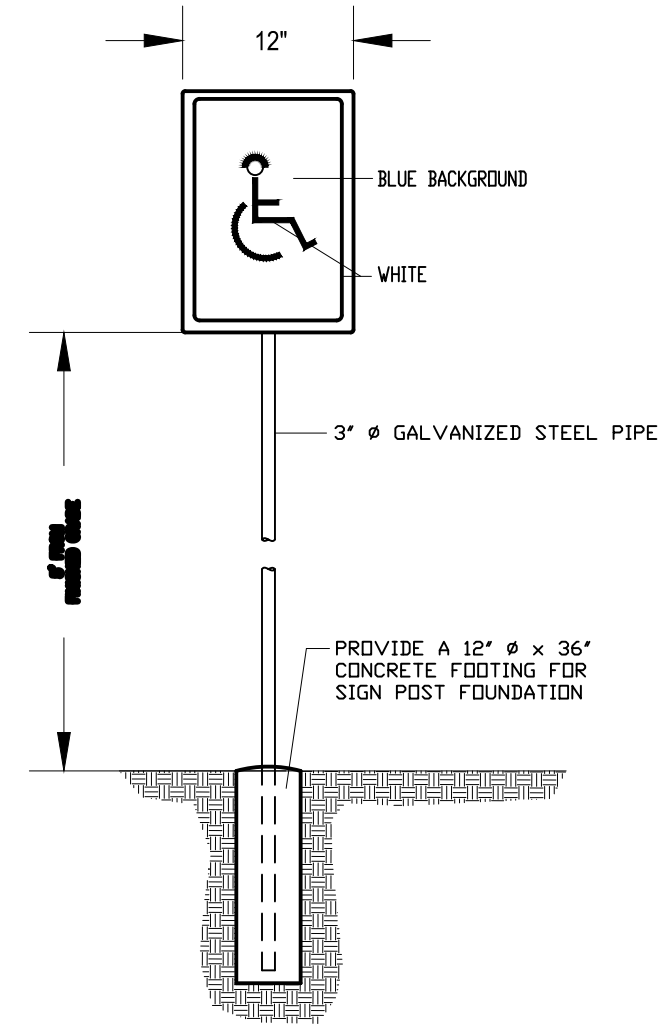
NYSPE #074666

SHEET No.  
3  
4

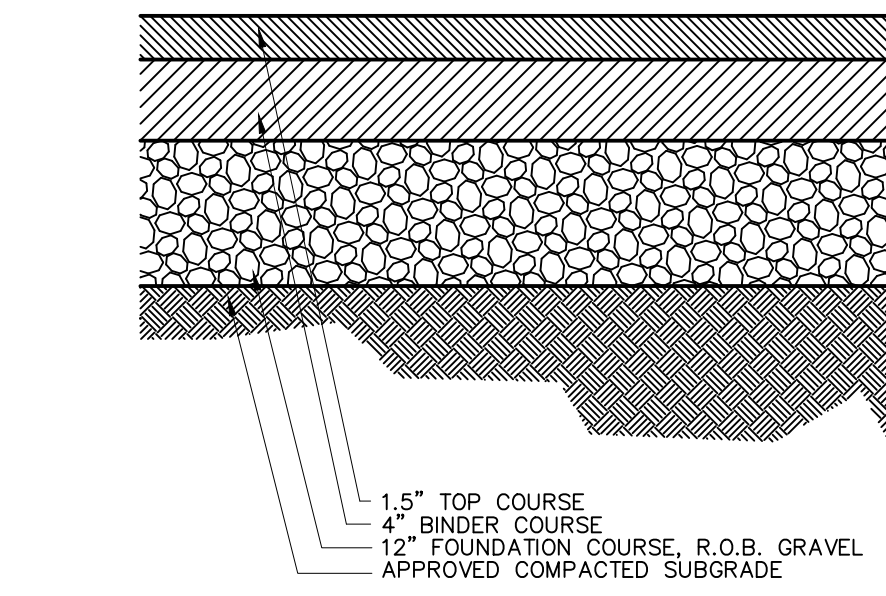


THE ABOVE PARKING DIMENSIONS ARE AS PER TOWN OF WAPPINGER ZONING ORDINANCE SECTION 470.3.2 AND NEW YORK STATE UNIFORM BUILDING CODE.

TYPICAL STANDARD AND HANDICAP PARKING SPACES  
NOT TO SCALE

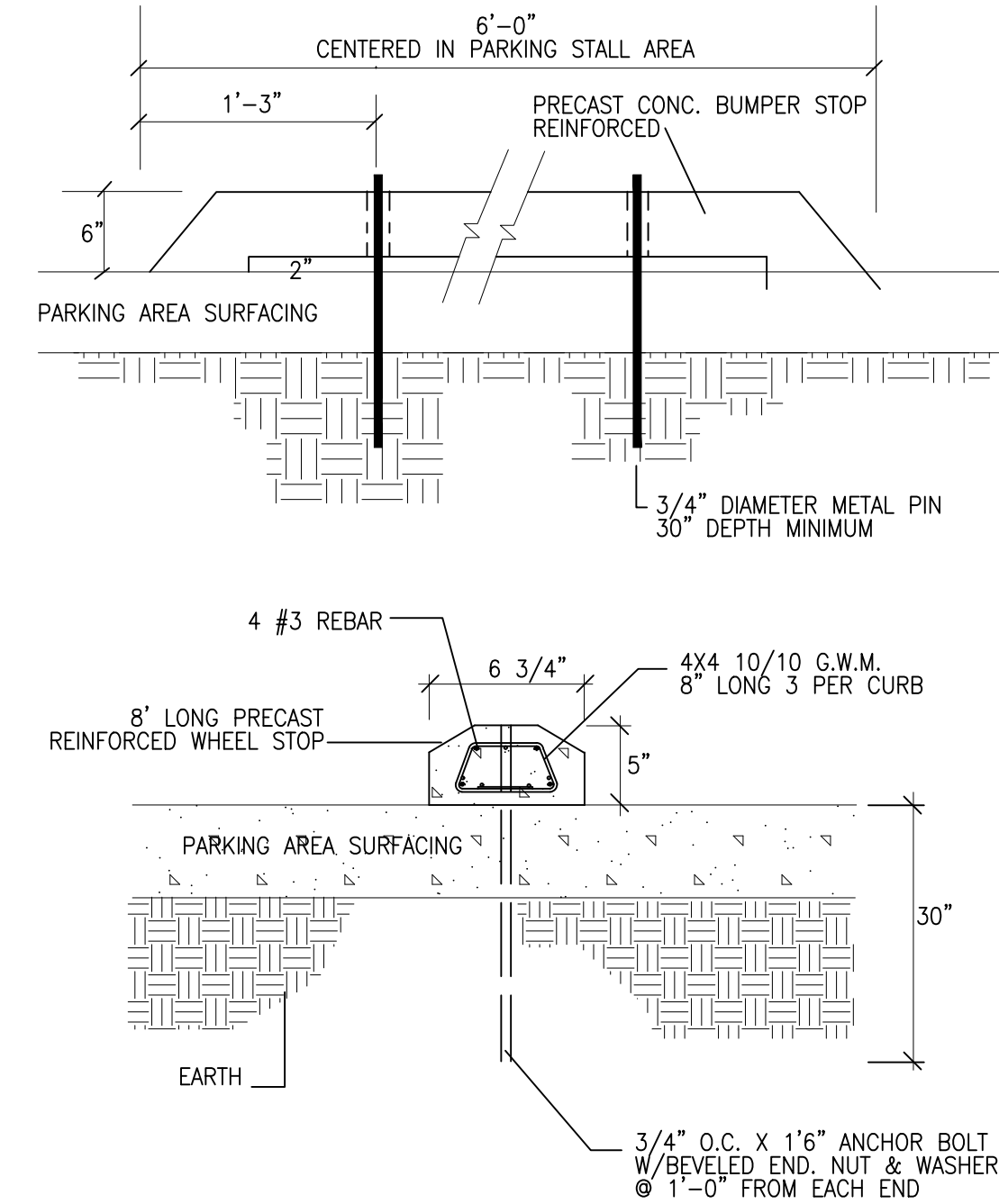


HANDICAP SIGN DETAIL  
NOT TO SCALE

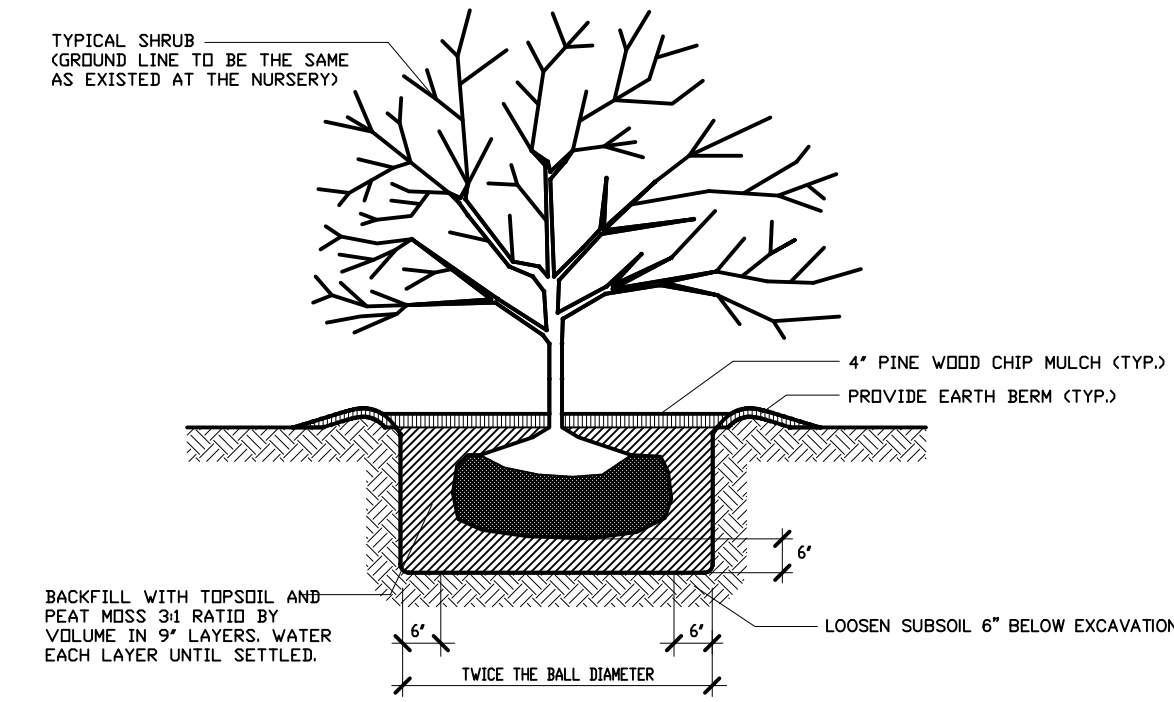


- CONSTRUCTION NOTES:
- THICKNESS INDICATED REFER TO COMPACTED MEASURE.
  - ALL NEW PAVEMENT SECTIONS TO CONFORM TO THE ABOVE CROSS-SECTION.

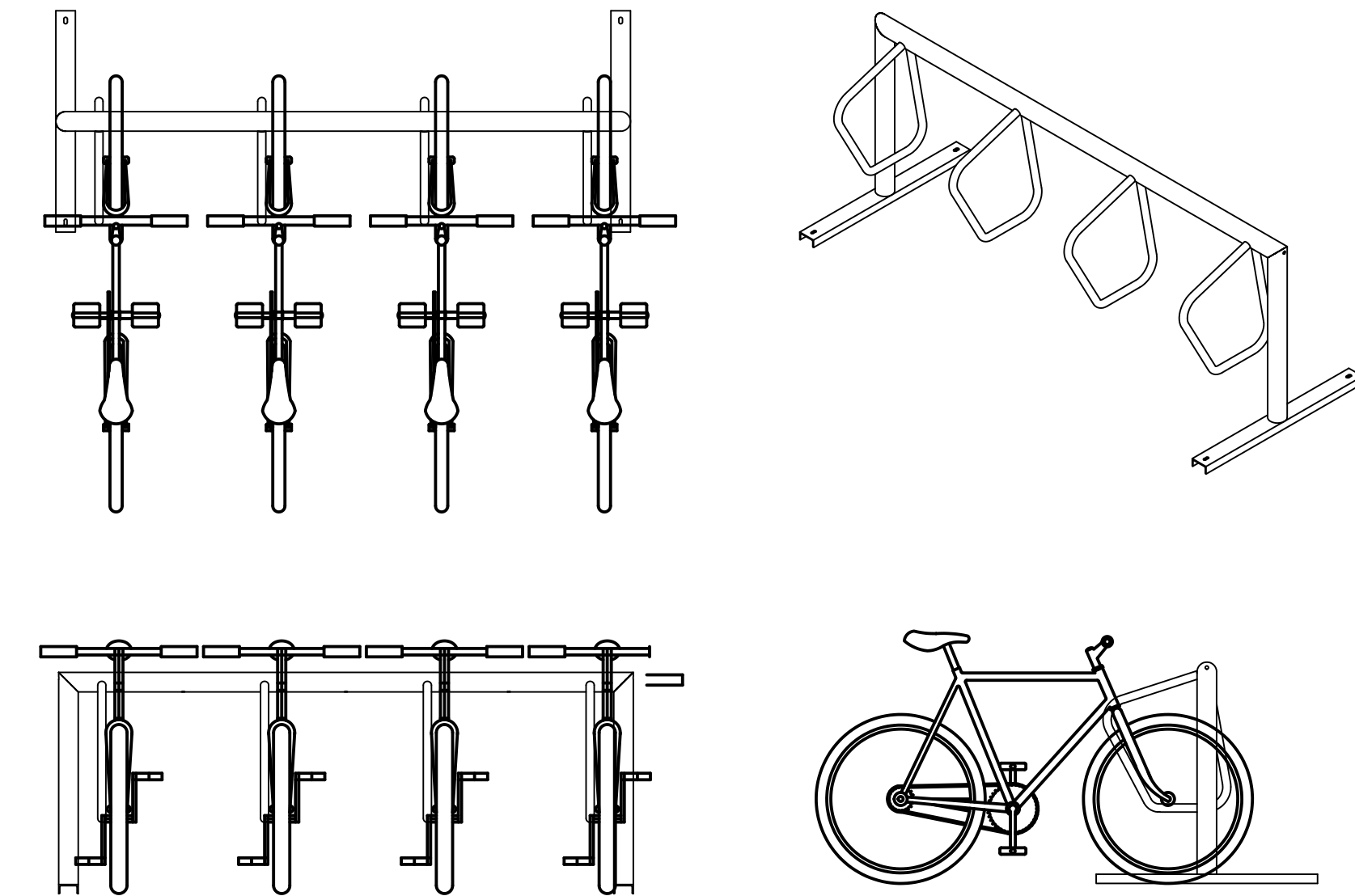
INTERNAL PAVEMENT CROSS SECTION  
NOT TO SCALE



PRECAST CONC. BUMPER BLOCK  
NOT TO SCALE



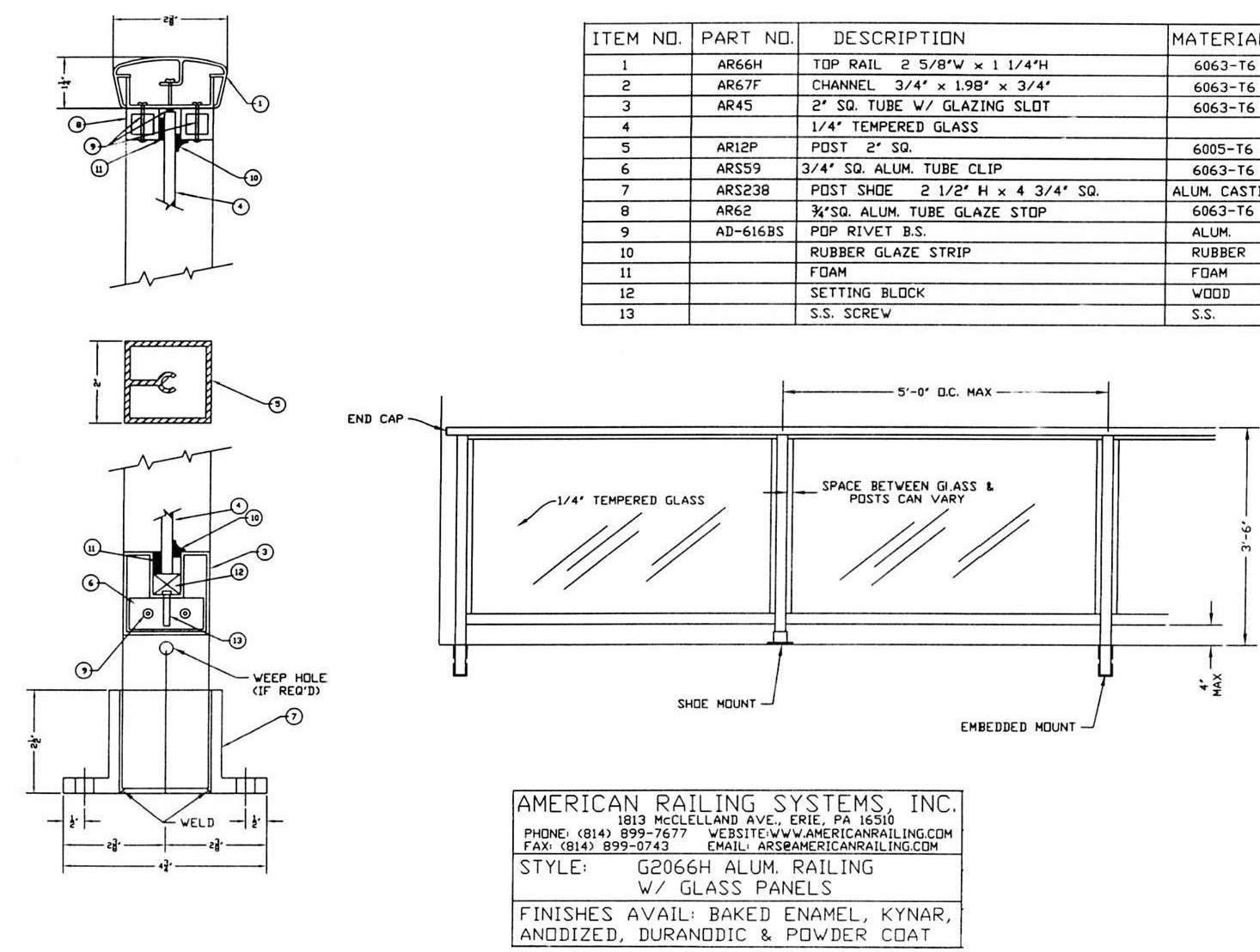
SHRUB PLANTING DETAIL  
NOT TO SCALE



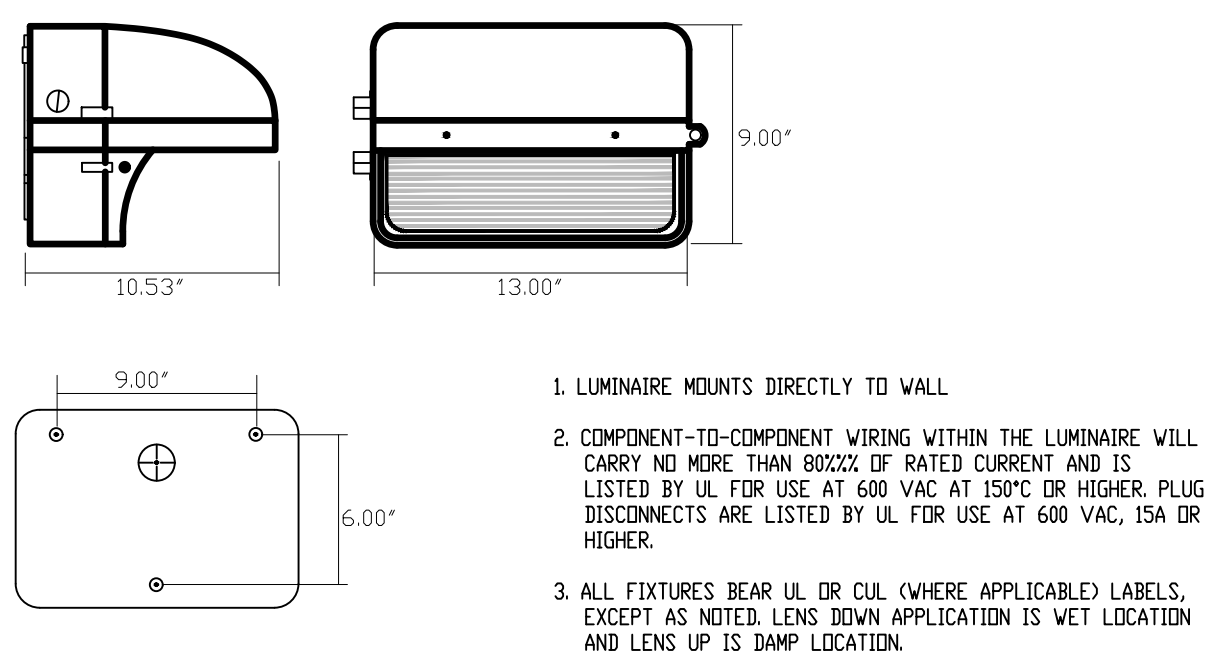
- INSTALLATION METHOD: FOOT MOUNT HAS AISI C3 X 41 STEEL CHANNELS. CAN BE LEFT FREE-STANDING OR BE ANCHORED WITH FOUR FASTENERS. 3/8-3.75 WEDGE STYLE ANCHORS IN-GROUND MOUNT HAS SMALL ROD WELDED ACROSS BOTTOM OF EACH UPRIGHT FOR GREATER ADHESION IN CONCRETE. RECOMMENDED EMBEDMENT DEPTH IS 10".
- PROVIDE BICYCLE RACKS MANUFACTURED BY DERO BIKE RACK CO., 5522 LAKELAND AVENUE N., MINNEAPOLIS, MN 55429, 1-888-337-6728. WEBSITE: WWW.DERO.COM
- MATERIALS
  - CENTER BEAM: 3" OD 7 GAUGE TUBE
  - EARS: 1.25" OD 11 GAUGE TUBE
  - FEET: 1.4X3/16X24 CHANNELS
  - FOR A STAINLESS FINISH, SPECIFY A 304 GRADE STAINLESS STEEL
  - FINISHES: GALVANIZED, POWDERCOATED, STAINLESS STEEL (STAIN OR HIGH LUSTER)

BIKE RACK DETAILS: CAMPUS S4, 64"  
NOT TO SCALE

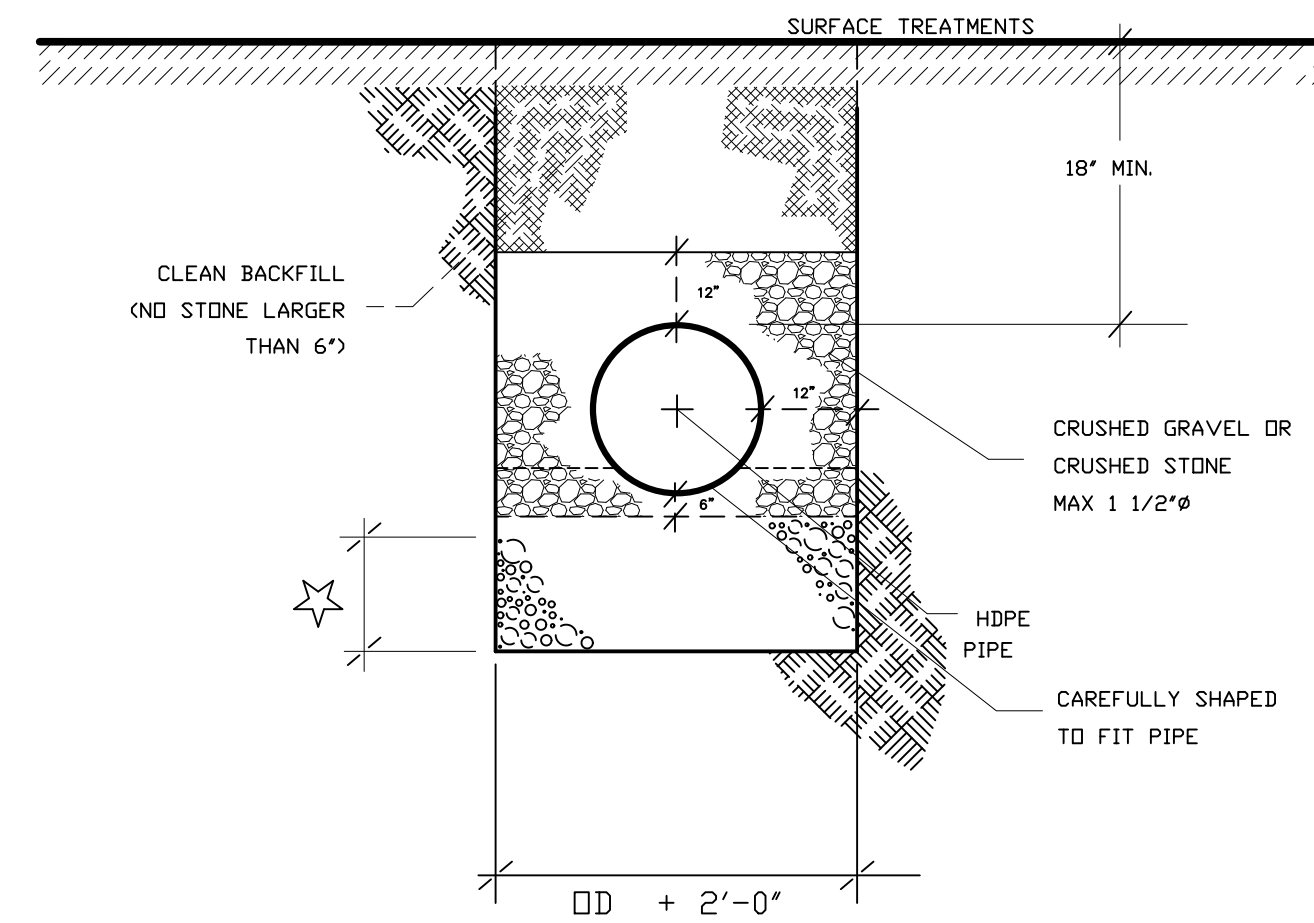
ITEM NO.	PART NO.	DESCRIPTION	MATERIAL
1	AR66H	TOP RAIL @ 5/8"W x 1 1/4"H	6063-T6
2	AR67F	CHANNEL 3/4" x 1 1/8" x 3/4"	6063-T6
3	AR45	2" SQ. TUBE W/ GLAZING SLOT	6063-T6
4		1/4" TEMPERED GLASS	
5	AR12P	POST 2" SQ.	6063-T6
6	AR559	3/4" SQ. ALUM. TUBE CLIP	6063-T6
7	AR523B	POST SHOE @ 1/2" H x 4 3/4" SQ.	ALUM. CASTING
8	AR62	3/2" SQ. ALUM. TUBE GLAZE STOP	6063-T6
9	AD-616SS	POP RIVET B.S.	ALUM.
10		RUBBER GLAZE STRIP	RUBBER
11		FOAM	FOAM
12		SETTING BLOCK	WOOD
13		S.S. SCREW	S.S.



ROOF DECK DETAIL: ALUMINUM RAILING WITH GLASS PANELS  
NOT TO SCALE



BUILDING MOUNTED LIGHT  
NOT TO SCALE



- CONSTRUCTION NOTES:
- 8" RUN OF BANK GRAVEL TO BE USED IF UNSUITABLE MATERIAL IS ENCOUNTERED AT PIPE INVERT.
- FILL OR BACKFILL MATERIAL AT STRUCTURES, CULVERTS AND PIPES SHALL BE DEPOSITED IN HORIZONTAL LIFTS NOT TO EXCEED 6" IN THICKNESS PRIOR TO COMPACTION. COMPACTION SHALL BE PERFORMED AT 95% OF STANDARD PROCTOR MAXIMUM DENSITY.
  - WHEN PLACING FILL OR BACKFILL AROUND CULVERTS AND PIPES, LIFTS SHALL BE DEPOSITED TO PROGRESSIVELY BURY THE PIPE OR CULVERT TO EQUAL DEPTHS ON BOTH SIDES.

STORM PIPE TRENCH DETAIL  
NOT TO SCALE

VILLAGE OF WAPPINGERS FALLS  
PLANNING BOARD

FINAL APPROVAL DATED: \_\_\_\_\_

PB CHAIRMAN: \_\_\_\_\_ DATE: \_\_\_\_\_

WITNESS: \_\_\_\_\_

RECONSTRUCTION OF A MIXED USE  
COMMERCIAL AND MULTIPLE RESIDENCE DEVELOPMENT

JSK Rentals LLC

10-16 MARKET STREET - VILLAGE OF WAPPINGERS FALLS, NEW YORK

M. GILLESPIE & ASSOCIATES  
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PROJECT No. 2020.205  
DRAWN BY: A.M.S.  
CHECKED BY: M.E.G.

REVISIONS

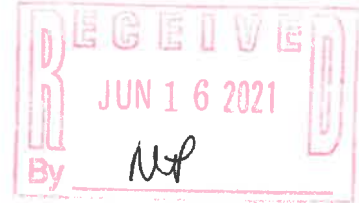
JANUARY 29, 2021  
FEBRUARY 4, 2021  
APRIL 14, 2021  
JUNE 15, 2021

NYSPE #074666

SHEET No.  
4  
4

March 5, 2021

Mr. Tom Morris, Chairperson  
And Village of Wappingers Falls Planning Board  
Village Hall  
2582 South Avenue  
Wappingers Falls, New York 12590



**RE: Lot line realignment for 2602 South Avenue  
Engineering Review – KC Job # 12-0155**

Dear Planning Board Chairman Morris and Members of the Planning Board:

Pursuant to the request of the Village of Wappingers Falls Planning Board, KC Engineering has completed an engineering review of site plan materials for 2602 South Avenue. The applicant is proposing a lot line realignment with no new lots being created. We are in receipt of the following materials:

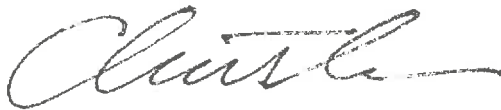
- "Lot line revision Plat" prepared by John J. Post, Jr. dated 4/21/2020, rev 12/5/2020.
- Short form EAF dated 10/14/2020

Our comments are as follows:

1. The Filed Map number is incorrect; it should be FM 11949. FM 11495 is situated in the Town of Milan.
2. Parcel addresses are to be listed.
3. The data table is to be updated with existing and proposed areas, and existing and proposed greenspace areas.
4. The survey needs to be updated; Lot #2 has a deck and pool off the rear of the house which are not shown on the plat.
5. Bearings and distances shall be shown on all new or modified lot lines.
6. Written descriptions of the modified parcels are to be provided for review.
7. It is unclear what is meant by the "proposed drive" for Lot #1. What is existing vs. what is proposed?
8. The graphical scale is incorrect.

Sincerely,

KC Engineering and Land Surveying, P.C.



**Christian T. Moore, P.E.**  
Associate / Project Engineer  
(845) 931-2907  
cmoore@kcepc.com

ALL 8  
DONE  
BY  
SURVEYOR



cc: Mercedes Perez, Planning Board Secretary  
Bryan Murphy, Village Building Inspector / Zoning Administrator  
Michele Greig, PhD, AICP, Four Corners Planning, Village Planning Consultant  
Mr. Jeffrey Smith, Applicant  
Nancy A. Clark, P.E., KC Engineering and Land Surveying, P.C., Village Engineer

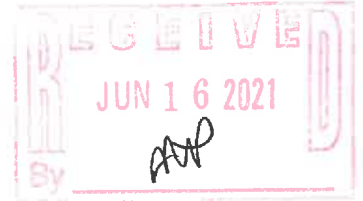
2021-0505.VWF.2602 South Ave.Eng review.docx



FOUR CORNERS  
PLANNING

45 Montgomery Street  
Tivoli, NY 12583  
845.757.1017  
greig@hvc.rr.com

Innovative Planning  
for Traditional Towns



**To:** Tom Morris, Chairman  
Village of Wappingers Falls Planning Board

**From:** Michèle Robinson Greig, AICP

**Date:** May 5, 2021

**Subject:** 2600 and 2602 South Avenue (Smith) Lot Line Alteration

For the captioned project we have reviewed a Sketch Plan prepared by John J. Post Jr., L.L.S. dated April 21, 2020 and revised December 5, 2020; an Application for Planning Board Review dated October 14, 2020; and a Short Environmental Assessment Form (EAF) dated October 14, 2020. We offer the following comments for the Planning Board's consideration. These comments should not be considered all inclusive. We may have additional comments as further information is provided for our review.

*Done by Surveyor*  
*Done by Surveyor*  
*Done by Surveyor*  
*Done by Surveyor*

1. **Proposed Project.** The applicant proposes a lot line alteration between a 0.23-acre parcel located at 2600 South Avenue and a 0.20-acre parcel located at 2602 South Avenue. Both parcels are owned by the applicant. The parcels are located in the Village Residential (VR) District and Historic Overlay District. The project requires Subdivision approval from the Planning Board.
2. **SEQR.** The proposed project is a Type II action under SEQR pursuant to 6 CRR-NY 617.5(c)(16) since it involves an individual lot line alteration. Type II actions are not subject to review under SEQR. We have prepared a resolution classifying the project as a Type II action for the Planning Board's convenience.
3. **Subdivision Plat Update.** The plat should be updated to depict the current conditions, showing everything that is located on the lots, including but not limited to the pool, deck, and shed on Lot 2, and the existing driveway on Lot 1.
4. **Zoning Legend.** The Zoning Legend should include the following additional information so the Planning Board can determine whether any area variances will be required:
  - (a) The area of each lot before and after the lot line alteration, and the amount of land to be conveyed.
  - (b) Lot coverage and greenspace for each lot before and after the lot line alteration, based on current conditions (see comment #3 above). For clarity, the references to "greenspace" on each lot should be removed, and this information should be

included in the Zoning Legend instead. The Zoning Law defines "lot coverage" as "That portion of the lot that is covered by buildings, structures, and impervious surfaces."

- (c) Required setbacks for accessory buildings and the setbacks that will result after the lot line alteration.
- (d) The reference to lot depth should be deleted since the Village Zoning Law does not require a lot depth.
- (e) The Historic Overlay District should also be identified as a zone in which the parcel is located.

5. **Subdivision Plat Revisions.**

- (a) The addresses of the parcels on South Avenue should be included on the plat.
- (b) The driveway on Lot 1 should be labelled "existing" not proposed.
- (c) The filed map number should be verified.
- (d) The scale is incorrect.

6. **Recreation Fee.** Since no new residential lots will be created, payment of a recreation fee is not required.

7. **Deeds.** As a condition of approval, and prior to signing of the plat by the Planning Board Chairman, the applicant shall submit the proposed deeds for review by the Planning Board Attorney.

8. **Public Hearing.** A public hearing on the subdivision application is required. In accordance with NYS Village Law, the hearing must be advertised at least five days before such hearing.

cc: Nancy Clark, P.E. and Christian Moore, PE, KC Engineering & Land Surveying, P.C.  
Lisa Cobb, Esq., Wallace & Wallace LLP

*DONE  
BY  
SURVEYOR*

*UPON  
APPROVAL  
WILL SUPPLY  
THE DEEDS*

*Natalie Smith*

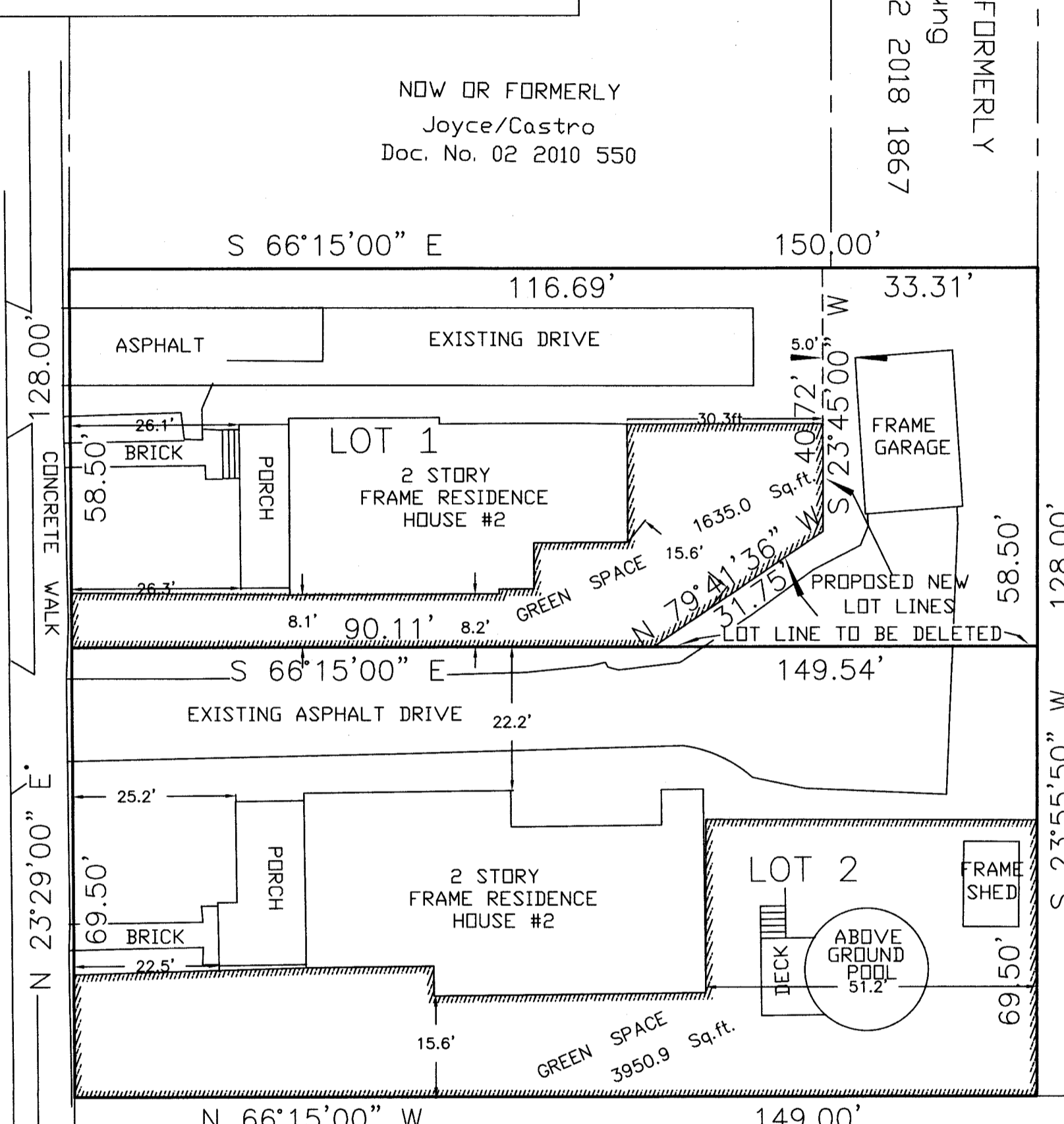
ZONE: VILLAGE RESIDENTIAL VR

MIN. REQ.	MIN. EXISTING		MIN. PROPOSED	
VR	LOT 1	LOT 2	LOT 1	LOT 2
AREA 7,500 ± Sq. Ft.	8761.5± Sq. Ft.	10,374.3± Sq. Ft.	6,584.5 ± Sq. Ft.	12,551.3 ± Sq. Ft.
WIDTH 25 FEET	58.5 FEET	69.5 FEET	58.5 FEET	69.5 FEET
DEPTH 150 FEET	150 FEET	149 FEET	116.69 FEET	149 FEET
FRONT 10 FEET	26.1 FEET	22.5 FEET	26.1 FEET	22.5 FEET
SIDE 0 FEET	8.1 FEET	15.6 FEET	8.1 FEET	15.6 FEET
REAR 10 FEET	63.6 FEET	51.2 FEET	30.3 FEET	51.2 FEET
GREENSPACE	0 ± Sq. Ft.	0 ± Sq. Ft.	1,635 ± Sq. Ft.	3,950.9 ± Sq. Ft.

ZONING TABLE

9D

SOUTH AVENUE



NOW OR FORMERLY  
Joyce/Castro  
Doc. No. 02 2010 550

NOW OR FORMERLY  
Young  
Doc. No. 02 2018 1867

NOW OR FORMERLY  
Pusey/Ramsey  
Doc. No. 02 2010 550

NOW OR FORMERLY  
Mc Cluskey  
L.1233 P.483

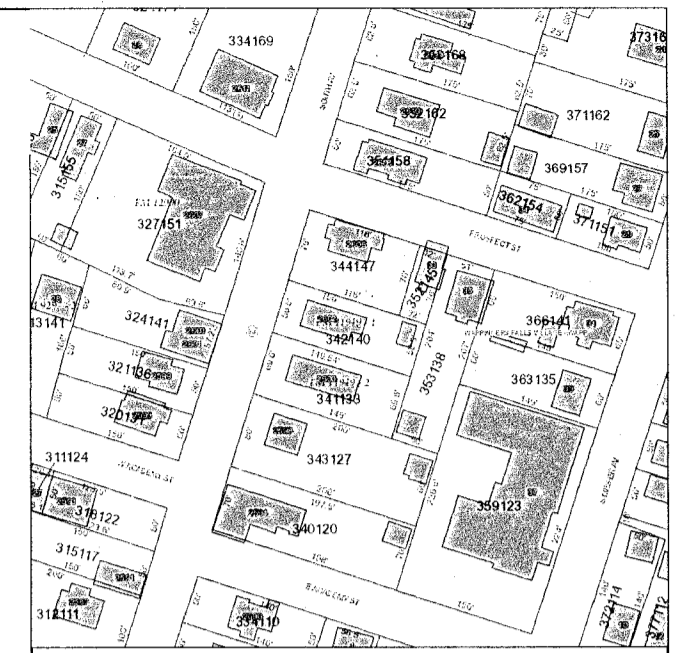
I hereby certify that the survey shown hereon is based on an actual field survey completed on March 11, 2020 and that this map was completed on April 21, 2020

Certified only to:  
JEFFREY SMITH  
NATALIE SMITH



By: John J. Post, Jr., L.L.S. N.Y. State Lic. no. 50643

REVISED 06.05.21  
REVISED 12.05.20



AREA MAP  
(NOT TO SCALE)

OWNERS:  
JEFFREY SMITH  
NATALIE SMITH  
2600 SOUTH ROAD  
WAPPINGERS FALLS, NEW YORK 12590

TAX MAP DESIGNATION: 6156-18-34133 & 342140  
DEED REFERENCE: DOC. NO. 02 2000 1660  
TOTAL AREA: 19,136 ± Sq. Ft.

SITE DATA

THE UNDERSIGNED OWNERS OF THE PROPERTIES SHOWN HEREON STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS, LEGENDS AND DATA AND HEREBY CONSENTS TO ALL THE TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS MAP IN THE DUTCHESS COUNTY CLERK'S OFFICE.

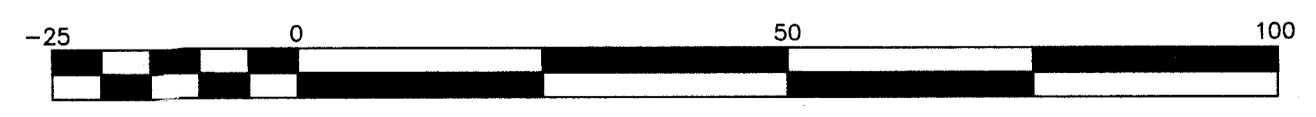
DATE \_\_\_\_\_  
DATE \_\_\_\_\_

OWNER'S CERTIFICATION

PLANNING BOARD APPROVAL

LOT LINE REVISION PLAT  
**LOTS 1 & 2**  
**FILED MAP 11949**

SITUATE IN THE  
VILLAGE OF WAPPINGERS FALLS  
TOWN OF WAPPINGER  
DUTCHESS COUNTY, NEW YORK  
SCALE: 1 INCH = 20 FEET  
APRIL 21, 2020

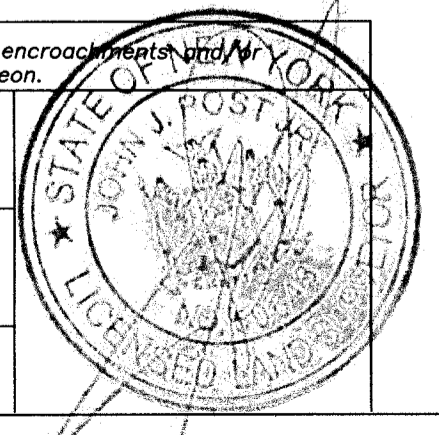


The location of any subsurface easements, right of ways, encroachments and/or improvements, if any exist, are not certified or shown hereon.

Any alterations or additions to this survey is a violation of Section 7209 of the New York State Education Law, except as per Section 7209 Sub-division 2.

All certifications hereon are valid for this map and copies thereof only if said map of copies bear the inked or embossed seal of the surveyor whose signature appears hereon.

John J. Post Jr., Land Surveyor  
P.O. Box 827, Stone Ridge, N.Y.  
845.331.3931



June 16, 2021

Village of Wappingers Falls Planning Board  
Mr. Thomas Morris, Planning Board Chairman  
2582 South Avenue  
Wappingers Falls, NY 12590

Re: 2695 West Main Street  
Mixed Use Building  
Site Plan

Dear Chairman Morris and members of the Planning Board:

*The following are our responses to the comment letter from K.C. Engineering and Land Surveying, P.C., dated June 9, 2021.*

- 1) The short EAF will need to be amended to include the Dutchess County Department of Behavioral & Community Health with regards to backflow prevention on the proposed fire line.

**Response: The applicant has indicated, as before, he is revision the EAF as required and submitting under separate cover.**

- 2) The Board has requested the existing retaining wall along the front of the property be repaired/replaced due to its condition. This may necessitate a modification of the Occupancy and Use Permit with the NYSDOT.

**Response: The applicant has been advised of the request and may consider minor repair and surface treatment as determined through the building permit process.**

- 3) The applicant is showing a 6" water line for fire suppression:

- a) The fire line will need backflow prevention. Since the size of the backflow preventer exceeds 2", review and approval by Dutchess County Department of Behavioral & Community Health is required. The Applicant is to keep the Board apprised regarding the application.

**Response: Our understanding based upon previous work history within the Village and all other municipalities; backflow prevention approval is pertinent to building department application process and not site plan review. There is nothing within the scope of the site plan application requiring DCDH approval (onsite treatment, water or sewer main modification) as the only thing proposed are service connections. It is**



customary that had it been before the DCDH for something else, DCDH would either require the backflow review and approval be deferred as a separate application prior to issuance of a building permit or details included in plan they were reviewing. Based upon the Meeting, Bryan Murphy would be seeking clarification on typical procedure.

- b) Installation of the line and the wet-tap will require a Highway Work Permit from the NYSDOT. The Board will be seeking confirmation from the NYSDOT agreeing to this work within the ROW. The Applicant is to make application with NYSDOT and keep the Board apprised.

**Response: The applicant has not delegated NYSDOT application and permits to this office and he has pursued all applications to the NYSDOT as is his prerogative. Any correspondence will be under separate cover from the Applicant.**

- c) Additional details are required for the proposed fire line, trenching, valving, metering, etc. Dutchess County may require additional notes and details as appropriate.

**Response: A detail has now been provided.**

- d) The utility room is called out as 4.5' x 8' (A1/A2). Applicant needs to demonstrate that there is sufficient space for both the fire and potable lines, along with backflow prevention and metering.

**Response: Comment noted. This is typically addressed during the building department phase of the project once an MEP design has been provided and sprinkler sized accordingly by a sprinkler designer. The utility room in the rear of the ground floor and internal area can be**

4) Proposed retaining wall

- a) A precast retaining wall option is proposed. The specific make and manufacturer is to be specified, along with color and texture for the Board's consideration.

**Response: The manufacturer used as the basis for the detail has been provided, Redi-Rock. The wall is not part of a building or an architectural element and is behind the proposed white fence. It is not typical to provide retaining wall details as final install will vary based upon actual manufacturer (Versa-Lok, Redi-Rock Allen Block, Nicolock etc) and local availability.**

- b) The drain behind the wall needs to be tied in. Discharge to grade is not acceptable.

**Response: This office disagrees. The most common and often only practical/possible option is to daylight any drainage provided behind a retaining wall either with a tow drain as shown or weep hole structures along the face of the wall. Either method is industry standard and acceptable practice. To trench under pavement, structure, utilities, curb etc. for what is usually a 4" line that's function is limited to water that is incidental behind a minor wall is usually not a concern. The line cannot be considered as part of the**

- c) The detail calls out a drainage swale just behind the wall. The swale needs to be shown on the plan view.

**Response: A swale has been called out on the plan.**

d) Top and bottom of wall elevations are to be provided.

**Response: The high point of the wall has been called out with elevations.**

5) Refuse enclosure/gate:

a) Width dimensions for the enclosure are to be provided.

**Response: The detail for the refuse slab calls out the dimensions**

b) Dumpster enclosure material is now called out as pressure treated lumber, painted white.

**Response: No further response at this time.**

c) The dumpster screening/enclosure is listed as 8' high, but the chainlink gate is only 6' high. Please clarify.

**Response: The detail has been revised. The intention is that 6' high fence will be provided given final use as residential style bins being stored.**

d) 36" deep footings are shown for the screening detail, but 48" deep footings are shown for the gate. These depths are to be reconciled.

**Response: The detail has been revised to show 48" footings**

e) Concrete pad is to be detailed.

**Response: A detail has now been provided.**

6) Survey comments:

a) The existing offset from the building corner to southerly property line is to be shown.

b) Title block is to be corrected to "Village of Wappingers Falls"

**Response: The surveyor, Bob Oswald, has been contacted again for revisions. The importance of this is in question as the referenced survey is not part of the plan set the Board is signing and will have no bearing on the project.**

*The following are our responses to the comments from Michele Robinson Greig, AICP, Four Corners Planning, dated May 5, 2021:*

1. NYSDOT Permits. A Use and Occupancy Permit from the NYSDOT is required to address the two foot encroachment into the right-of-way, and a Highway Work Permit is required for scaffolding in the right-of-way during construction.

**Response: The applicant has not delegated NYSDOT application and permits to this office and he has pursued all applications to the NYSDOT as is his prerogative. Any correspondence will be under separate cover from the Applicant.**

2. Adjacent Parcel. The applicant states that they are not purchasing the adjacent parcel at this time.

**Response: No further comment at this time.**

### 3. Building Elevations

- a) The elevations have been revised to call out the dimensions for the building trim, trim boards, window trim, and finion number for the decorative brackets.

**Response: No further reply.**

- b) Hardiplank siding is now proposed on the side elevations, along with the front. The plans should specify the siding materials for the rear elevation.

**Response: The elevation now calls out vinyl siding for the rear of the property.**

- c) The front elevation has been revised to show a large picture window on the ground floor. The previous proposal with two windows on the ground floor is more in keeping with historic mixed-use buildings with low first floor ceilings. As discussed in a previous memo, and as illustrated below, the first-floor ceiling of the building in question is too low to provide vertically proportioned glazing on the first floor consistent with historic storefronts. Two separate windows are preferable.

**Response: The two-window arrangement has been restored. The applicant's intention with the large window was to provide a strong commercial look as opposed to a continuation of the residential treatments on the upper floors.**

- d) Two additional windows have been included on the north elevation, and one. Additional window has been included on the south side. This reduces the appearance of a blank facade on the sides of the building and will increase natural light in the upper story apartments.

**Response: Comment noted.**

- e) The building elevations should be revised to show the location of the proposed wall-pack lighting fixtures, as requested by Dutchess County Planning. County Planning notes that the fixtures could be located lower than 15 feet to reduced glare into the apartments.

**Response: The elevation has been revised to include the missing wall packs with the north side pack lowered as suggested.**

### 4. Landscaping

- a) Spring Grove Giant Arborvitae (*Thuja Plicata 'Grovepli'*), which claims to be deer resistant and grows approximately 25 feet high, is proposed to replace the American Arborvitae.

**Response: This remains unchanged with this submission.**

- b) Dwarf Fountain grass (*Pennisetum alopecuroides 'Hamelin'*), which grows 1½ to 2½ feet high, is proposed to replace the Winter Gem Boxwood, and the location of the plantings have been adjusted to improve sight distance at the site entrance.

**Response: This remains unchanged with this submission.**

- c) A Red Flowering Dogwood is proposed where the freestanding sign is currently located.

**Response: This remains unchanged with this submission.**

5. Signage. If the building elevations are revised to show the proposed location of either the wall sign or the projecting sign, and if a detail of the sign indicating its size and dimensions is included on the plans, the applicant would not be required to return for amended site plan approval for the sign in the future. Otherwise, a note should be included on the plans that amended site plan approval from the Planning Board is required for signage.

**Response: The projecting wall sign has been added to the elevations with dimensions.**

6. The proposal has been revised to include pressure treated wood painted white for the refuse enclosure. Detail 2 on Sheet 2 should be revised to refer to "Refuse Enclosure Fence," rather than "Wooden Privacy Fence."

**Response: The details label has been revised.**

7. Dutchess County Planning recommends that a bicycle rack be included. The applicant notes that a typical inverted "U" rack will be shown under the deck with the next submission.

**Response: The bicycle rack has, finally, been added as intended.**

8. Payment of the recreation fee for two (2) dwelling units can be made a condition of signing the Site Plan.

**Response: Comment noted. As this is not a subdivision, and is a site plan, we ask that the board consider that recreation fee's be made a prerequisite for consideration of any Town issued permit (demo, building, etc.) in lieu of signing the plans.**

We trust these responses will aid in your review of the project. If there are any further questions, please feel free to contact this office for additional information.

Thank you,

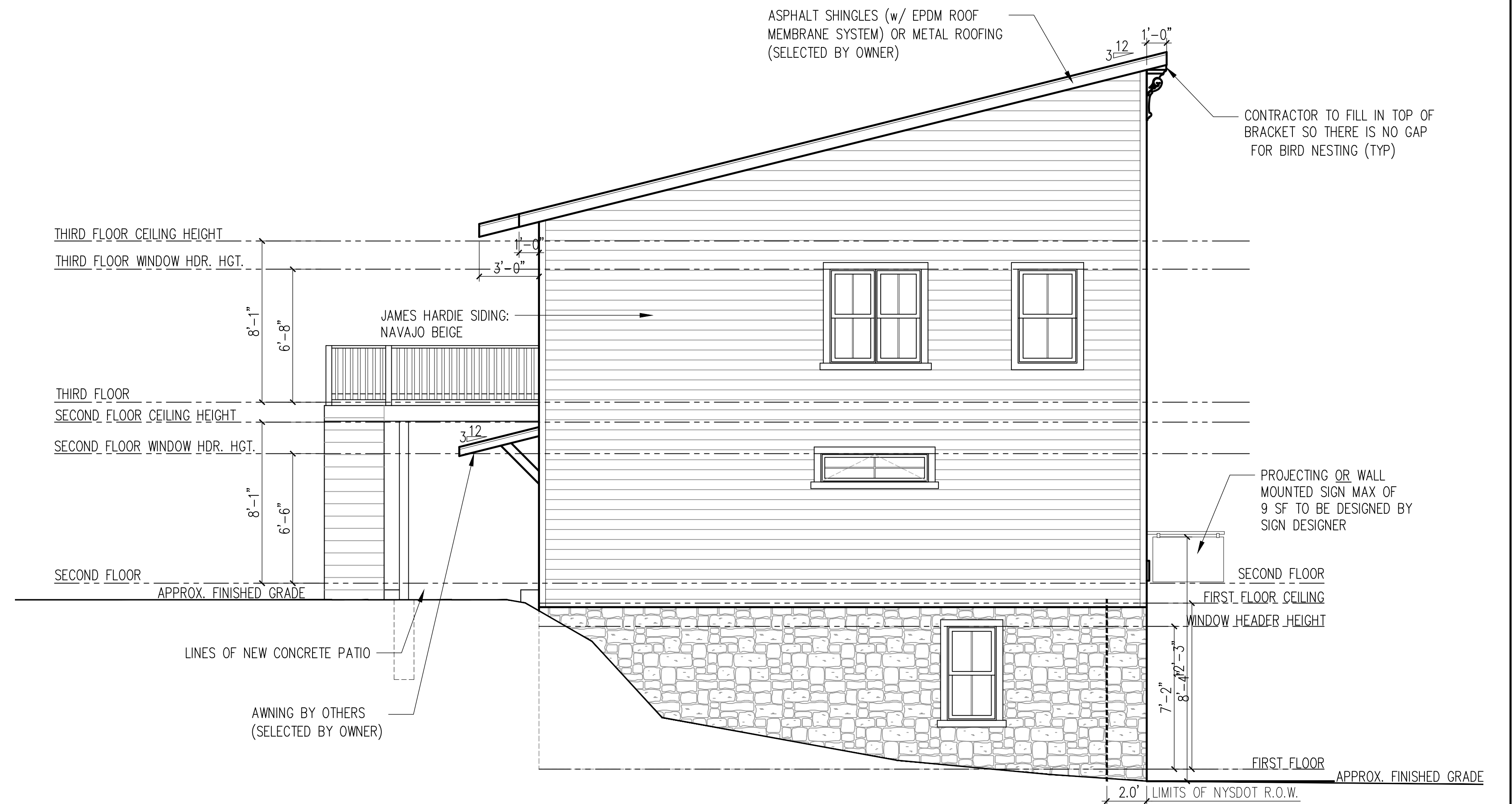
A handwritten signature in cursive script that reads "Brian Watts". The signature is written in black ink on a white background.

Brian Watts



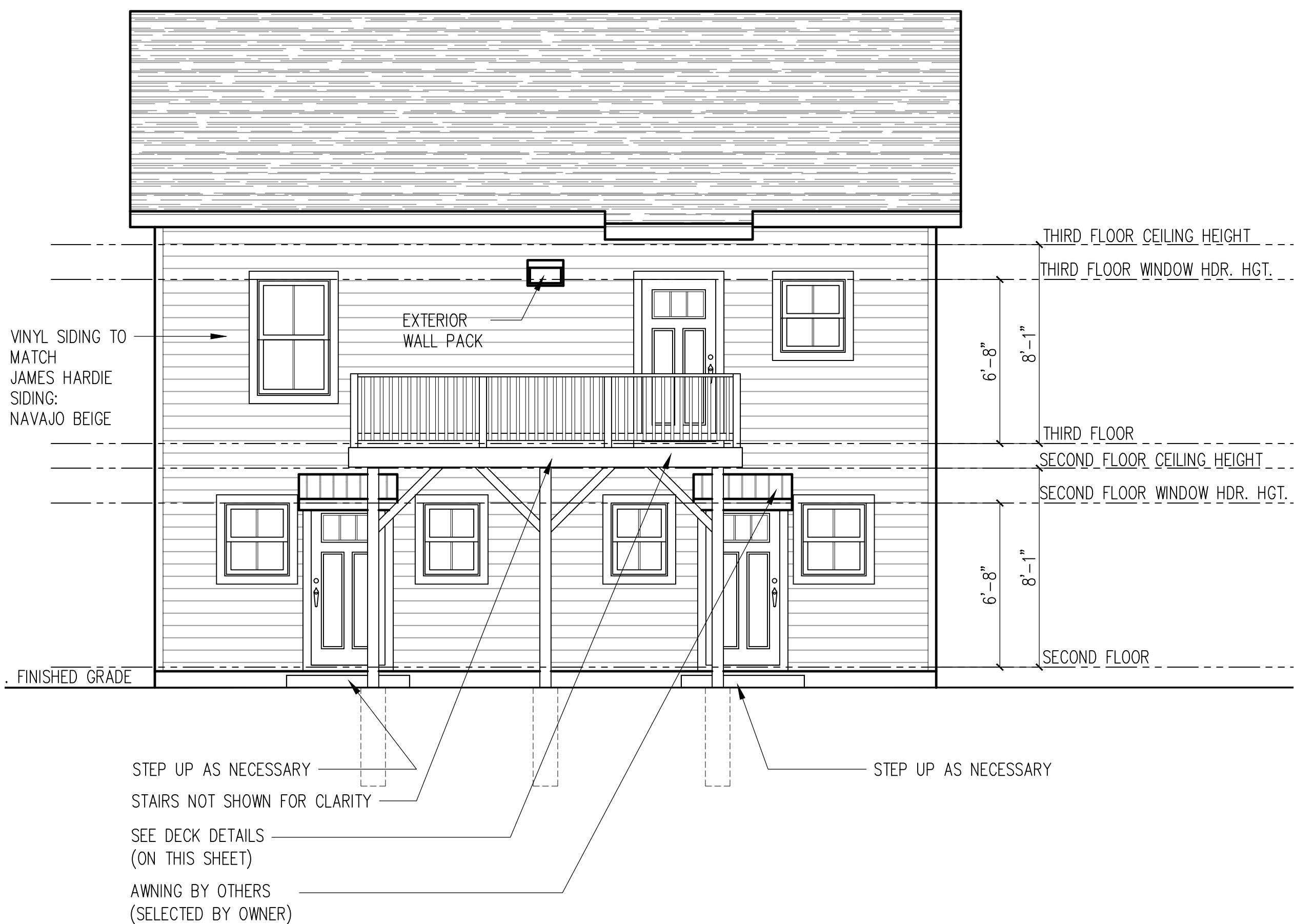
E.1 PROPOSED FRONT ELEVATION VIEW

A.1 SCALE: 1/4" = 1'-0"



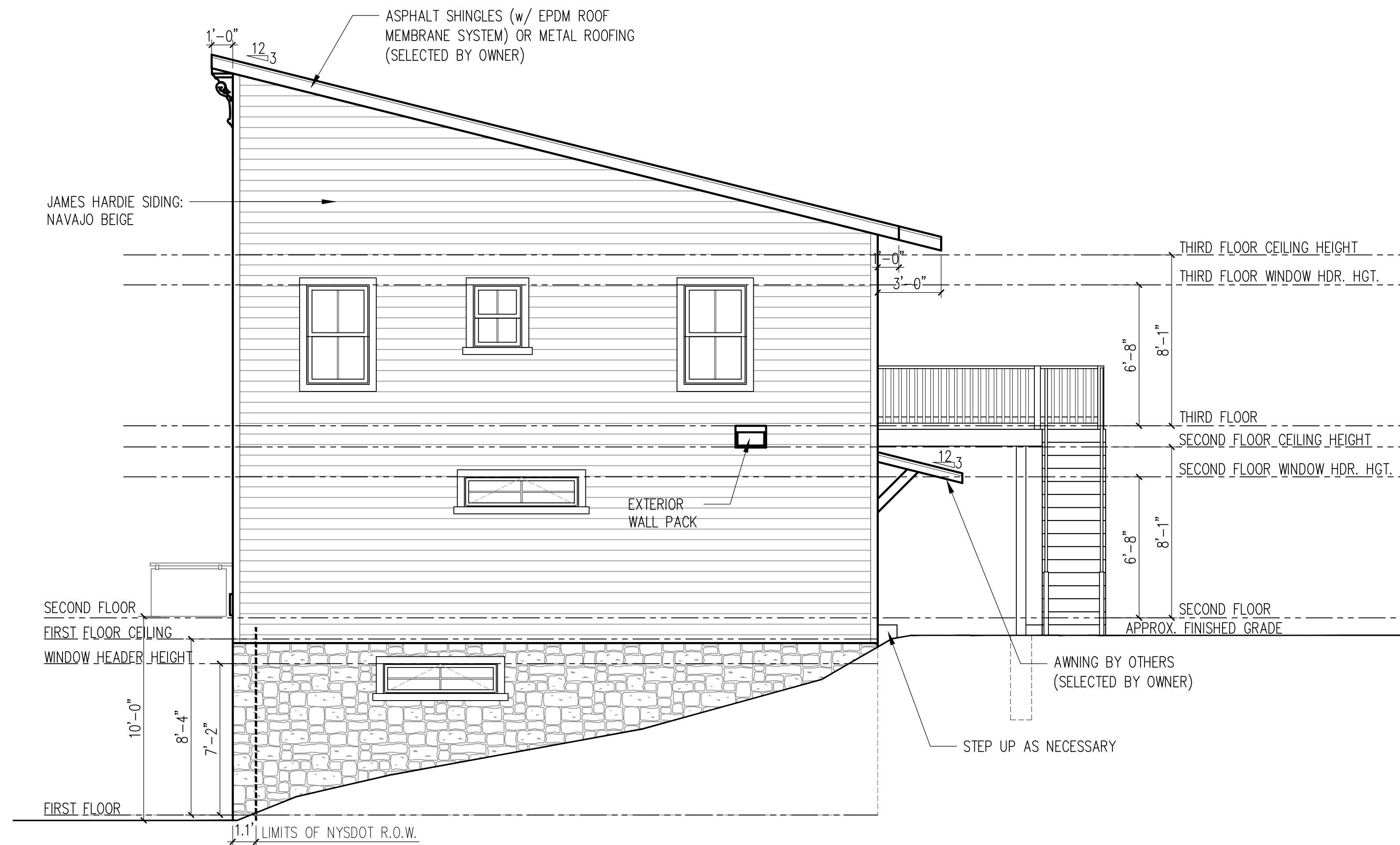
E.2 PROPOSED LEFT SIDE ELEVATION VIEW

A.1 SCALE: 1/4" = 1'-0"



E.3 PROPOSED REAR ELEVATION VIEW

A.1 SCALE: 1/4" = 1'-0"



E.4 PROPOSED RIGHT SIDE ELEVATION VIEW

A.1 SCALE: 1/4" = 1'-0"

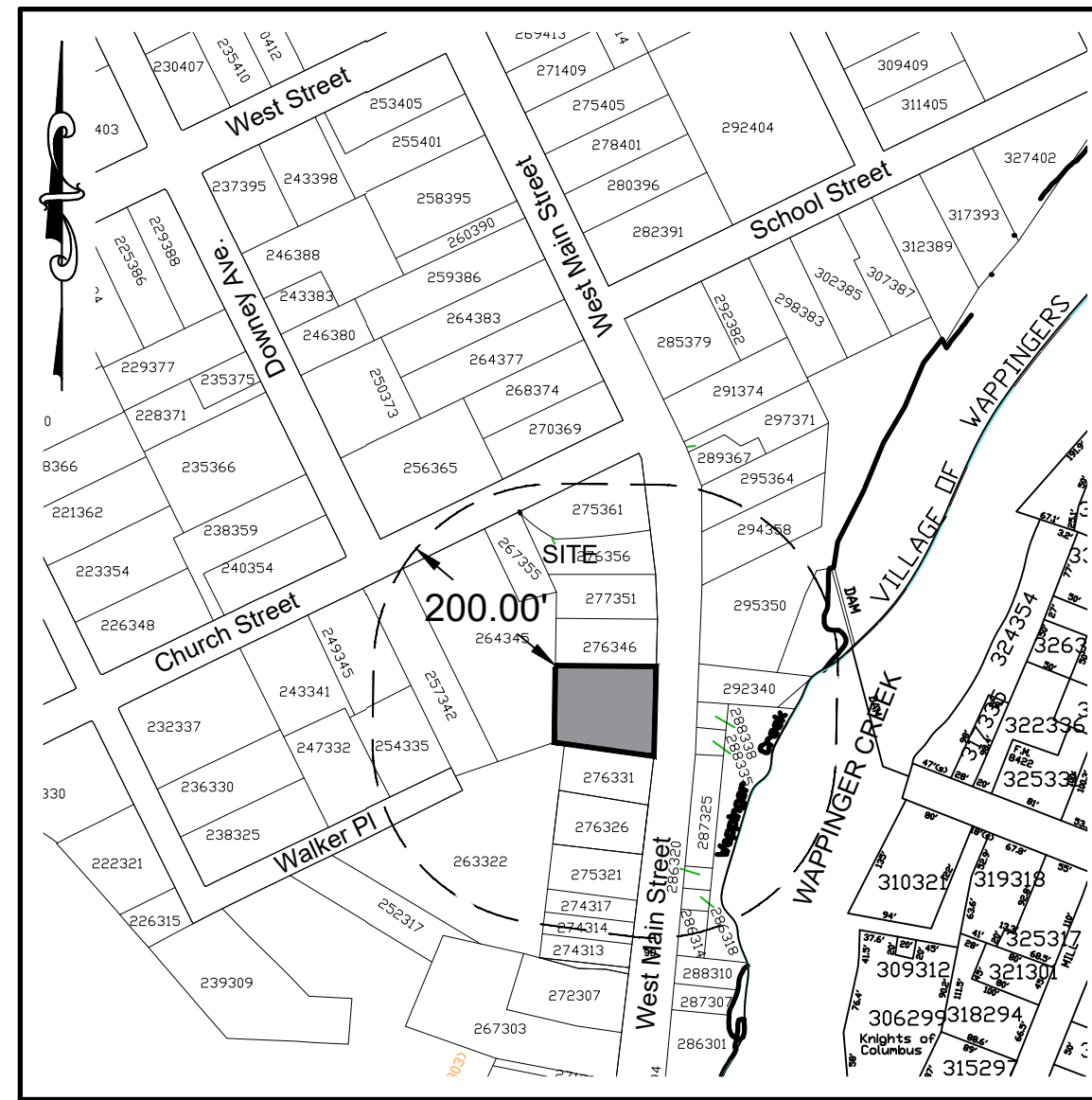
PLEASE NOTE THAT ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.

Mark A. Day, PE	
06/16/2021	
05/12/2021	
12/15/2020	
11/11/2020	
Project No. 2020.481	License No. 069646
<b>DAY STOKOSA</b> ENGINEERING P.C.	
3 Van Wyck Lane Suite 2 Wappingers Falls, New York (845)-223-3202	
2695 W. Main Street Village of Wappingers New York	
<b>Proposed Plans</b>	
SCALE: AS NOTED	DRAWN BY: KR
DATE: 11/09/2020	CHECKED BY: MAD
<b>A.1</b>	

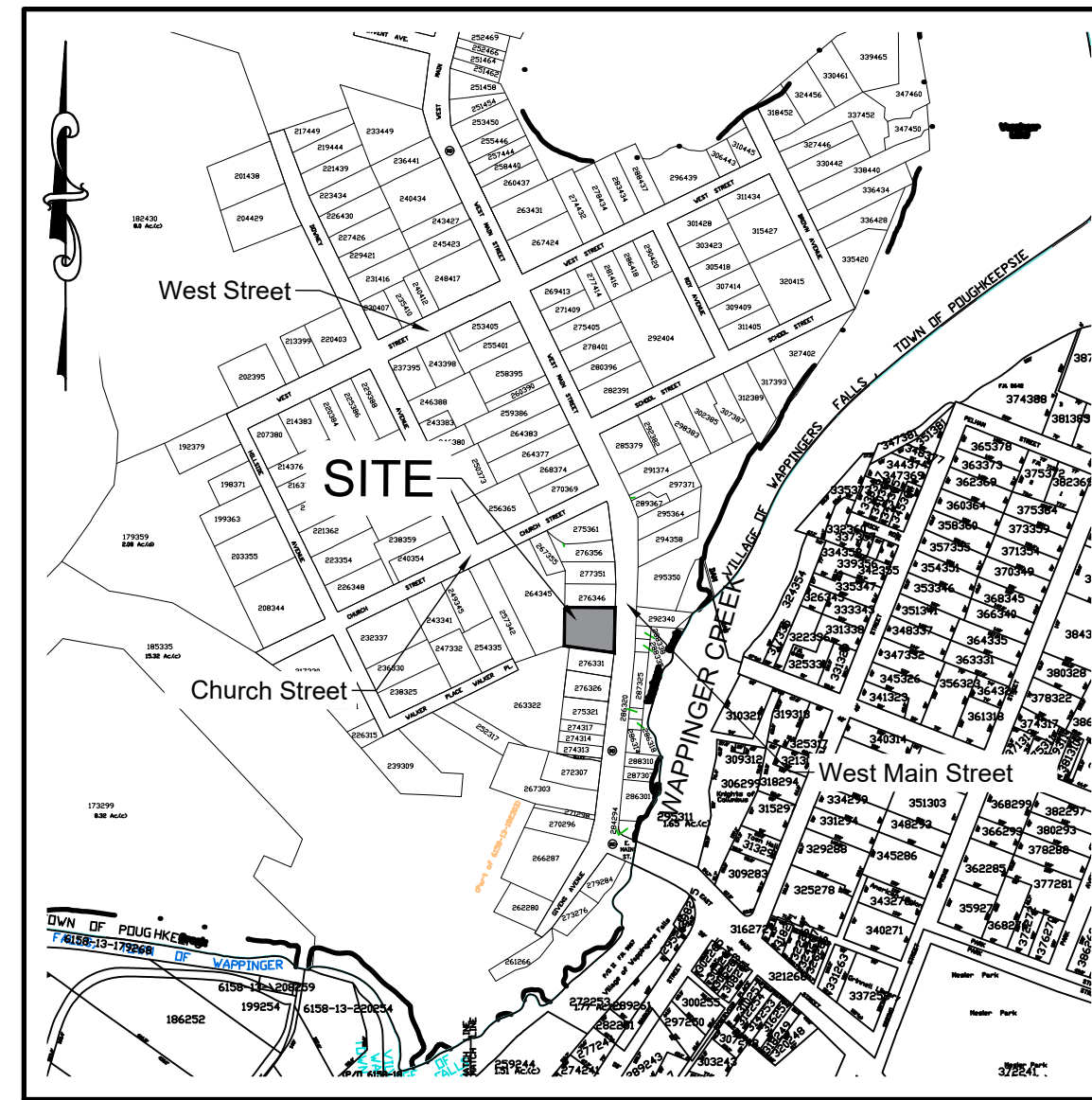
# 2695 W. MAIN STREET

## 2695 West Main Street Village of Wappingers Falls

PREPARED FOR  
RICHARD HOLLISTER  
2695 W. MAIN STREET  
WAPPINGER FALLS NY 12590



LOCATION MAP SCALE: 1" = 200'



AREA MAP SCALE: 1" = 400'

### ALL ADJACENT OWNERS WITHIN 200 FEET OF SITE:

as per Dutchess County Real Property Tax Service Agency as of November 2018

Zone Classification: VC (Village Commercial District)  
Mixed Use  
Tax Map Parcel No: 134601-6158-14-277339 (0.090 Ac)  
Topographic Datum: NAVD 88  
Total Acreage: 0.23 Ac  
Water Supply: Village of Wappingers Falls  
Sewage Disposal: Village of Wappingers Falls

**Bulk Regulations:** Required Proposed

#### Building Configuration

Principal Building Height and Stories: 65' max, 5 stories, 2 stories min / 36', 3 stories

Accessory Building: 2 stories max / 1 story

#### Lot Occupation

Lot Width: 20 ft. min. / 49.92 ft  
Lot Coverage: 100% max. / 62%

#### Setbacks - Principal Building

Front Setback Principal: 2 ft. min., 12 ft. max. / -2 ft.\*  
Front Setback Secondary: 2 ft. min., 12 ft. max. / --  
Side Setback: 0 ft. min., 24 ft. max. / 10.62ft / 50.55ft\*  
Rear Setback: 3 ft. min. / 83.11 ft.  
Frontage Buildout: 80% min at setback / 30%\*

#### Setbacks - Accessory

Front Setback Principal: 40 ft max., from rear prop. / 62.61 ft.\*  
Front Setback Secondary: 5 ft. min. / --  
Side Setback: 5 ft. max. / 5 ft.

#### Private Frontage

Common Lawn: not permitted  
Porch & Fence: permitted  
Terrace or Lightwell: permitted  
Forecourt: permitted  
Stoop: permitted  
Shopfront & Awning: permitted  
Gallery: not permitted  
Arcade: permitted

\* Existing Nonconforming

#### Off-street Parking Calculations

151-24 Schedule of Off-street parking Requirements

#### Use

Use	Minimum Off-street Parking
Residential	
Dwelling, Multi Family	1 per unit
Commercial	
Office, per SPR	YES 4
# of Units	<b>Required</b>
2695	3
3 Units (1 1-Bedroom & 2 2-bedroom)	
Required ADA Spaces	1

#### Provided

Standard Spaces	6
Compact Car Spaces	-
ADA Spaces	1
Total Provided	7

Village of Wappingers Falls  
2582 South Ave  
Wappingers Falls, NY 12590  
For Property:1346010061580014294358

Ronald D'Souza  
PO Box 1130  
Hopewell Junction, NY 12533  
For Property:1346010061580014288338

Ronald A. Cservak, Sr  
8 Walker Pl  
Wappingers Falls, NY 12590  
For Property:1346010061580014254335

Michal Kocan  
15 Linden Rd  
Poughkeepsie, NY 12603  
For Property:1346010061580014275361

Community Services Programs In  
5 Givens Ave  
Wappingers Falls, NY 12590  
For Property:1346010061580014274317

Michal Kocan  
15 Linden Rd  
Poughkeepsie, NY 12603  
For Property:1346010061580014276356

Douglas Outwater  
5 Walker Pl  
Wappingers Falls, NY 12590  
For Property:1346010061580013247332

Christopher L. Davis  
7 Walker Pl  
Wappingers Falls, NY 12590  
For Property:1346010061580014263322

2689 West Main Street LLC  
332 High St N  
Mount Vernon, NY 10550  
For Property:1346010061580014275321

Deutsche Bank National Trust  
1661 Worthington Rd Ste 100  
West Palm Beach, FL 33409  
For Property:1346010061580014292340

Community Services Programs  
5 Givens Ave  
Wappingers Falls, NY 12590  
For Property:1346010061580014274314

Pinnacle Properties of NY Inc  
412 Saratoga Ln  
Fishkill, NY 12524  
For Property:1346010061580014276326

Village Of Wappingers Falls  
PO Box 92  
Wappingers Falls, NY 12590  
For Property:1346010061580014334494

HAIJUL LLC  
1107 Main St  
Fishkill, NY 12524  
For Property:1346010061580014277339

Providence Realty of Lagrange  
1136 Route 9  
Wappingers Falls, NY 12590  
For Property:1346010061580014276346

Rachid Arraki  
2252 First Ave Apt 5D  
New York, NY 10029  
For Property:1346010061580014286314

Alfredo Gonzaga  
9 Church St  
Wappingers Falls, NY 12590  
For Property:1346010061580014264345

Ronald D'Souza  
PO Box 1130  
Hopewell Junction, NY 12533  
For Property:1346010061580014288335

Village Of Wappingers Falls  
PO Box 92  
Wappingers Falls, NY 12590  
For Property:1346010061580014286318

Zadreamteam II Realty Corp  
2430 Lurling Ave  
Bronx, NY 10469  
For Property:1346010061580014287325

Providence Realty of Lagrange  
1136 Route 9  
Wappingers Falls, NY 12590  
For Property:1346010061580014276331

Walter Pulla  
3 Gary Pl  
Wappingers Falls, NY 12590  
For Property:1346010061580013249345

Nest Hill Homes LLC  
PO Box 1711  
Poughkeepsie, NY 12601  
For Property:1346010061580014277351

Michal Kocan  
15 Linden Rd  
Poughkeepsie, NY 12603  
For Property:1346010061580014267355

William L. Raiche  
11 Church St  
Wappingers Falls, NY 12590  
For Property:1346010061580014257342

Village Of Wappingers Falls  
PO Box 92  
Wappingers Falls, NY 12590  
For Property:134601006158001428632

Robert Smith  
2698 main St W  
Wappingers falls, NY 12590  
For Property:1346010061580014295364

Village of Wappingers Falls  
2582 South Ave  
Wappingers Falls, NY 12590  
For Property:1346010061580014295350

Windsor Machinery Company Inc  
16 Orbit Ln  
Hopewell Junction, NY 12533

### GENERAL SITE NOTES

- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD VERIFY EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFI'S SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISIONS OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- DRAWINGS ARE NOT TO BE SCALED: USE DIMENSIONS ONLY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. BUILDING DIMENSION TO BE TAKEN FROM ARCHITECTURAL PLANS. THE ENGINEERING SHALL BE NOTIFIED OF ANY DEVIATION FROM THE CONDITIONS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY WITH LOCATE UTILITY COMPANY THE LOCATION OF ANY UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATIONS.
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
- ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHOWN HERE ON SHALL BE IN ACCORDANCE WITH
  - BUILDING CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
  - CURRENT PREVAILING MUNICIPAL, COUNTY AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS AND REQUIREMENTS.
  - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
  - CURRENT MANUFACTURER SPECIFICATION, STANDARDS AND REQUIREMENTS.
- ALL CHANGES AND/OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
- CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.

<b>Owner/Applicant</b>  RICHARD HOLLISTER 2695 W. MAIN STREET WAPPINGER FALLS NY 12590
--

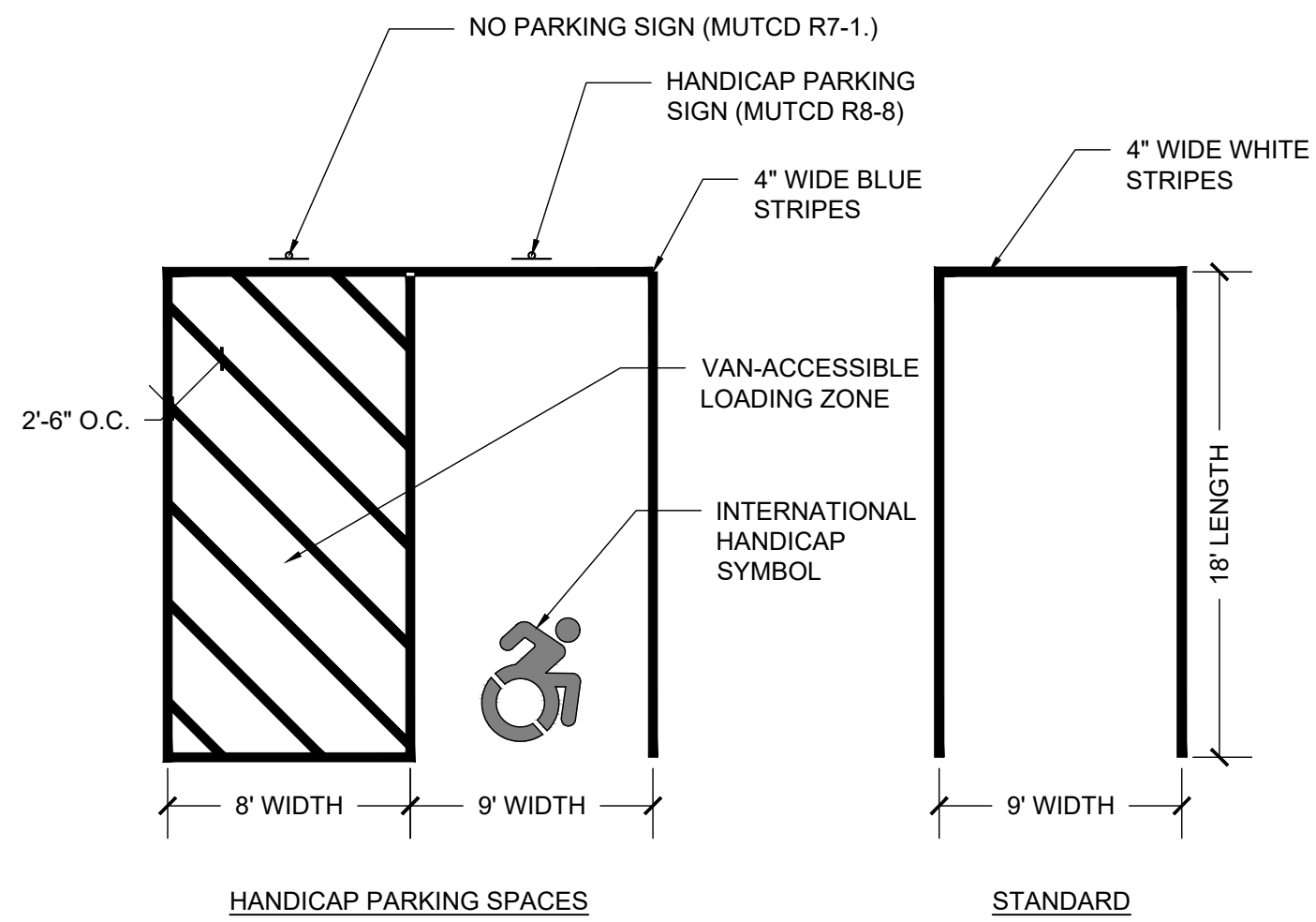
<b>Owner's Consent Note</b>  THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON  RICHARD HOLLISTER  DATE
--

<b>Village of Wappingers Falls Planning Board</b>  APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WAPPINGERS FALLS, NEW YORK ON THE _____ DAY OF _____, 2021 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.  VILLAGE OF WAPPINGERS FALLS PLANNING BOARD  SIGNED THIS _____ DAY OF _____, 2021  Thomas Morris, Village of Wappingers Falls Planning Board Chair  DATE
--

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

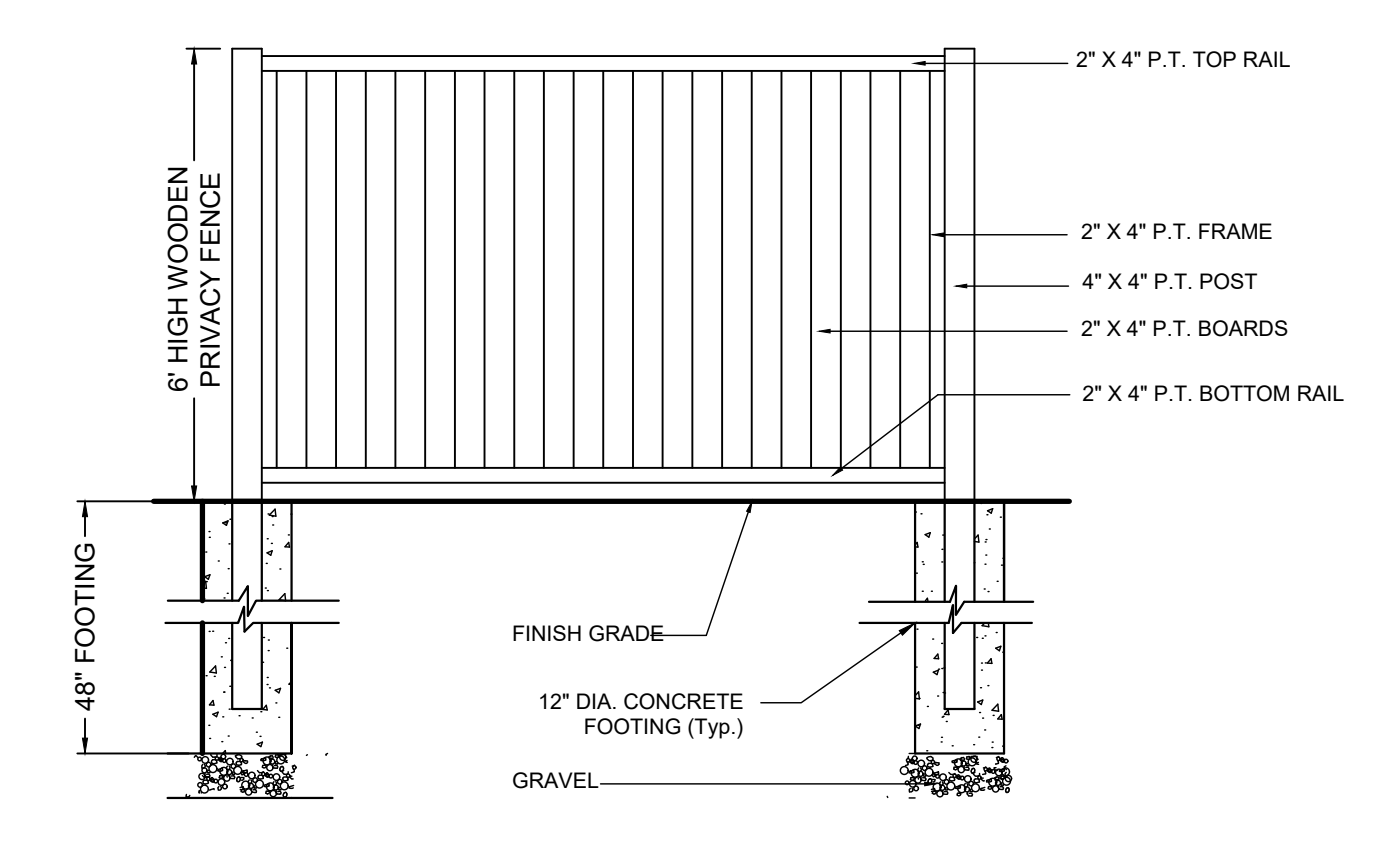
Brian J. STOKOSA, PE	
JUNE 16, 2021	
MAY 12, 2021	
APRIL 14, 2021	
MARCH 10, 2020	
DECEMBER 16, 2020	
NOVEMBER 16, 2020	
Project No. 2020.481	License No. 083970
<b>DAY STOKOSA</b> ENGINEERING P.C.  3 Van Wyck Wappingers Falls, New York 12590 (845)-223-3202	
PROJECT: <b>2695 W. MAIN STREET</b> Village of Wappinger Dutchess County, New York DRAWING: <b>SITE PLAN</b>	
SCALE: AS NOTED	DRAWN BY: BJS
DATE: 2-12-2019	CHECKED BY: BJS
DRAWING No. <b>1</b> Page 1 of 3	





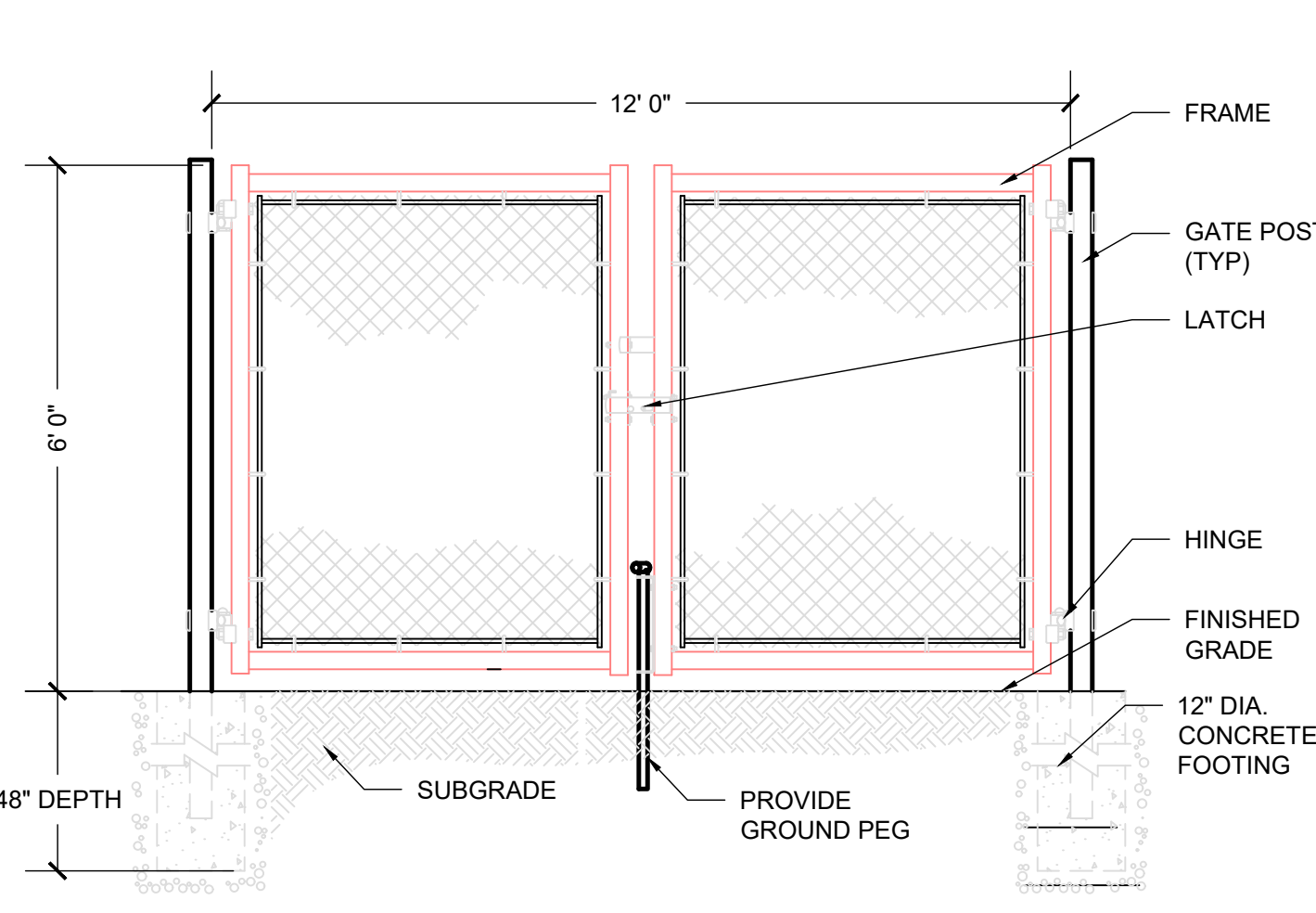
- NOTE:
- MARKINGS AND DISTANCES SUBJECT TO CURRENT ZONING AND SITE REGULATIONS.
  - PAINT USED SHALL BE SUITABLE FOR THE INTENDED PURPOSE
  - STRIPING WORK SHALL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.

1 PARKING STALL MARKINGS  
NOT TO SCALE



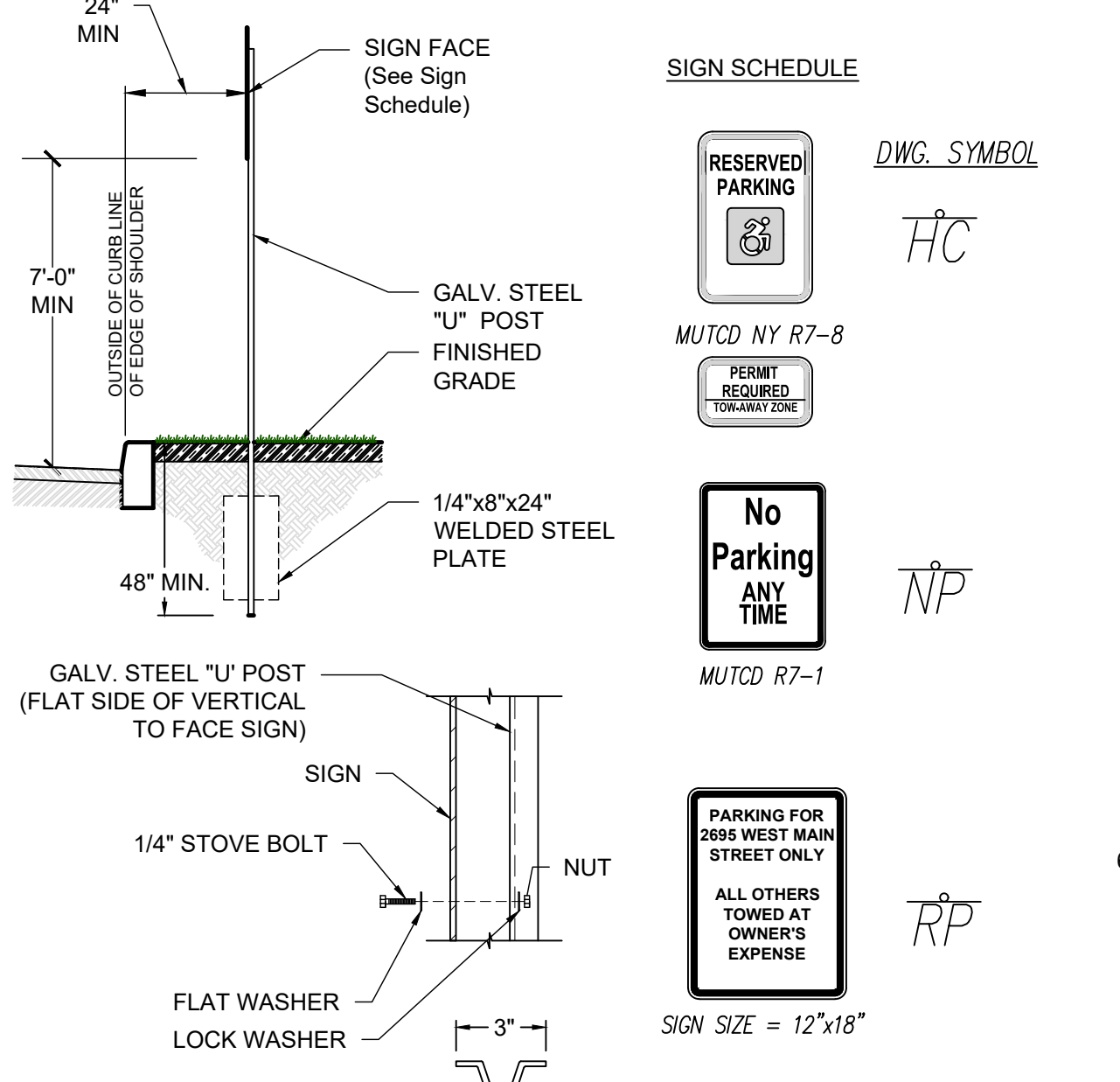
- NOTES:
- FENCE SHALL BE CONSTRUCTED OF PRESSURE TREATED LUMBER RATED FOR GROUND CONTACT AND BE OF DURABLE CONSTRUCTION.
  - FENCE SHALL BE PAINTED WITH AN APPROPRIATE OUTDOOR PAINT SUITABLE FOR WOOD. PAINT COLOR SHALL BE WHITE.
  - FENCE LUMBER DIMENSIONS MAY VARY FROM PLAN. FIELD VERIFY FENCE PRIOR TO PURCHASING AND INSTALLING FENCE.
  - ALL FENCE HARDWARE SHALL BE CORROSION RESISTANT AND APPROPRIATE FOR OUTDOOR USE IN PRESSURE TREATED LUMBER.

2 WOODEN REFUSE ENCLOSURE FENCE DETAIL  
NOT TO SCALE

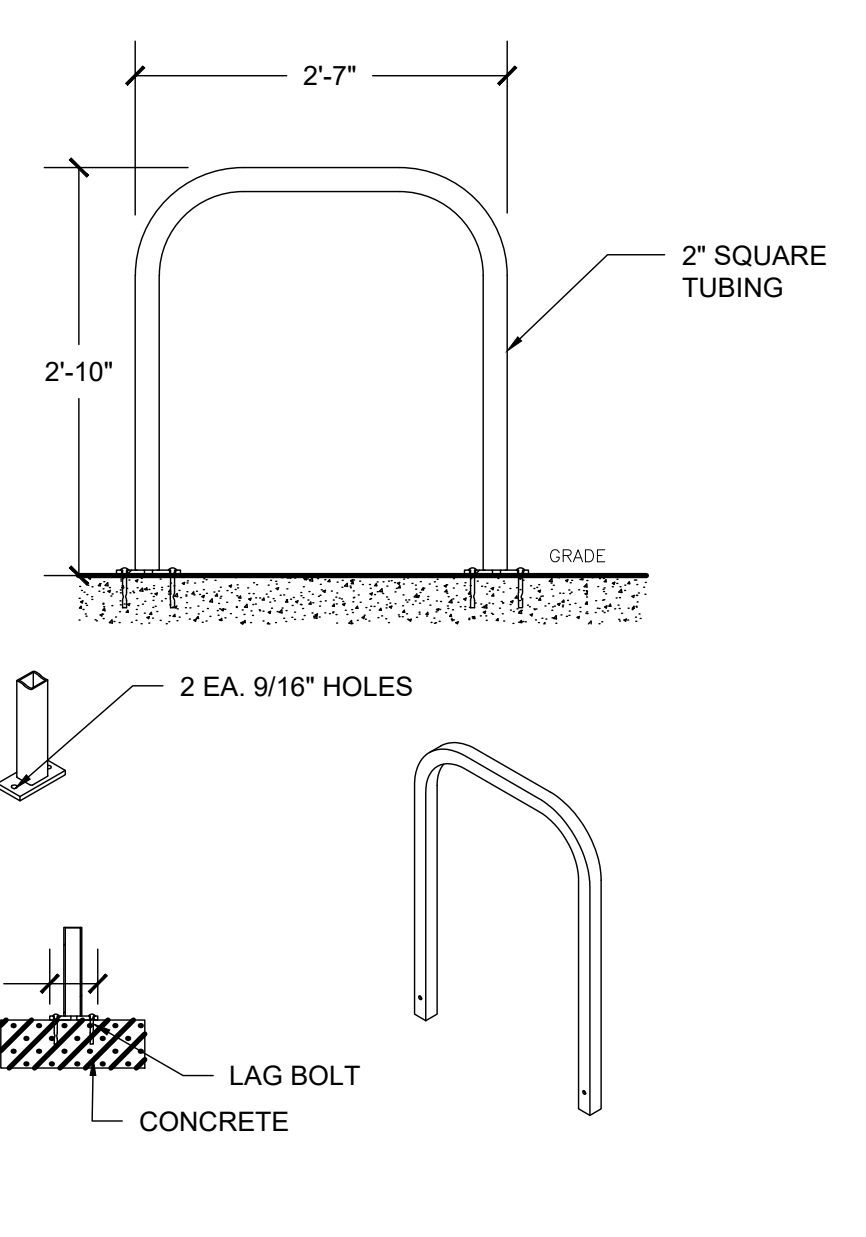


- NOTE:
- CONCRETE FOOTING SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
  - FOOTING SHALL BE FLUSH WITH FINISHED GRADE.
  - PRIVACY SLOTS SHALL BE PROVIDED THAT MATCH THE PROVIDED COLOR OF THE VINYL FENCE USED FOR THE REFUSE ENCLOSURE (WHITE).
  - SLATS SHALL PROVIDE A MINIMUM PRIVACY FACTOR OF 90%
  - LATCH SHALL BE PROVIDED WITH A LOCK TO MINIMIZE UNAUTHORIZED ACCESS.

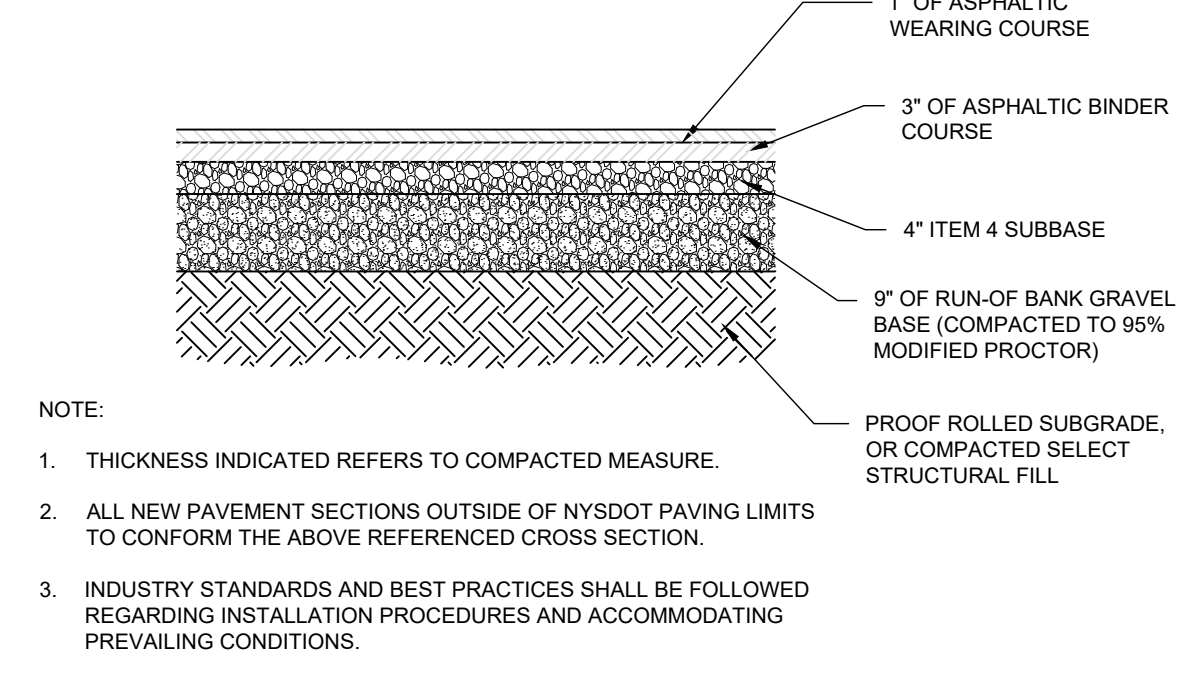
3 CHAIN LINK DOUBLE GATE  
NOT TO SCALE



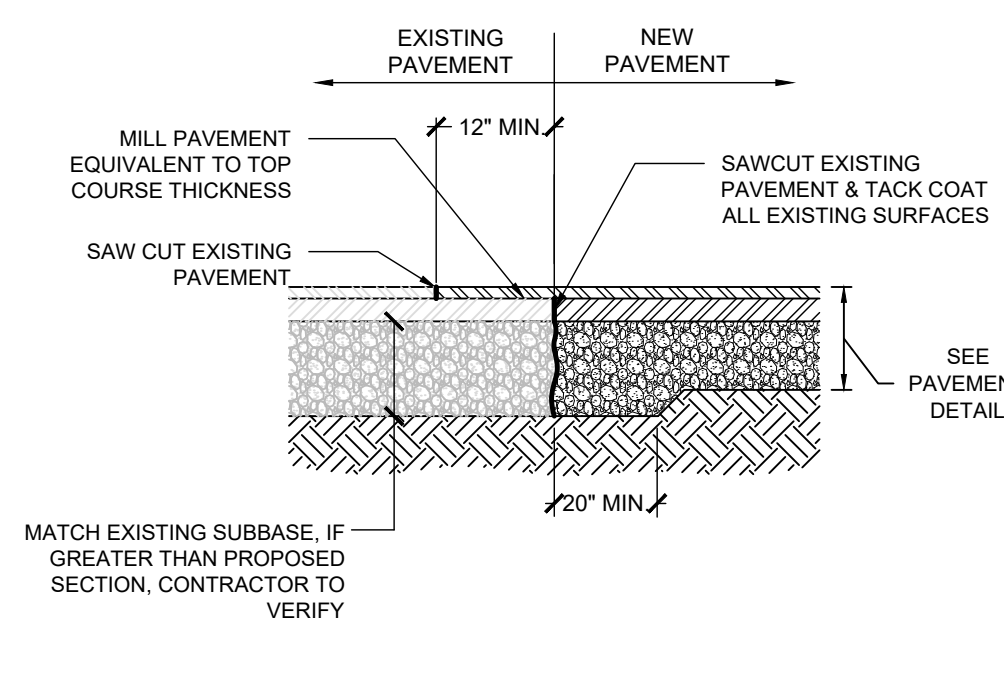
4 TYPICAL SIGN DETAIL  
NOT TO SCALE



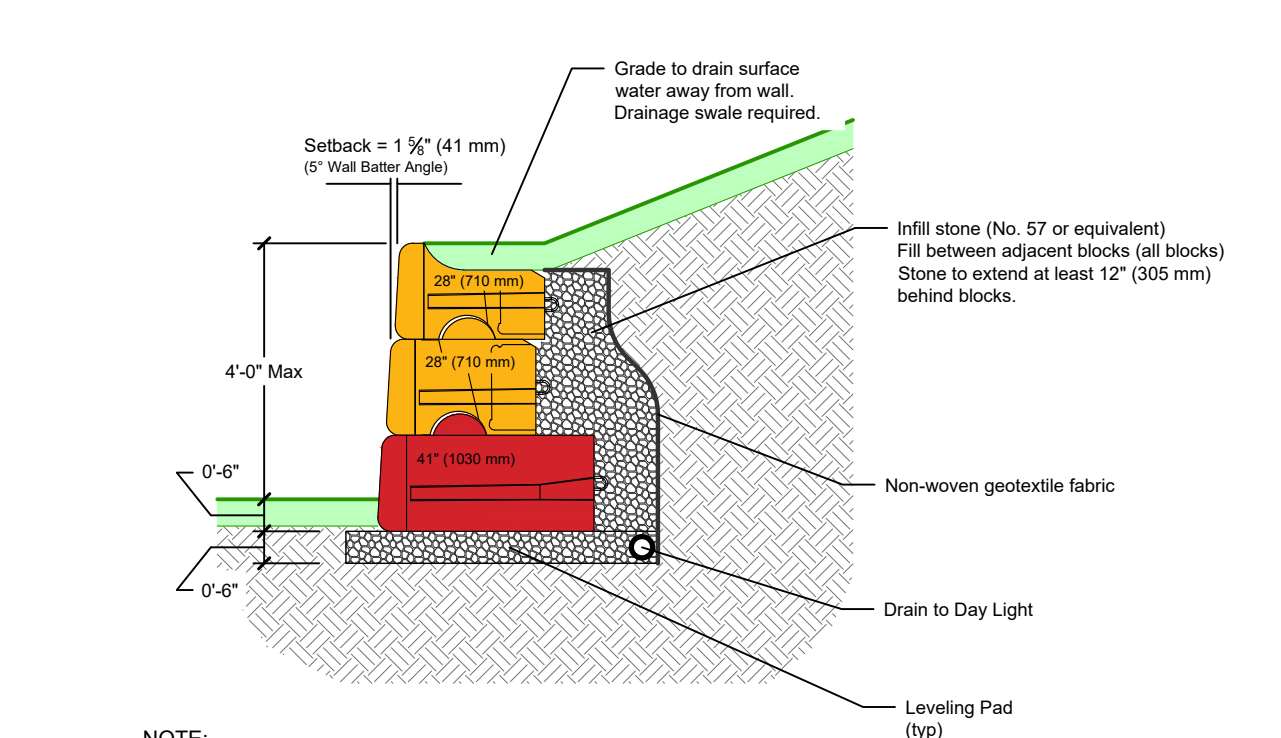
5 TYPICAL BIKE RACK  
NOT TO SCALE



6 PAVEMENT SECTION  
NOT TO SCALE

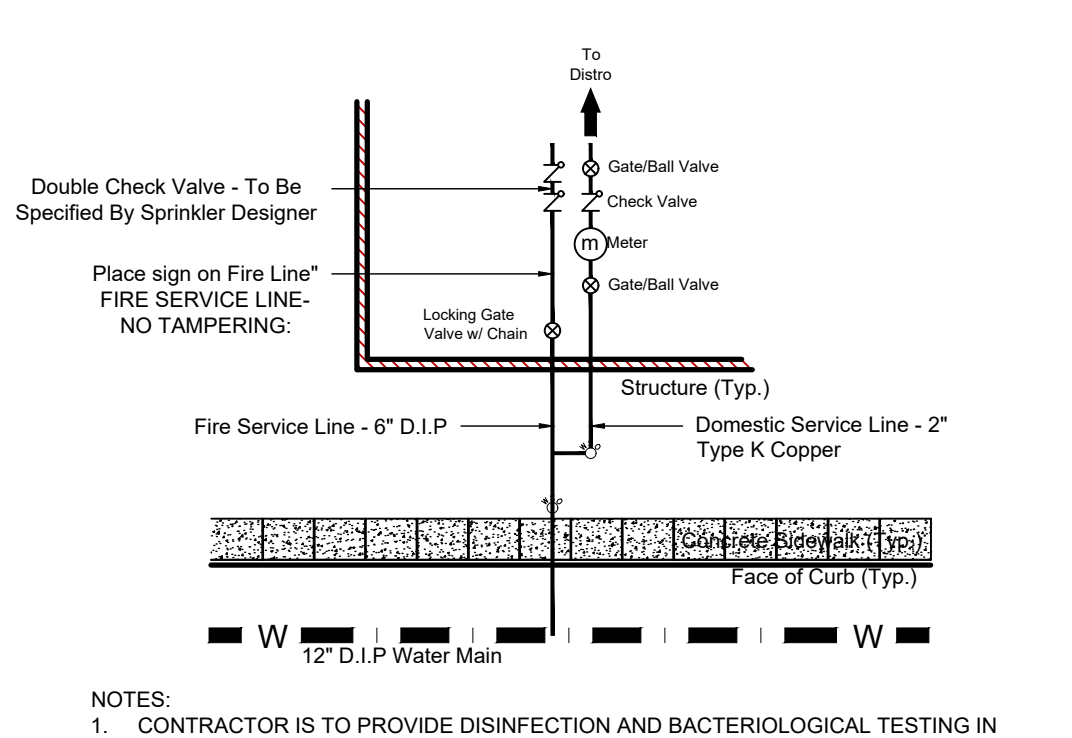


7 PAVEMENT TRANSITION SECTION  
NOT TO SCALE



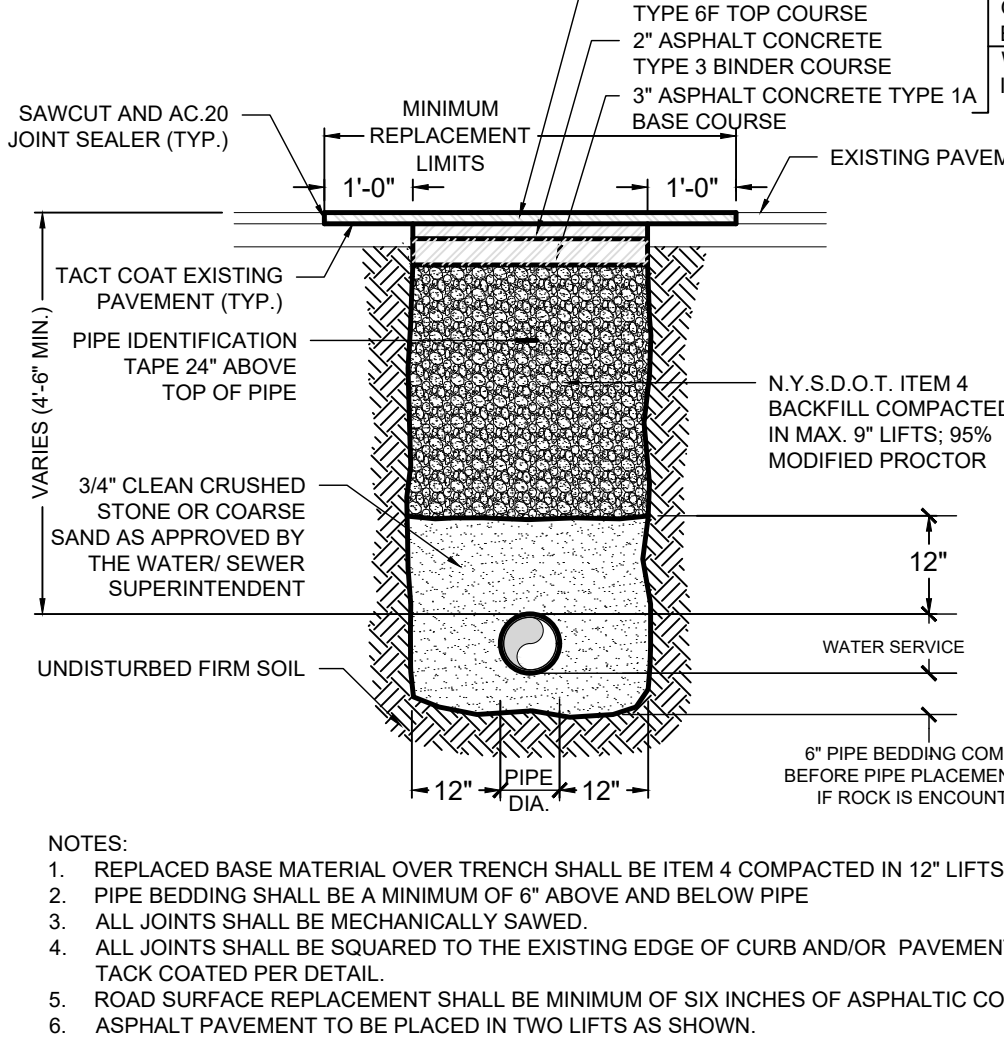
- NOTE:
- MAXIMUM EXPOSED WALL FACE SHALL BE 4'
  - MANUFACTURER SHOULD BE CONSULTED AS REQUIRED AND THEIR RECOMMENDATIONS SHOULD BE FOLLOWED FOR INSTALLATION OF SEGMENTED WALL BLOCKS

8 TYPICAL REDDI ROCK GRAVITY RETAINING WALL  
NOT TO SCALE

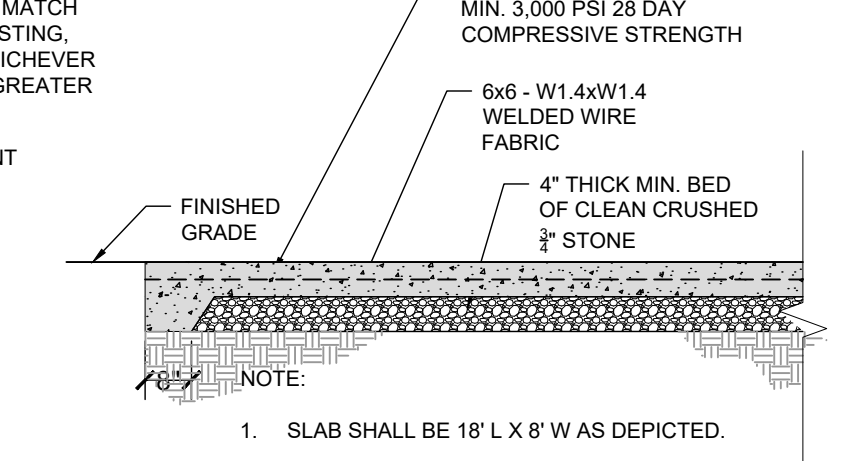


- NOTES:
- CONTRACTOR IS TO PROVIDE DISINFECTION AND BACTERIOLOGICAL TESTING IN CONFORMANCE WITH DUTCHESS COUNTY DEPARTMENT OF HEALTH REQUIREMENTS
  - APPLICATION FOR APPROVAL FOR APPROVAL OF WATER SERVICE ARRANGEMENTS AND ANY CROSS CONNECTION DEVICE TO BE MADE AND COORDINATED WITH THE WATER SUPPLIER AND THE COUNTY HEALTH DEPT. AS MAY BE REQUIRED

9 WATER SERVICE ARRANGEMENT  
NOT TO SCALE

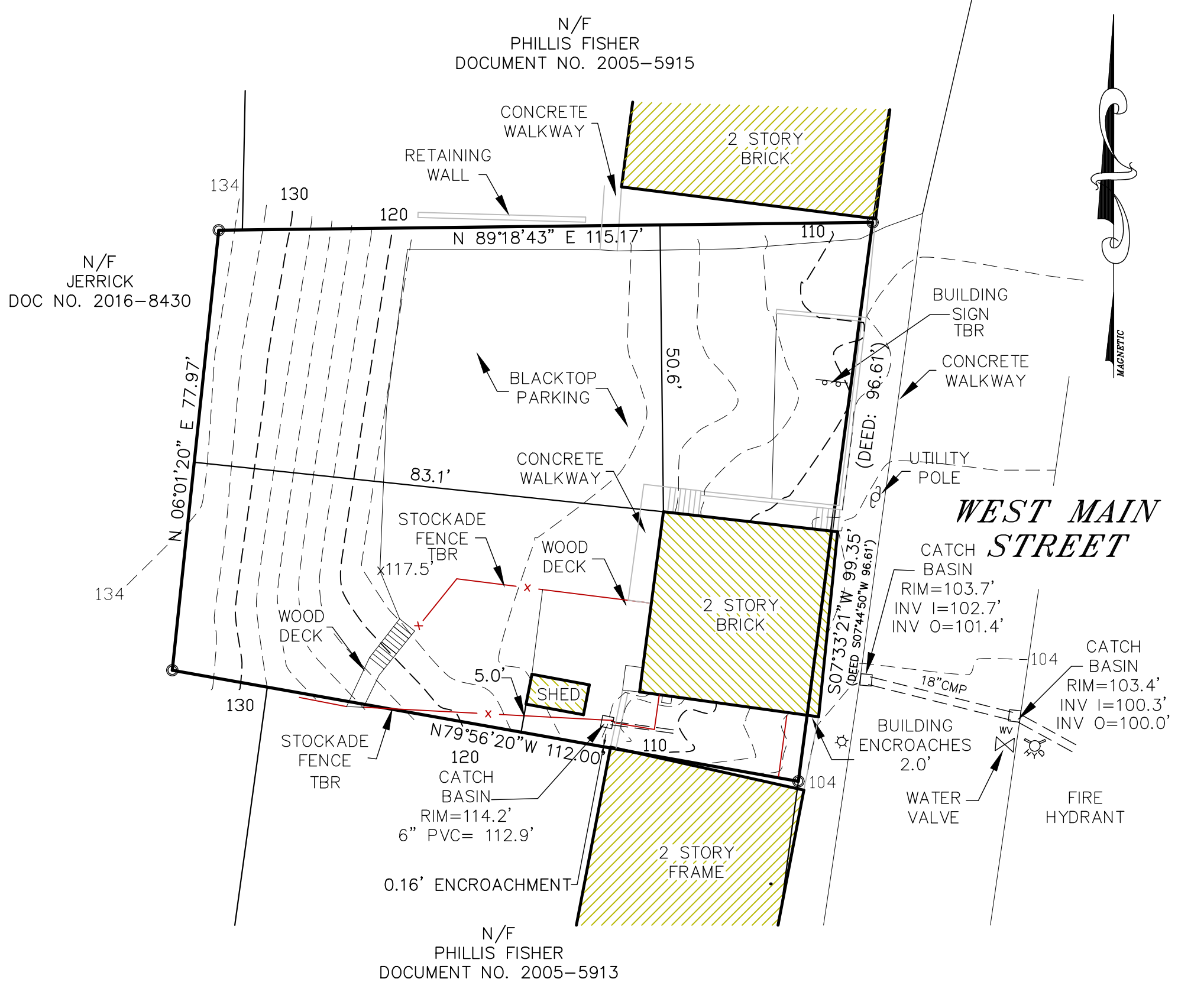


10 UTILITY TRENCH DETAIL  
NOT TO SCALE

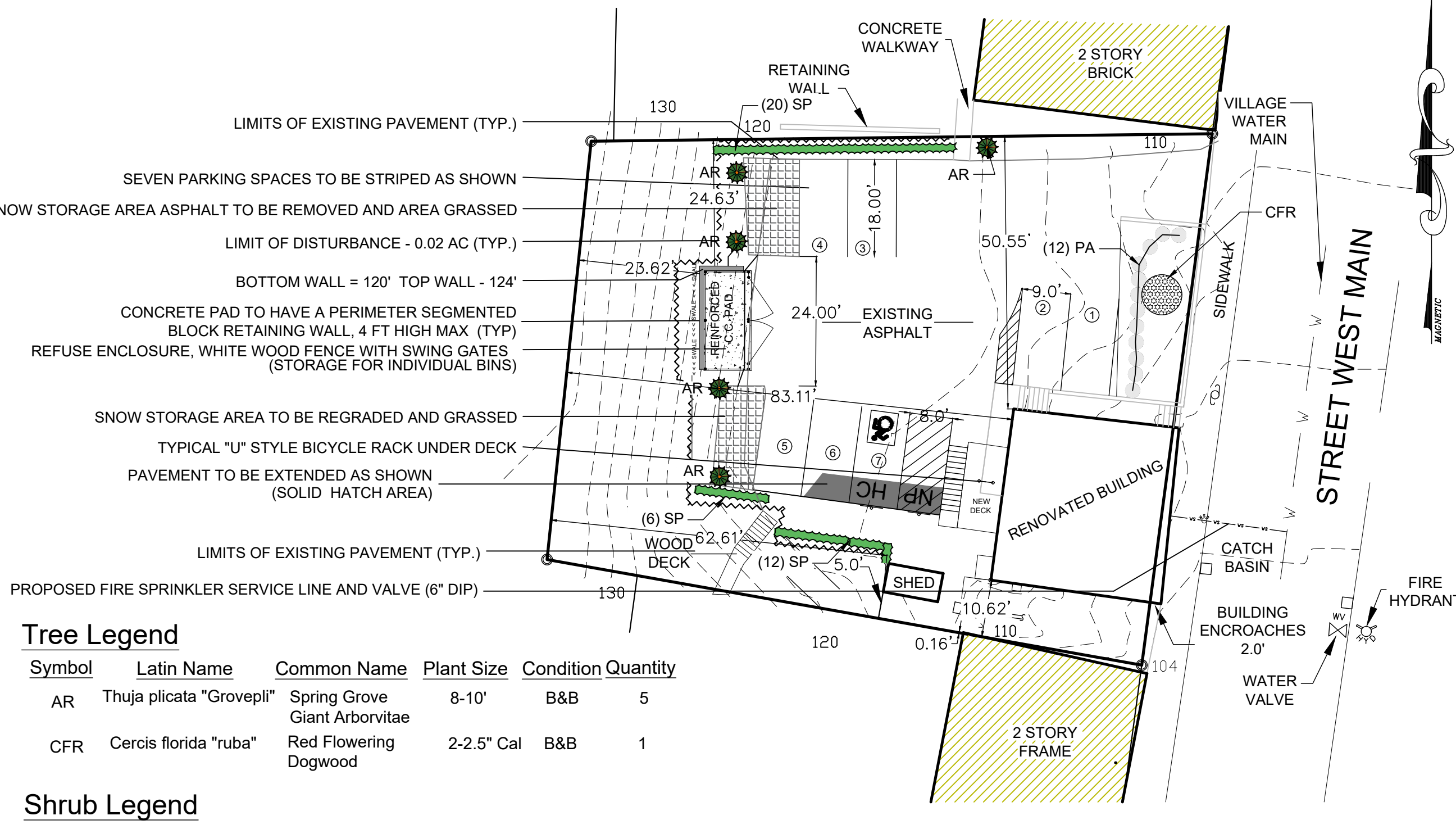


11 REFUSE SLAB DETAIL  
NOT TO SCALE

- SITE SPECIFIC NOTES:
- THE APPLICANT PROPOSES TO DEMOLISH THE UPPER TWO FLOORS OF AN EXISTING 2 1/2 STORY BUILDING, AND REPLACE THEM WITH TWO STORIES TO INCLUDE TWO ONE-BEDROOM APARTMENTS ON THE SECOND FLOOR, AND ONE TWO-BEDROOM APARTMENT ON THE THIRD FLOOR. THE FIRST FLOOR WILL INCLUDE A ± 658 SQUARE FOOT REAL ESTATE OFFICE AND A ± 88 SQUARE FOOT UTILITY ROOM. THE 0.226 ACRE PARCEL IS LOCATED AT 2695 W MAIN STREET IN THE VILLAGE COMMERCIAL (VC) DISTRICT.
  - THE BOUNDARY AND ASSULT INFORMATION AS TAKEN FROM THE MAPPING PREPARED BY ROBERT V. OSWALD IS DATED JUNE 11, 2018.
  - ROOF DRAINS ENTER INTO EXISTING CATCH BASIN WHICH IS CONVEYED TO THE EXISTING DRAINAGE SYSTEM IN THE STATE ROW (EXISTING CONDITION).
  - THE APPLICANT IS AWARE THAT ANY FUTURE COMMERCIAL USE INVOLVING THE PREPARATION OF FOOD WILL NECESSITATE AN APPLICATION TO THE VILLAGE AND THE DCHO FOR AN APPROPRIATELY SIZED GREASE TRAP IN ACCORDANCE WITH SECTION 122-32(b) OF THE VILLAGE OF WAPPINGERS CODE.
  - THE PROPOSED MIXED USE HEREIN WILL REQUIRE INSTALLATION OF A SPRINKLER SYSTEM (DESIGNED BY OTHERS, TO BE SUBMITTED AS PART OF THE BUILDING PERMIT APPLICATION)
  - ANY PROPOSED SIGNAGE FOR THE PROPERTY WILL REQUIRE THE APPLICATION TO AND APPROVAL FROM THE VILLAGE BUILDING DEPARTMENT. THE EXISTING FREESTANDING SIGN IS IN NON-CONFORMANCE WITH VILLAGE ZONING LAW AND IS TO BE REMOVED. THIS APPLICATION IS TO BE SEPARATE FROM THE SITE PLAN APPLICATION
- IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.



1 EXISTING CONDITIONS PLAN  
SCALE: 1" = 20'



- Tree Legend
- | Symbol | Latin Name               | Common Name                   | Plant Size | Condition | Quantity |
|--------|--------------------------|-------------------------------|------------|-----------|----------|
| AR     | Thuja plicata "Grovepil" | Spring Grove Giant Arborvitae | 8-10'      | B&B       | 5        |
| CFR    | Cercis florida "ruba"    | Red Flowering Dogwood         | 2-2.5" Cal | B&B       | 1        |
- Shrub Legend
- | Symbol | Latin Name                         | Common Name    | Plant Size    | Condition | Quantity |
|--------|------------------------------------|----------------|---------------|-----------|----------|
| SP     | Ilex crenata "Sky Pencil"          | Japanese Holly | 18" - 24" Ht. | 2 gal.    | 38       |
| PA     | Pennisetum alopecuroides "Hamelin" | Fountain Grass | 24" - 36" Ht. | 5 gal.    | 12       |

2 PROPOSED CONDITIONS PLAN  
SCALE: 1" = 20'

Village of Wappingers Falls Planning Board

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WAPPINGERS FALLS, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.

VILLAGE OF WAPPINGERS FALLS PLANNING BOARD

SIGNED \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

DATE \_\_\_\_\_

Village of Wappingers Falls Planning Board Chair

Brian J. Stokosa, PE

JUNE 16, 2021
MAY 12, 2021
APRIL 14, 2021
MARCH 10, 2020
DECEMBER 16, 2020
NOVEMBER 16, 2020

Project No. 2020.481 License No. 083970

**DAY STOKOSA**  
ENGINEERING P.C.

3 Van Wyck  
Wappingers Falls, New York 12590  
(845)-223-3202

PROJECT  
**2695 W. MAIN STREET**  
Village of Wappinger Dutchess County, New York

DRAWING  
**SITE PLAN**

SCALE	DRAWN BY	DRAWING No.
AS NOTED	BJS	2
DATE	CHECKED BY	
2-12-2019	BJS	

Page 2 of 3



**HLWPC2**  
Wallpack Full Cutoff LED



Catalog Number: \_\_\_\_\_  
 Title: \_\_\_\_\_

**Mechanical**

- Heavy grade A360 cast aluminum (aluminum with <1% copper)
- Exterior parts are protected by a zinc infused Super Durable TDC thermoseal powder coat finish that provides superior resistance to corrosion and weathering
- Mounted to a standard junction box
- Hot location listed
- IP65 rated housing, down light only
- "N" gasket threaded entry (N) - 1/4" NPT on each side and on top, accepts "N" and "V" conduit
- "N" threaded plug are mounted on each side
- Vibration tested to 1.5g per ANSI C136.31

**Electrical**

- Compliant with CE & CSA
- Rated for -40°C (-40°F) minimum ambient
- A programmable electronic driver with 0-10V control leads
- Available in: 120-277V 50/60 Hz and 147-480V 50/60 Hz
- Standard: 3000K, 4000K and 5000K CCT (Daylight)
- Optional: 2400K, 3000K, 4000K and 5000K CCT
- Internally mounted emergency battery backup for operation in an ambient temperature range from -20°C (-4°F) to 50°C (122°F), available with P30 thru P40 performance packages, meet IEC compliance
- All surge protection meets ANSI IEEE C62.41.2 10kA/100kA
- Standard surge protection is 20kV/5kA per ANSI C136.2
- Optional surge protection is 10kV/5kA per ANSI C136.2

**Optical**

- Light engine housing is IP66 rated
- Acrylic optical system
- Type I (Entry, M, headwall), R (rectangle) & W (wide)
- Asymmetric

**Control**

- Field adjustable output (AO)
- Button style photocentral (PT)
- Motion sensor & ambient photocentral combination for mounting low (8-15') (MASL) and high (15-30') (MASH) mounting heights

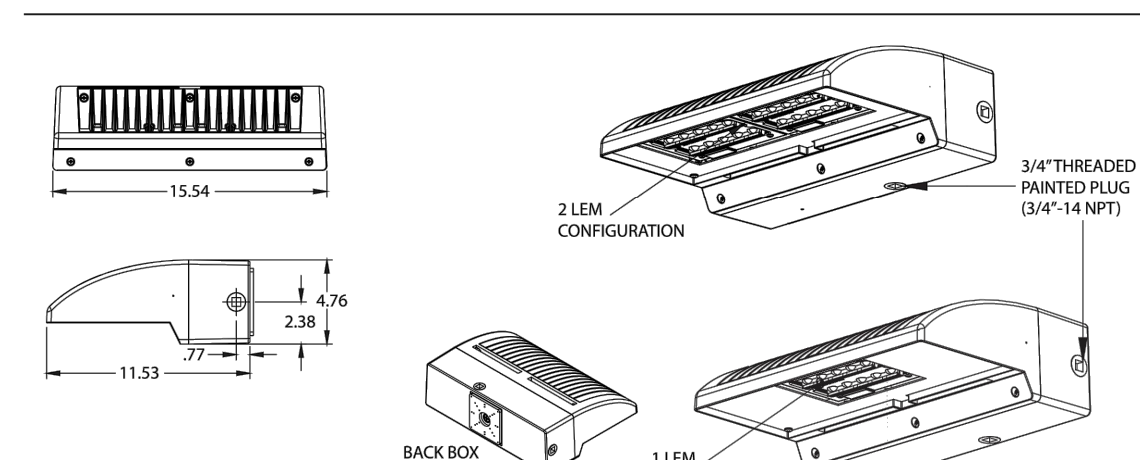
**Certification and Standards**

- Luminaire is CSA listed, US and Canada
- Suitable for operation in an ambient temperature up to 40°C (104°F) per UL or CSA certification
- Designs lighter construction (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Product List at www.designlights.org/DLC to confirm which versions are qualified.
- UL 79 compliant
- The proposed LED Lumen Maintenance shall be based only on UL 88-89-90 and TM-21

**Warranty**

- 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



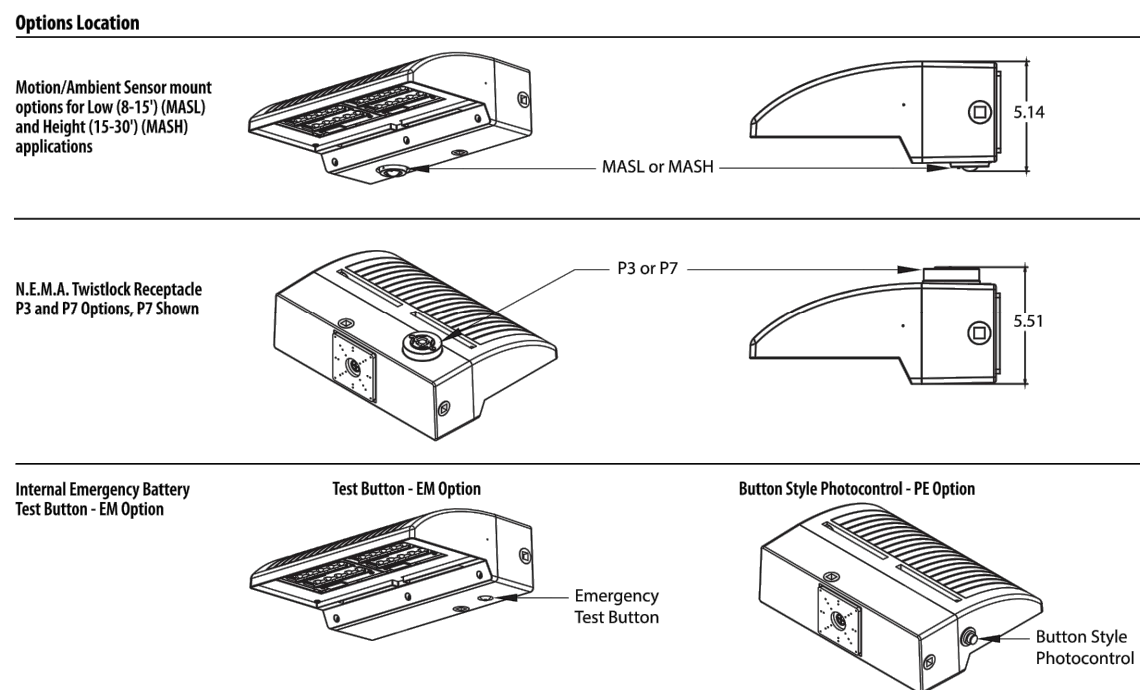
Note: Maximum weight 22 lbs.

**HLWPC2**  
Wallpack Full Cutoff LED

Example: HLWPC2 P20 40K AS T3M 82SDP

Series	Luminaire Package	Color Temperature	Wattage	Optic	Color	CR
HLWPC2	Wallpack Full Cutoff LED	P20	15W	15° Beam Spread	Black	80 CR
		P30	30W	30° Beam Spread	Black	80 CR
		P40	40W	40° Beam Spread	Black	80 CR

Mountable/Programmable Options	Control - Photocentral Options	Test Option
AO Field Adjustable Output	PE Button Style Photocentral	SP Single Face
MSL Motion / Ambient Sensor	P3 N.E.A.A. Twisted Rectangular Mount - 3PH	DF Double Face
MASH Motion / Ambient Sensor - 5'30" Mounting Height Ambient Sensor Enabled at 1 FC	P7 N.E.A.A. Twisted Rectangular Mount - 7PH	Safety Option
	PULL DTL Long Life Twisted Rectangular for Solid State	EM Integral Emergency Battery
	PSC Shorting Cap	TF Tamper Resistant Hardware



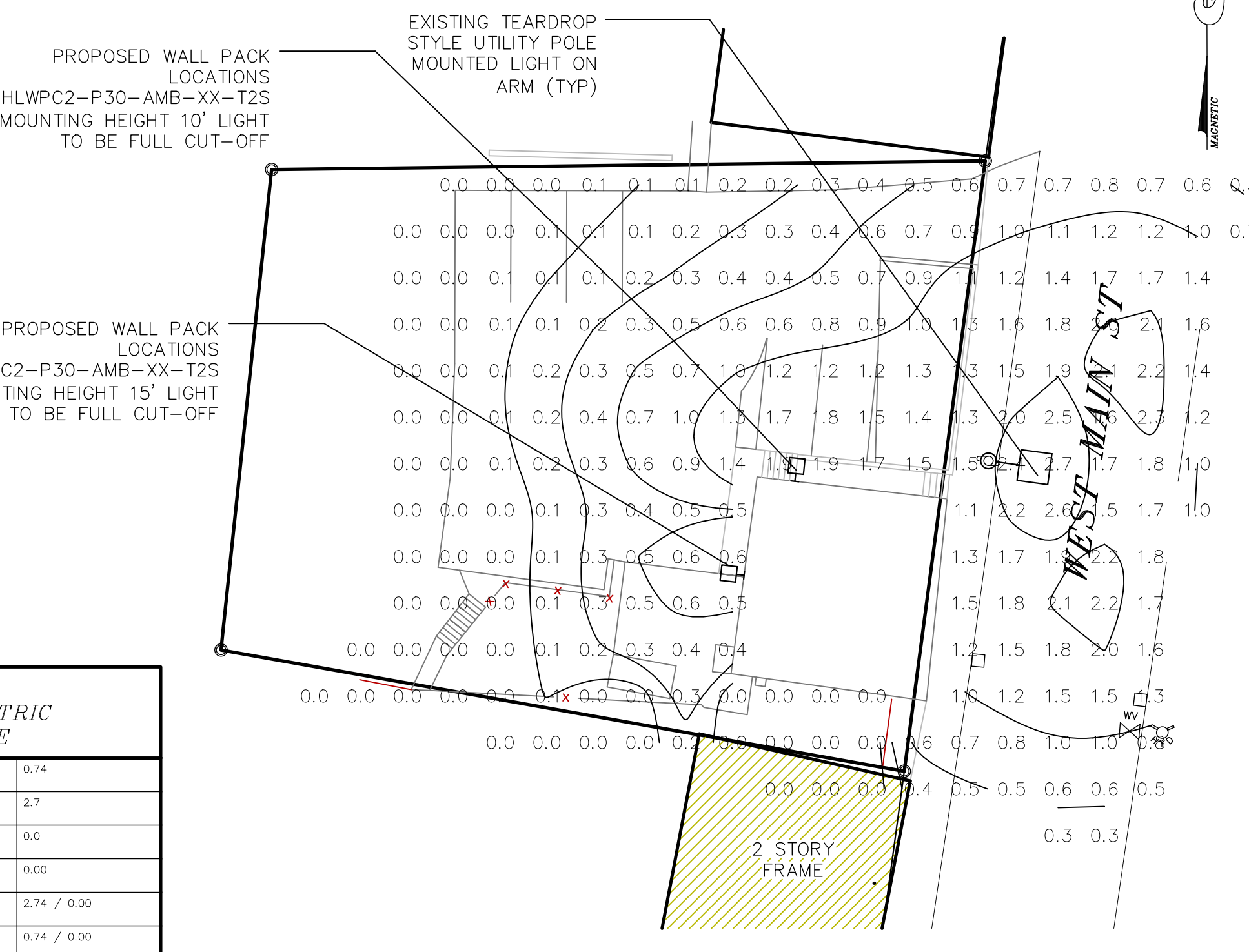
**OUTDOOR PHOTOMETRIC REPORT**  
 CATALOG: HLWPC2 P10 AMB XX T2M

Test # : ISF 3550919  
 Test Lab: SCALED PHOTOMETRY  
 Test Date: 9/7/2017  
 Catalog: HLWPC2 P10 AMB XX T2M  
 Description: Wallpack Full Cutoff LED, LED Performance Package P10, Wavelength Amber, Voltage, Type II Medium Wallpack Full Cutoff LED

Series: LED  
 Lamp Catalog: LED  
 Lamp: LED  
 Lamp Output: Total luminaire Lumens: 1054.5, absolute photometry \*  
 Ballast / Driver: LED DRIVER  
 Input Wattage: 28  
 Luminaire Opening: Rectangle (L: 6.46", W: 15.48")  
 Max Cd: 872.6 at Horizontal: 75°, Vertical: 72.5°  
 Roadway Class: MEDIUM, TYPE III



**WALLPACK FIXTURE**



**PROPOSED LIGHTING PLAN**  
SCALE: 1" = 20'

**SITE SPECIFIC NOTES:**

- THE APPLICANT PROPOSES TO DEMOLISH THE UPPER TWO FLOORS OF AN EXISTING 2 1/2 STORY BUILDING, AND REPLACE THEM WITH TWO STORIES TO INCLUDE TWO ONE-BEDROOM APARTMENTS ON THE SECOND FLOOR, AND ONE TWO-BEDROOM APARTMENT ON THE THIRD FLOOR. THE FIRST FLOOR WILL INCLUDE A 658 SQUARE FOOT COMMERCIAL SPACE AND A 89 SQUARE FOOT UTILITY ROOM. THE 0.226 ACRE PARCEL IS LOCATED AT 2695 W. MAIN STREET IN THE VILLAGE COMMERCIAL (VC) DISTRICT.
- THE BOUNDARY AND ASBUILT INFORMATION AS TAKEN FROM THE MAPPING PREPARED BY ROBERT V. OSWALD LS DATED JUNE 11, 2016.
- ALL STEPS SHALL MEET NYS BUILDING CODE REQUIREMENTS AS STATED ON HOUSE DESIGN PLANS.
- ROOF DRAINS ENTER INTO EXISTING CATCH BASIN WHICH IS CONVEYED TO THE EXISTING DRAINAGE SYSTEM IN THE STATE ROW.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. STOKOSA, PE	
JUNE 16, 2021	
MAY 12, 2021	
APRIL 14, 2021	
MARCH 10, 2020	
DECEMBER 16, 2020	
NOVEMBER 16, 2020	
Revisions	
Project No. 2020.481	License No. 083970

**DAY STOKOSA ENGINEERING P.C.**

3 Van Wyck  
Wappingers Falls, New York 12590  
(845)-223-3202

PROJECT: **2695 W. MAIN STREET**  
Village of Wappinger Dutchess County, New York

**SITE PLAN**

**Village of Wappingers Falls Planning Board**

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WAPPINGERS FALLS, NEW YORK ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.

VILLAGE OF WAPPINGERS FALLS PLANNING BOARD

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

\_\_\_\_\_  
Village of Wappingers Falls Planning Board Chair

DATE \_\_\_\_\_

SCALE AS NOTED	DRAWN BY BJS	DRAWING No. <b>3</b>
DATE 2-12-2019	CHECKED BY BJS	Page 3 of 3



ALFRED A. CAPPELLI, JR.  
ARCHITECT  
1136 ROUTE 9  
WAPPINGERS FALLS, NY 12590

---

Telephone: 845-632-6500  
Fax: 845-632-6499  
Email: [acappe2102@aol.com](mailto:acappe2102@aol.com)

June 16, 2021

Mercedes Perez  
Village of Wappingers Falls Planning Board  
2582 South Ave.  
Wappingers Falls, NY 12590

Re: UMC Planning Board Submittal

Mercedes,

Attached are multiple copies of the Site Plan along with a detailed letter that should go to each of the Board members.

I have included extra copies of the plans and letters for the Village consultants. (Michelle, Christian & Attorney).

I think the original application, EAF and narrative need to go to the Village consultants as well.

Please check with whomever as well to determine if these Site Plans, etc., should be distributed to any other agencies such as the County Dept. of Planning, Health Dept, etc., etc.

If you have any questions, please do not hesitate to call.

Thank you,



Alfred A. Cappelli, Jr.  
Architect

AAC/dc

Enc.

cc: Michelle Martinetti (RVAC)  
Tom Morris  
Albert Pettinella  
Joe Pettinella

**ALFRED A. CAPPELLI, JR.  
ARCHITECT  
1136 ROUTE 9  
WAPPINGERS FALLS, NY 12590**

---

**Telephone: 845-632-6500  
Fax: 845-632-6499  
Email: [acappe2102@aol.com](mailto:acappe2102@aol.com)**

June 16, 2021

Chairman Morris  
Village of Wappingers Falls Planning Board  
2582 South Ave.  
Wappingers Falls, NY 12590

Re: Site Plan  
Former United Methodist Church  
9 South Mesier Ave.

Dear Chairman Morris & Planning Board Members,

As requested at last week's Planning Board meeting, we have completed a full Site Plan, along with Landscaping and Site Lighting Plans.

The Site Plan illustrates the existing site along with several minor changes proposed. The Site Plan also illustrates the number of parking spaces that can be provided on street, and there is a separate plan illustrating several parking spaces that can be provided on the owner's adjacent lot. A table on the Site Plan illustrates the parking required and parking provided.

The Landscaping and Site Lighting plan reflects the existing landscaping and lighting on site with minor modifications to each.

The signage is shown on the plans as the intent is to use the existing planter and sign "as is" with the exception of replacing the "United Methodist Church" with "River Valley Arts Center".

There will be no need to bring in a sprinkler main at this time as our Building Code Review suggests that sprinklers are not required for the annex portion of the project, for which we are seeking approval for.

Given the short time (3 working days) between the Planning Board meeting and re-submission date, we did not have the time to submit the Architectural Floor Plans, but those will be presented at the next Planning Board meeting and hope that is satisfactory to you.

We have attached additional copies of the plans than were requested of us as we feel they should be sent to the Village's Consultants, the Dutchess County Planning Dept. (as suggested by Michelle Grieg) and any other potentially listed parties.

We are not sure if our application and EAF were reviewed by the Consultants or Village Attorney for accuracy and completeness, as they did not receive the application, narrative or EAF when we made our complete submittal last month and feel they need to be reviewed.

At some point in time, a SEQR determination needs also to be made as to what type of action this project is which would steer the direction of the project.

Thank you again for your time and consideration. I look forward to continuing our presentation at next month's Planning Board meeting.

Very truly yours,



Alfred A. Cappelli, Jr.  
Architect

AAC/dc

Enc.

cc: Michelle Martinetti (RVAC)  
Albert Pettinella  
Joe Pettinella

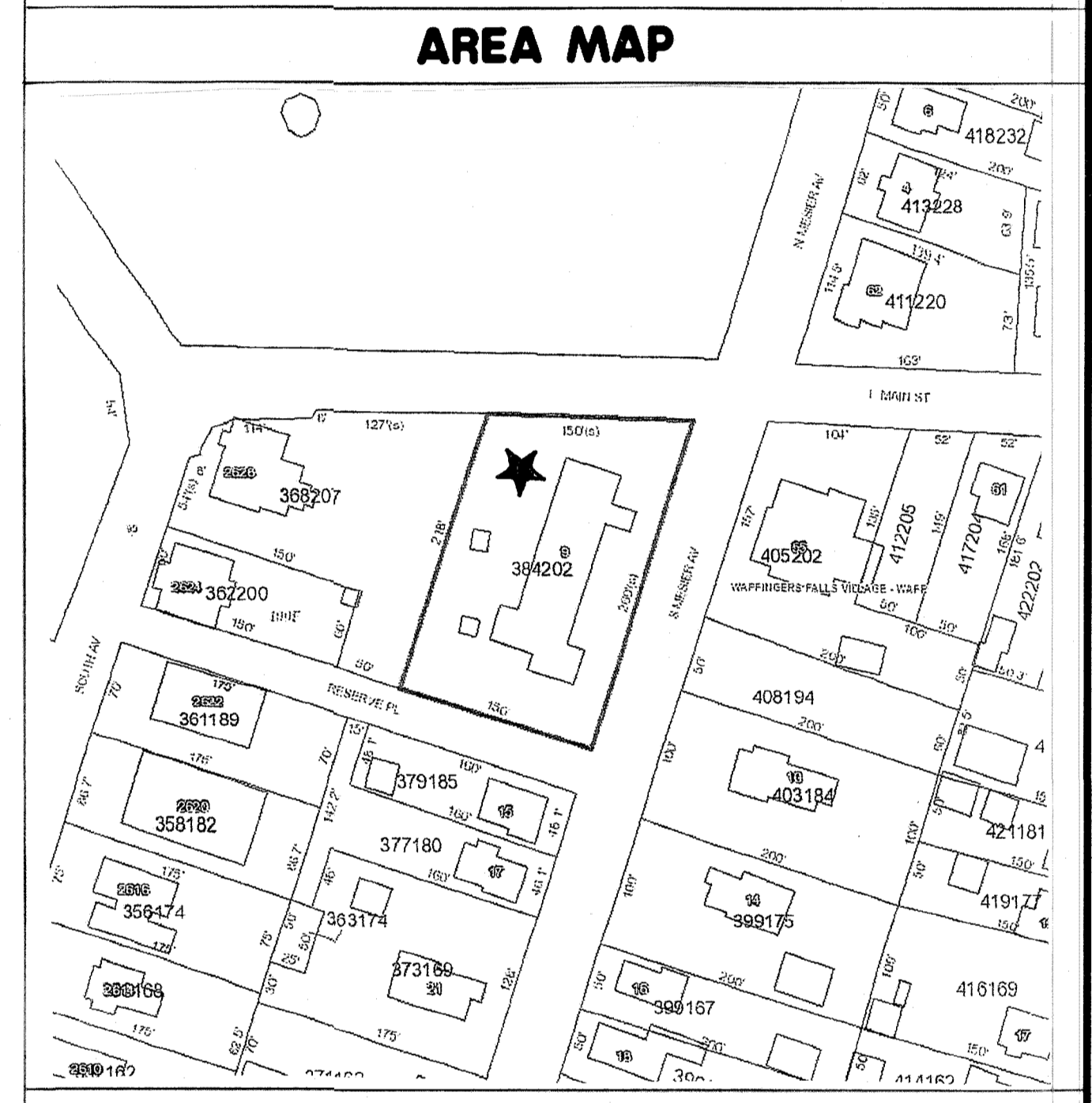
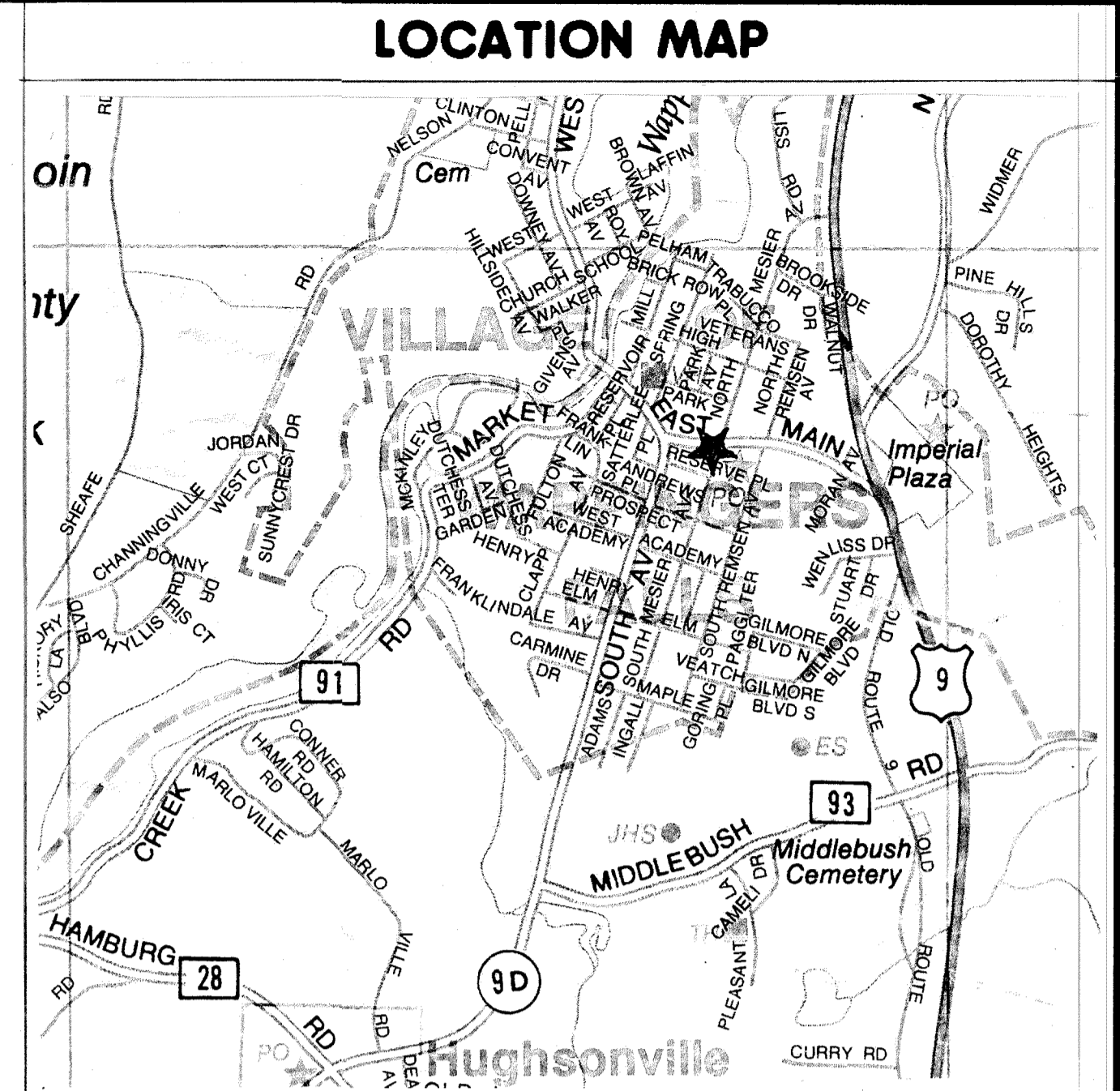
REVISIONS	BY

**ALFRED A. CAPELLI Jr., AIA**  
**ARCHITECT**  
 1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590  
 Phone: (845) 632-6500  
 acapelle2102@aol.com

PROPOSED CHANGE OF USE OF  
 FORMER UNITED METHODIST CHURCH  
 FOR  
**CENTURION MANAGEMENT, LLC**  
 VILLAGE OF WAPPINGERS FALLS, NY  
 9 SOUTH MESIER AVENUE

**SITE PLAN**

DATE	JUNE 16, 2021
SCALE	1" = 15'
DRAWN	AC
JOB	20-009
SHEET	6-1
OF SHEETS	



PROJECT DATA		
	Req'd./Allowed	Provided/Existing
Min. lot area:		0.849 AC, 36,982 sf
Min. frontage:	25'	160.19' & 263.5'
Setbacks:		
Front	10'	25', 35.8' & 41.1'
Rear	10'	53.4'
Sides	0'	*
*No sides. Streets on three streets.		
Max. bldg. coverage:	75% (25,736 sf)	6,865 sf (18.56%)
Impervious:		
Building		6,865 sf
Walkway/patio, stairs		1,575 sf
Paving		1,080 sf
Total		9,720 sf (26.28%)
Open space/green:	10% (3,698 sf)	27,262 sf (73.72%)
Max. height:	53'	Exceeds maximum

**Parking Requirements**

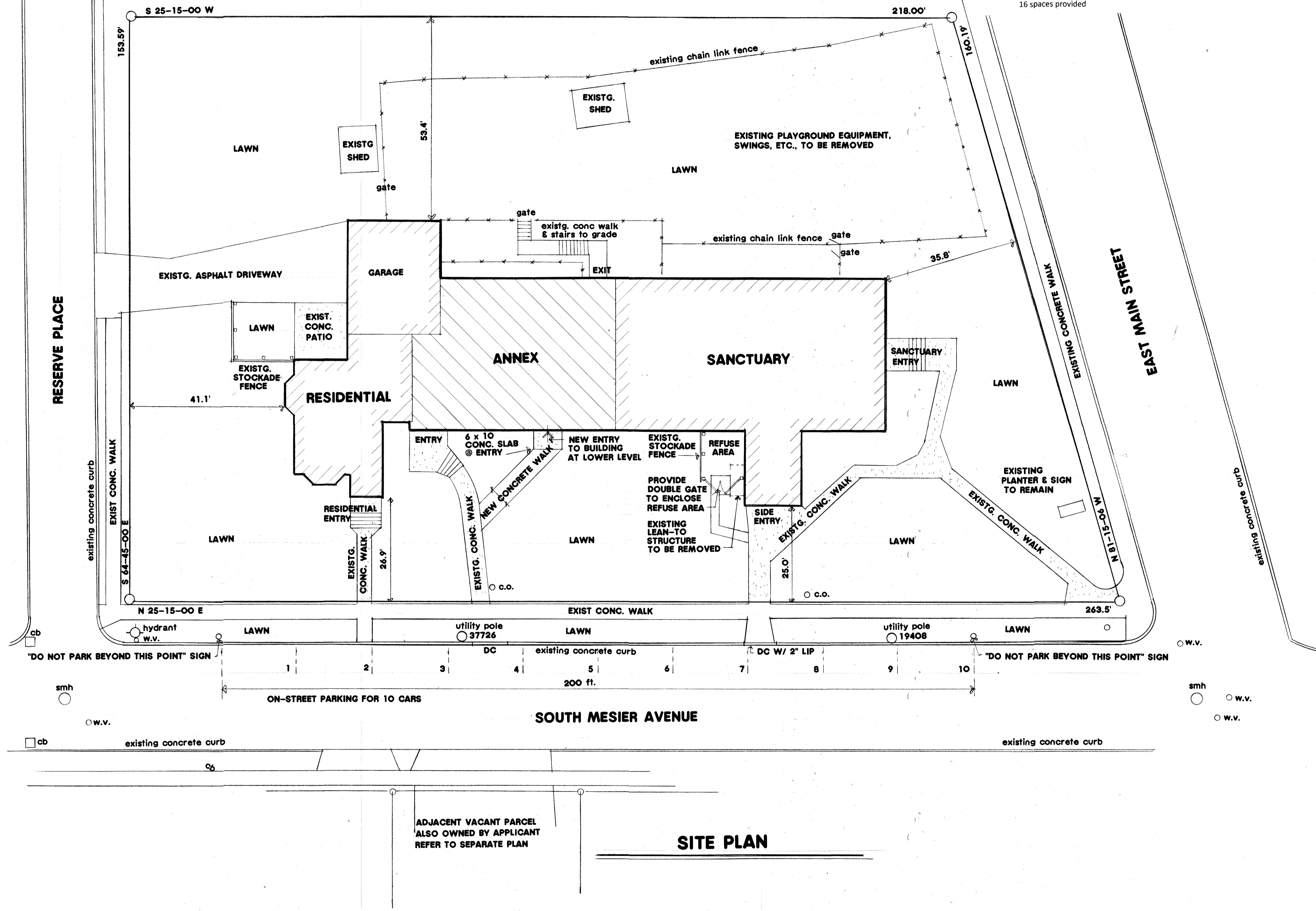
Upper Floor:  
 Six rooms  
 1,500 sf usable area  
 Parking req'd for service business @ upper floor is 1 sp/250 sf (Not on main level) 6 sp. req'd.

Lower Level:  
 Two rooms @ 160 sf  
 1 room @ 600 sf  
 1 space/150 sf (On main level) 6 sp. req'd.

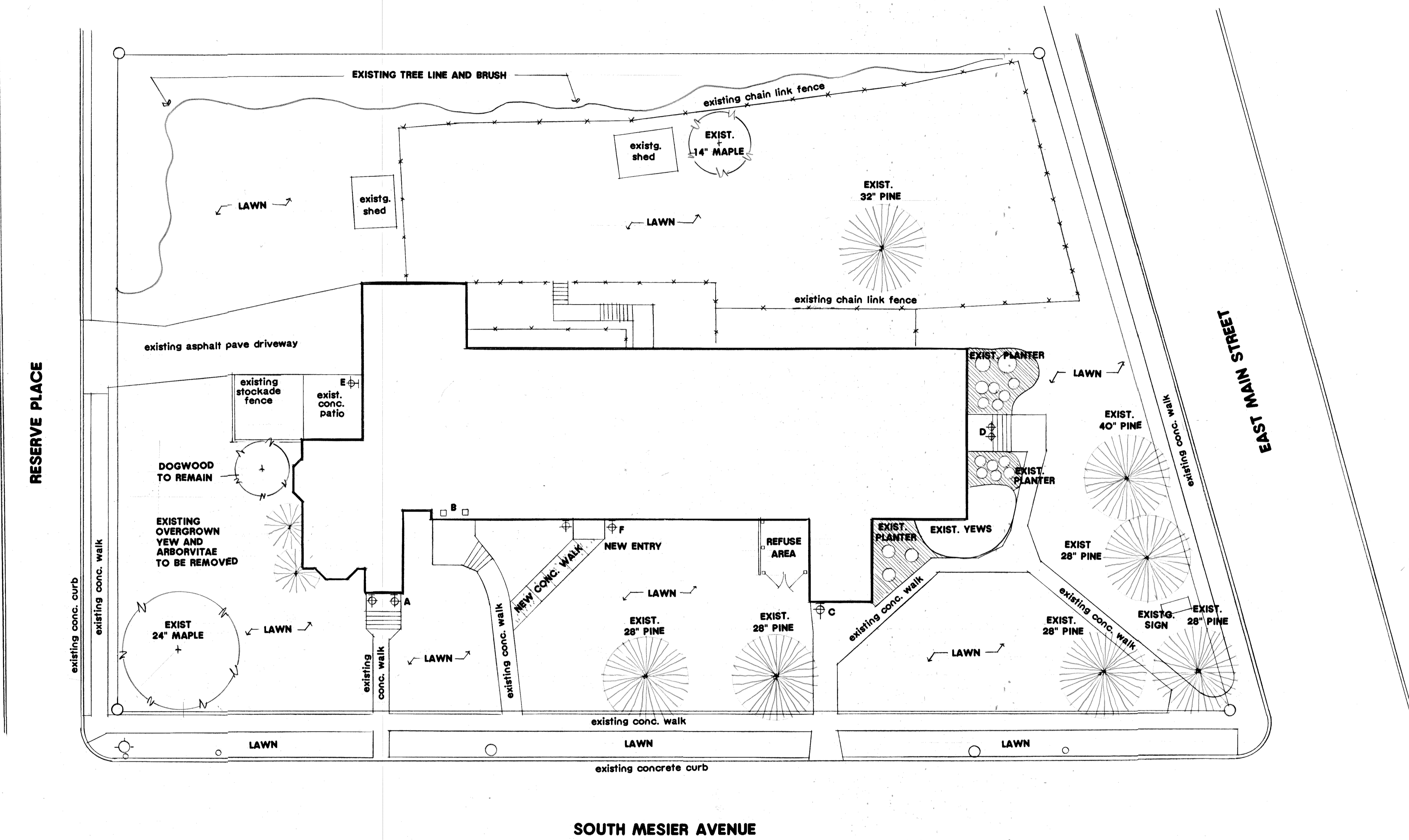
Fellowship Hall  
 1,296 sf  
 1 space/250 sf (Not on main level) 5 sp. req'd.

Total spaces required: 17 spaces

Total spaces provided:  
 10 on street directly at curb side of building  
 6 at adjacent lot owned by Applicant  
 16 spaces provided



SURVEYOR	NORTH ARROW & SCALE	OWNER CERTIFICATION	OWNER & APPLICANT	SITE DATA
Site Plan taken from survey as prepared by Larry Lynn, L.S., dated July 28, 2020.		<p>The undersigned, _____ owner(s) of the property shown hereon, do hereby state that we have reviewed the map, contents, legends and data and are familiar with the same and do hereby consent to all illustrations, terms and conditions noted on the plans.</p> <p>Owner _____ Date _____</p>	<p>Applicant: Joseph Pettinella          Albert Pettinella          Centurion Realty Management, LLC          1136 Route 9          Wappingers Falls, NY</p>	<p>Location: 9 South Mesier Ave. Village of Wappingers Falls Dutchess County, New York          Proposed Use: Music, drama, theater, yoga, photography &amp; the arts, cooking instructions, all falling within the definition of retail as defined in the Village Code.</p> <p>Tax Map No.: 6158-18-384202          Lot Area: 0.849 AC, 36,982 sf          Zoning: VM (Village Mix)</p>



**LANDSCAPING & SITE LANDSCAPING**

SCALE : 1 inch = 15 feet

**LIGHT FIXTURE SCHEDULE**

Mark	Description	Quantity	Notes
A	Two (2) wall mounted wall sconces w/white acrylic cover	60 W Inc.	Existing
B	Two (2) recessed square fixtures in roof overhang w/clear acrylic lens	60 W Inc.	Existing
C	One (1) wall mounted colonial coach light	60 W Inc.	Existing
D	Two (2) flood lights directed straight down	60 W	Existing
E	Wall mounted lantern type fixture		Existing
F	Two (2) new wall mounted coach light fixtures, full cut off	LED 2700 K	New

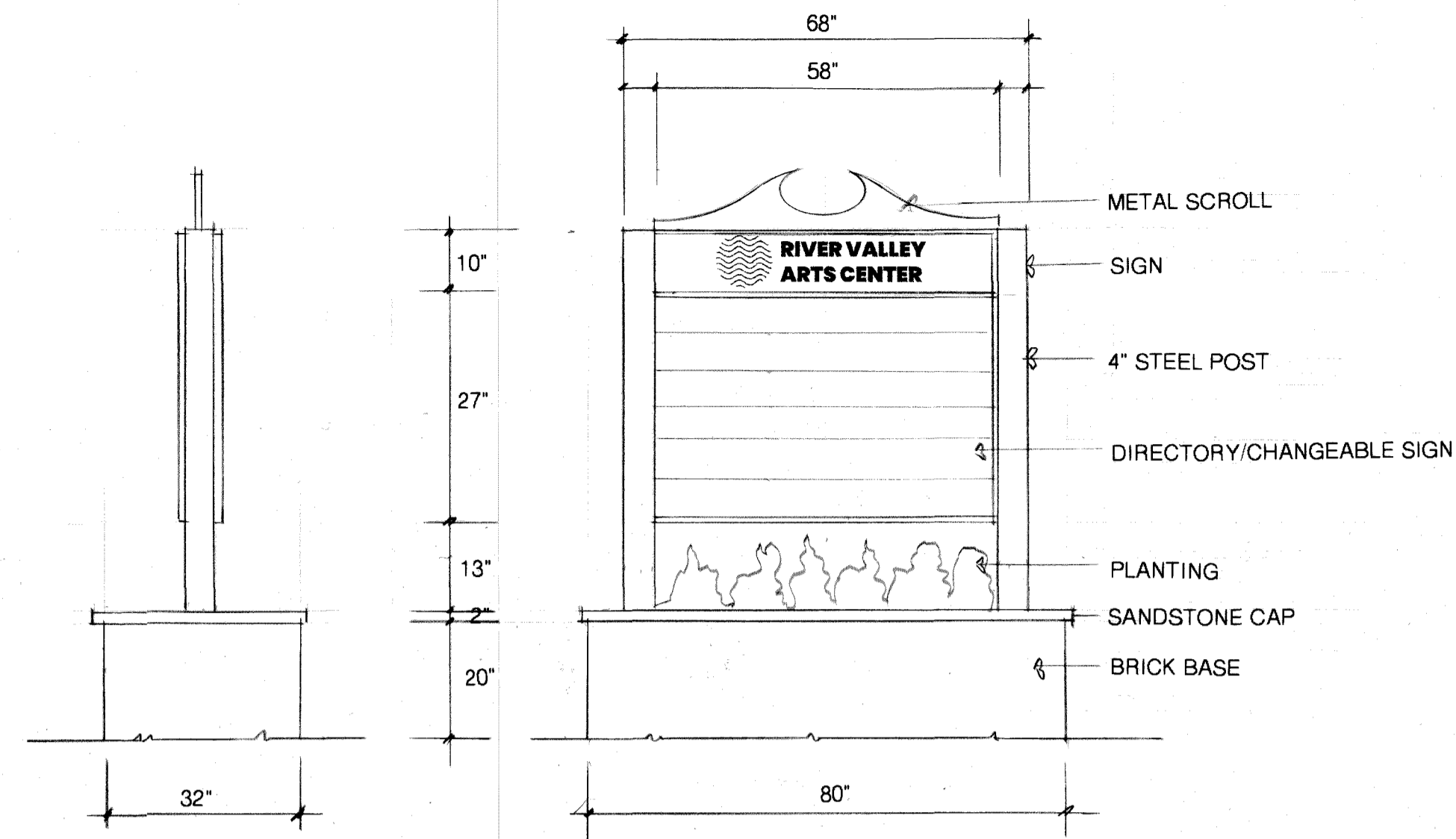
REVISIONS	BY

**ALFRED A. CAPPELLI JR., AIA**  
**ARCHITECT**  
 1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590  
 Phone: (845) 632-6500  
 acappe2102@aol.com

PROPOSED CHANGE OF USE OF  
 FORMER UNITED METHODIST CHURCH  
 FOR  
**CENTURION MANAGEMENT, LLC**  
 9 SOUTH MESIER AVENUE VILLAGE OF WAPPINGERS FALLS, NY

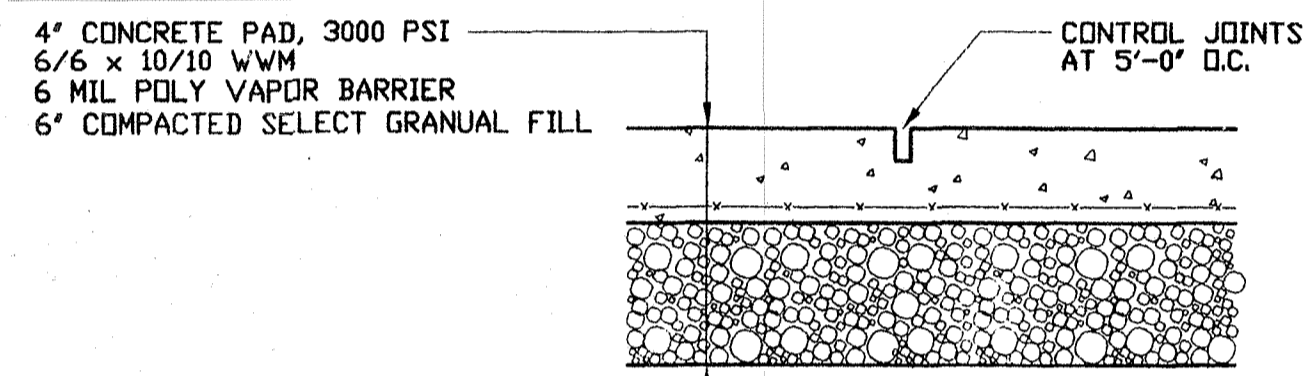
**LANDSCAPING & SITE LIGHTING**

DATE	JUNE 16, 2021
SCALE	1" = 15'
DRAWN	AC
JOB	20-009
SHEET	S-2
OF	SHEETS



**SIGN DETAIL**

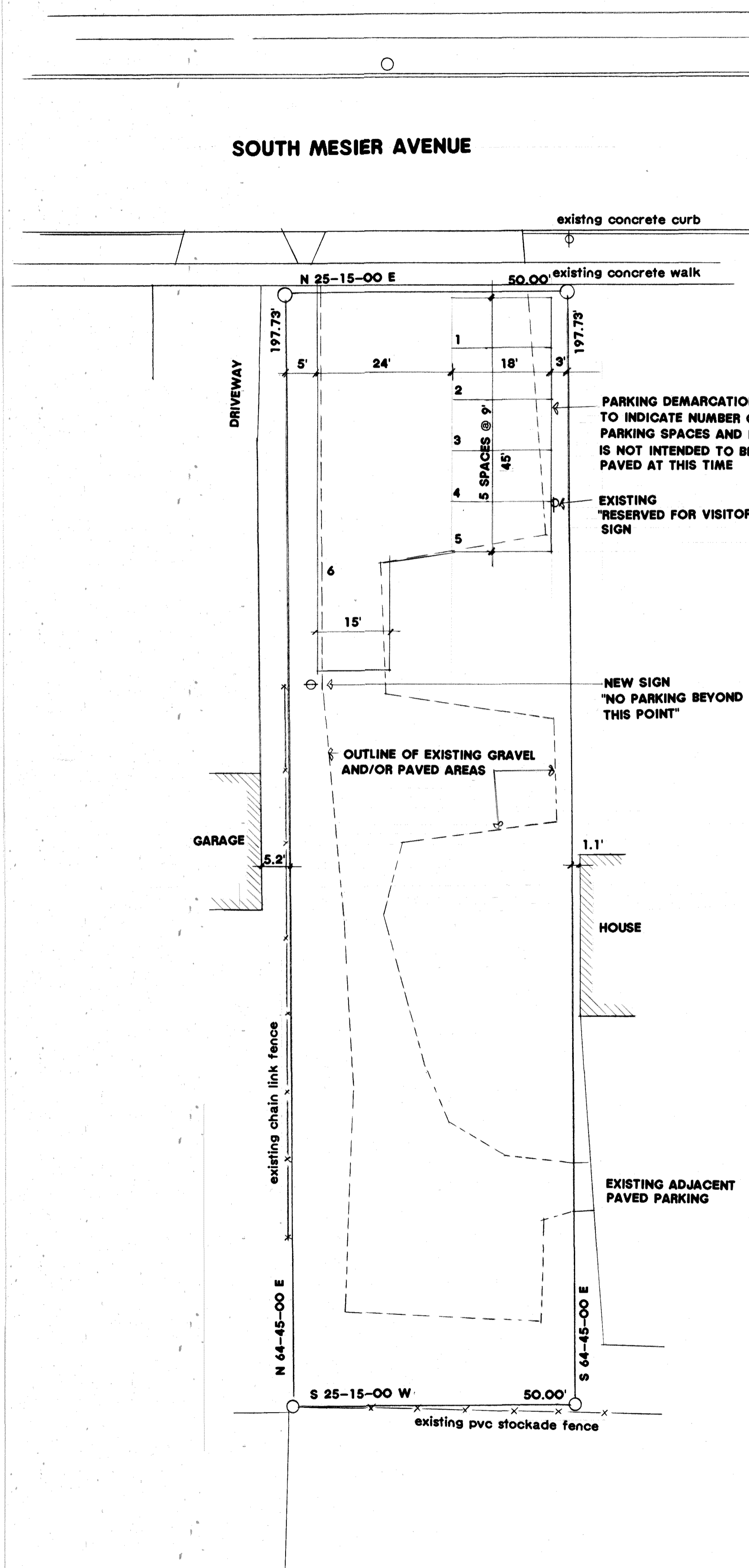
(EXISTING PLANTER WITH JUST NAME CHANGE OF BUILDING)



**SIDEWALK DETAIL**

AT NEW SIDEWALK TO NEW ENTRY DOOR AT ANNEX

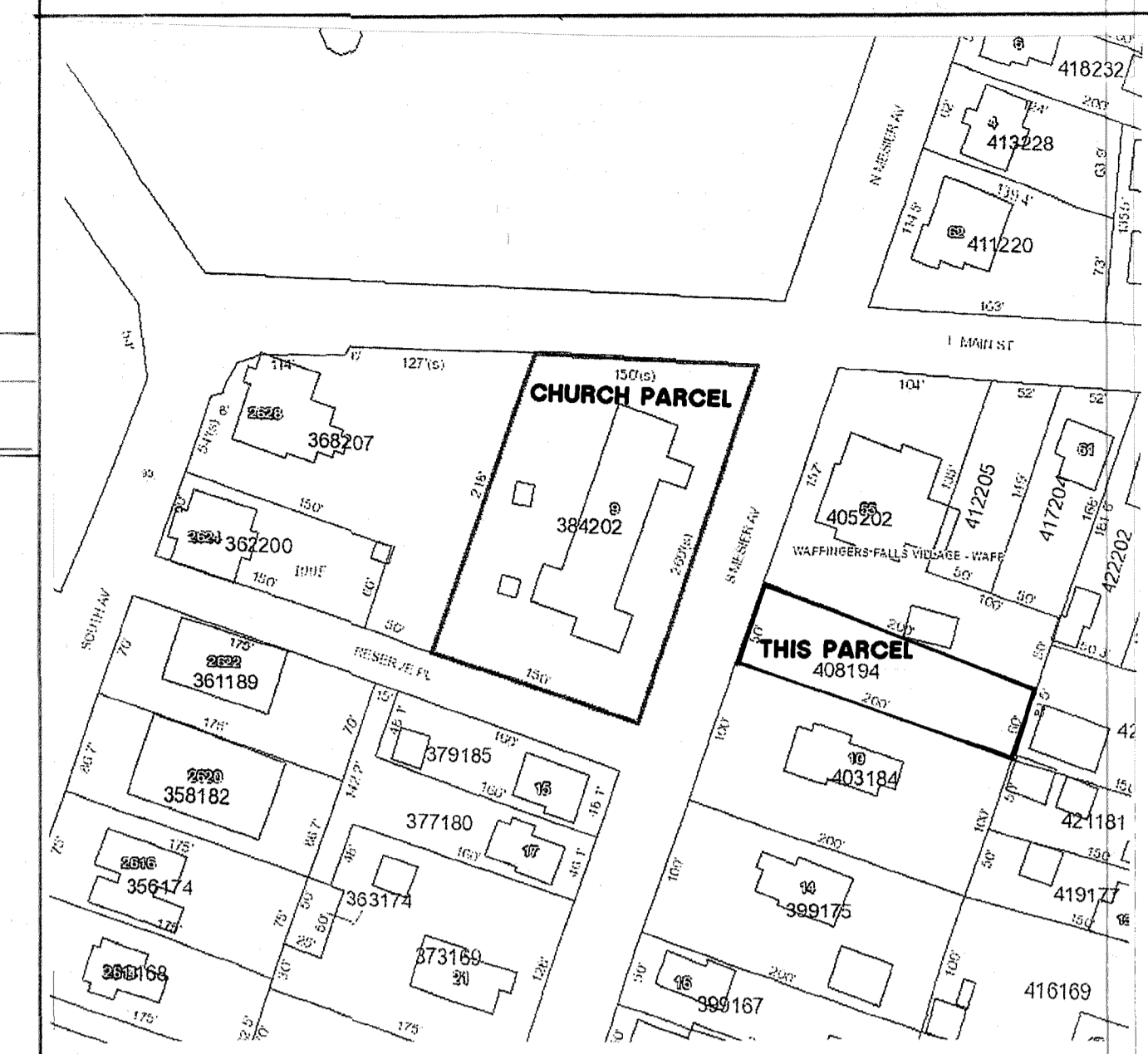
NOTE: PROVIDE 1/2" BIT. EXPANSION JOINT MATERIAL BETWEEN SIDEWALK & CURB, AND AT EVERY 20'-0" L.F. OF SIDEWALK LENGTH.



**SITE PLAN of APPLICANTS ADJACENT PARCEL**

SCALE: 1 inch = 15 feet

**AREA MAP**



REVISIONS	BY

**ALFRED A. CAPPELLI JR., AIA**  
**ARCHITECT**  
 1136 ROUTE 9 WAPPINGERS FALLS, N.Y. 12590  
 Phone: (845) 632-6500  
 acappell2102@aol.com

PROPOSED CHANGE OF USE OF  
 FORMER UNITED METHODIST CHURCH  
 FOR  
**CENTURION MANAGEMENT, LLC**  
 9 SOUTH MESIER AVENUE VILLAGE OF WAPPINGERS FALLS, NY

**SITE PLAN OF APPLICANTS ADJACENT PARCEL & DETAILS**

DATE	JUNE 16, 2021
SCALE	1" = 15'
DRAWN	AC
JOB	20-009
SHEET	S-3
OF SHEETS	



April 30, 2021

Village of Wappingers Falls  
Building, Planning & Zoning  
2582 South Avenue  
Wappingers Falls, NY 12590

To Whom It May Concern:

Enclosed you will find plans pertaining to the sign project for Nuvance Health located at 1530 Route 9, Wappingers Falls, NY 12590. **The scope of work includes replacing/refacing various existing signs. The contractor is Mineola Signs.** Your primary contact regarding the sign permits for this project is Expedite The Diehl (ETD). Please help us to be proactive and call or email so that we may follow thru in providing everything that is needed, if you need any of the following items to issue permits:

- Please contact ETD for the fees and ETD will have a check sent in right away.
- Please contact ETD for the contractor licenses that may be needed and ETD will apply for those.
- Please contact ETD if you require engineer sealed drawings.
- Please contact ETD if you need additional drawings and/or permit applications.
- Please contact ETD if you need any type of information that would help process the permits.

**We are relying on you to tell us if additional permits are needed, we cannot be held responsible for permits that we have not been informed are required. Please make sure you tell us if we need additional permits so that we can obtain those as well.**

ETD has been hired to process the permit application(s) that are enclosed. We are hired by the company that also hires the contractor. ETD is the point of contact for any information regarding the enclosed application(s). ETD will facilitate communication with the contractor, the owner and/or responsible parties. ETD will provide any fees necessary and shipping labels if needed to mail issued permit(s).

If you require any additional information please call Amber at ETD. Please do not contact anyone else as the client has contracted ETD to handle the procurement of said permit(s). We thank you in advance for your cooperation. ETD can be reached at (509) 685-7109 or by email at [Amber@ExpediteTheDiehl.com](mailto:Amber@ExpediteTheDiehl.com).

Sincerely,

*Amber Smith*

Permit Manager

Enclosures: Sign Permit Application  
Owner Authorization Letter  
3 Sets of Plans



# VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

## SIGN PERMIT APPLICATION

Name of Applicant AMBER SMITH  
Address 6487 HILLIARD DR  
CANAL WINCHESTER, OH 43110  
Email AMBER@ETD.WEBSITE  
Phone 509.685.7109

Owner of Property HEALTH QUEST URGENT MEDICAL  
Address 1530 ROUTE 9  
WAPPINGERS FALLS, NY 12590  
Phone 614.828.8215

Location of Property 1530 ROUTE 9  
Linear Frontage of building APPROX. 70 FT. Zoning District CMU

Types of Signs  Post & Arm  Projecting  Seasonal  Multi-Tenant  
 Wall  Window  Awning  Free Standing  Sidewalk  
\*\*REFACING EXISTING SIGNS & ADDING WINDOW VINYLs\*\*

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:  
**Freestanding signs-** the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.  
**Awning, Window, Wall or Projecting signs-** the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications Type REFACES OF EXISTING Placement EXISTING  
Landscaping  Yes  No Size of Sign  Height  Width   
 Single Faced  Double Faced  Lighted  
Material  Wood  Metal  other Durable



The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)      \*\*3 SETS ENCLOSED - PLEASE NOTIFY IF ADD'L SETS REQ'D FOR THIS SCOPE OF WORK\*\*
- Sign design drawings (ten sets)
- Color swatch ( if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name AMBER SMITH

Applicant Signature Amber Smith Date: 4/30/2021

Owner of Property Signature see owner letter enclosed Date: \_\_\_\_\_

**THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER**

Sign Permit Granted: Date \_\_\_\_\_ Permit # issued \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Receipt # \_\_\_\_\_ Date \_\_\_\_\_

Sign Permit Application referred to Planning Board Date \_\_\_\_\_

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## AFFIDAVIT OF PERMIT AUTHORIZATION

*This affidavit certifies that the party listed, who is not a lessee, licensed architect, engineer, or contractor, has been granted authorization to obtain a permits(s) on behalf of a property owner. It must be filled out completely by the property owner if another party is submitting an application(s) on the owner's behalf.*

I, Rick Talbot "owner of the property listed below certify that I have granted, Stratus Unlimited and their permit expeditor Expedite the Diehl, my duly authorized agent, permission to obtain the sign permits and area variance application as well as any related documents necessary for the construction (or installation) of signs at the following address:

1530 Route 9, Wappingers Falls, NY

Address of permit location

I understand that I am authorizing them to apply for permit related documents of various types for sign approvals and any related area variance documents. This is limited to what is necessary for sign permit projects to be completed.

Rick Talbot  
Signature of Property Owner

4/20/21  
Date

**Stratus™**

stratusunlimited.com

888.503.1569

**LOCATION NUMBER:**

8039

**SITE ADDRESS:**

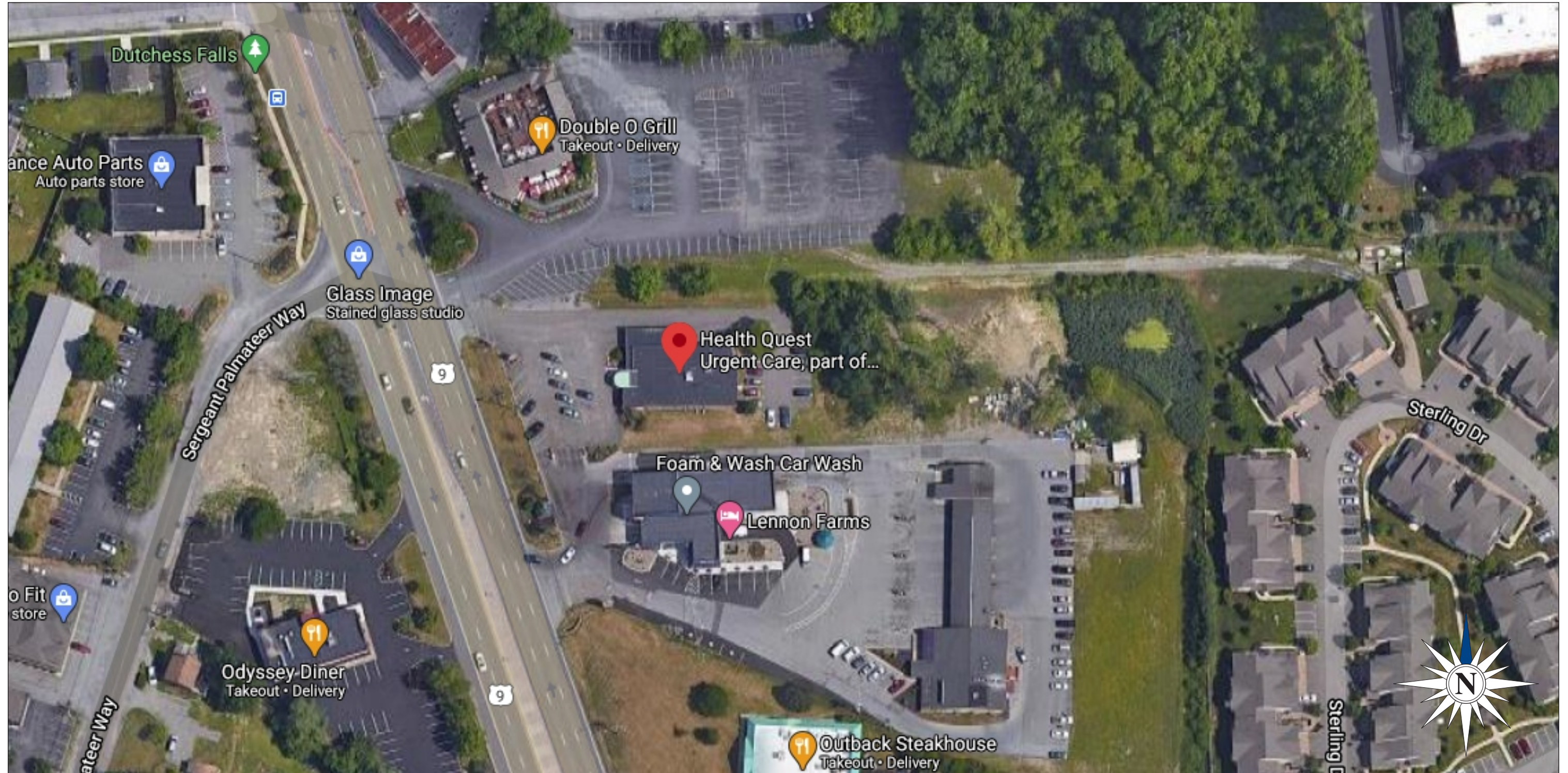
1530 Route 9  
Wappingers Falls, NY  
12590-4131

 **Nuvance Health**

Infinite possibilities, ideal solutions.

# VICINITY SITE PLAN

Scale: not to scale



# Stratus™

stratusunlimited.com  
 8959 Tyler Boulevard  
 Mentor, Ohio 44060  
 888.503.1569

CLIENT:  
 Nuvance Health

ADDRESS:  
 1530 ROUTE 9  
 WAPPINGERS FALLS, NY  
 12590-4131

PAGE NO.:  
**2**

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 1147446

SITE NUMBER:  
 8039

ELECTRONIC FILE NAME:  
 K:\ARTVACCOUNTS\INUVANCE\2021\NY\8039\_Wappingers Falls\  
 8039\_Wappingers Falls R1

PROJECT NUMBER:  
 5215

PROJECT MANAGER:  
 OLIVIA ROBINSON

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	334216	01/13/21 KWK					
Original	334565	1/16/21 Viv					
Rev 1	336255	2/16/21 Viv					

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# SITE PLAN

Scale: not to scale



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CLIENT:  
 Nuvance Health

ADDRESS:  
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 12590-4131

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E01

# REPLACEMENT FACE

Scale: 3/4"=1'-0"



Visible opening: 3'-8" X 7'-9"  
 Retainer: 1-1/2"  
 Divider bars: 2-1/2"



Visible opening: 1'-5-1/2" X 7'-9"  
 Retainer: 1-1/2"  
 Divider bars: 2-1/2"

### COLOR PALETTE

 LOGO, COPY: Translucent  
 Digitally printed by Miratec Systems  
 to match PMS 7687C w/ overlamine  
 3M 3660M



PROPOSED SIGNAGE



EXISTING CONDITIONS

- CABINET:** Existing cabinet w/ 1-1/2" retainers & 2-1/2" divider bars
- FACES:** .187 Flat white polycarbonate
- GRAPHICS:** Surface applied Trans vinyl
- QUANTITY:** (2) TWO FACES EACH REQUIRED FOR D/F ILLUM. PYLON

**FIELD VERIFY ALL SIZES!**

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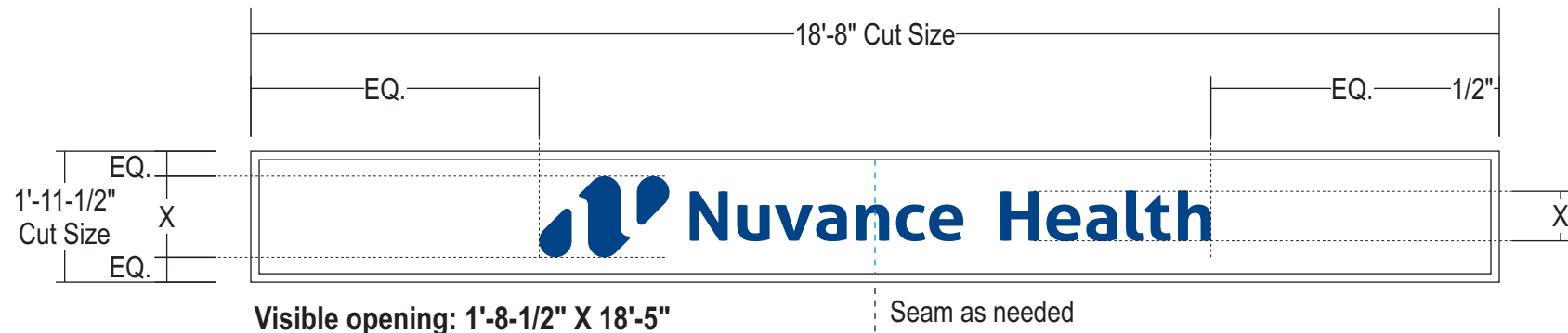
PROJECT MANAGER:  
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Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	334216	01/13/21 KWK					
Original	334565	1/16/21 Viv	Open to have upper case O				
Rev 1	336255	2/16/21 Viv					

E02

# REPLACEMENT FACE

Scale: 3/8"=1'-0"



EXISTING CONDITIONS





PROPOSED SIGNAGE

**EXISTING 1'-11-1/2" X 18'-8" PANEL  
TO BE REMOVED & REPLACED  
REPAIR FRAME DAMAGE AS NEEDED**

- CABINET:** Existing w/ 1-1/2" retainers
- PANEL:** .125 aluminum painted Nuvance white
- GRAPHICS:** 1/2" thick Sintra painted Nuvance Blue stud mounted flush to backer
- QUANTITY:** (1) One face w/ F.C.O. graphics

**FIELD VERIFY  
ALL SIZES!**

**COLOR PALETTE**

-  **FACE:** Painted white MP 27386, semi-gloss
-  **FACE, CABINET, CLADDING:** Painted to match PMS 7687C, MP 73230 (R191582), semi-gloss

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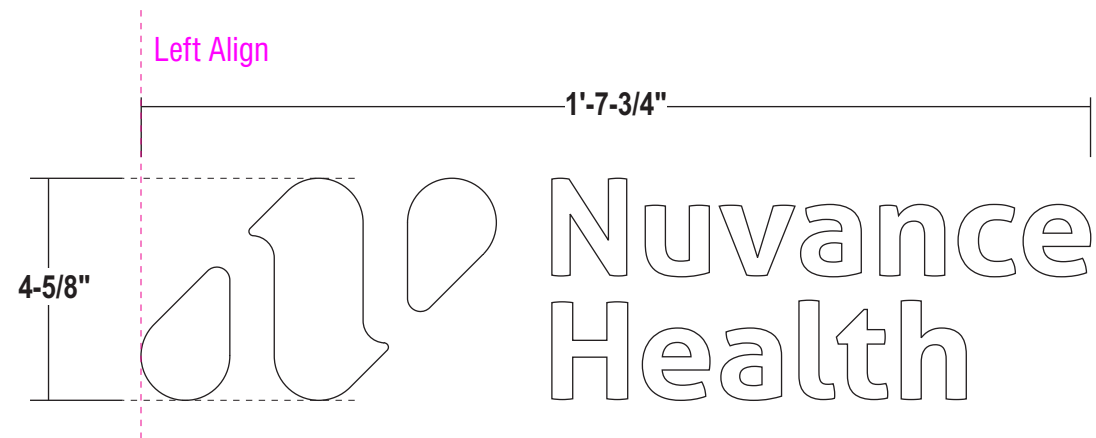
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**LOGO DETAIL**

Quantity: (1) one required

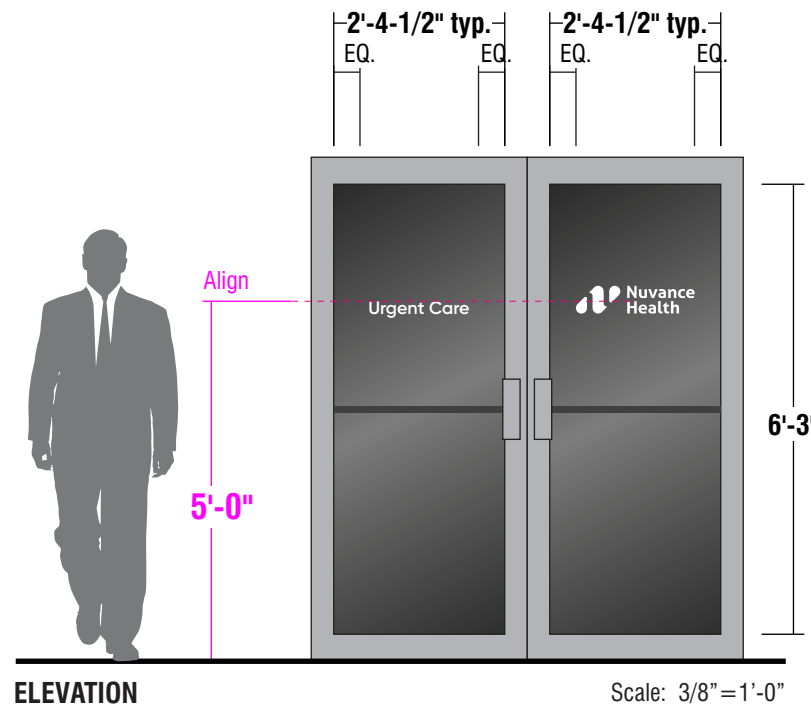
Scale: 3"=1'-0"



**URGENT CARE BAND DETAIL**

Quantity: (1) one required

Scale: 1-1/2"=1'-0"



ELEVATION

Scale: 3/8"=1'-0"

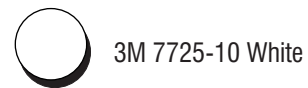


EXISTING CONDITIONS

**APPLICATION:**

First surface vinyl graphics

**COLOR PALETTE**



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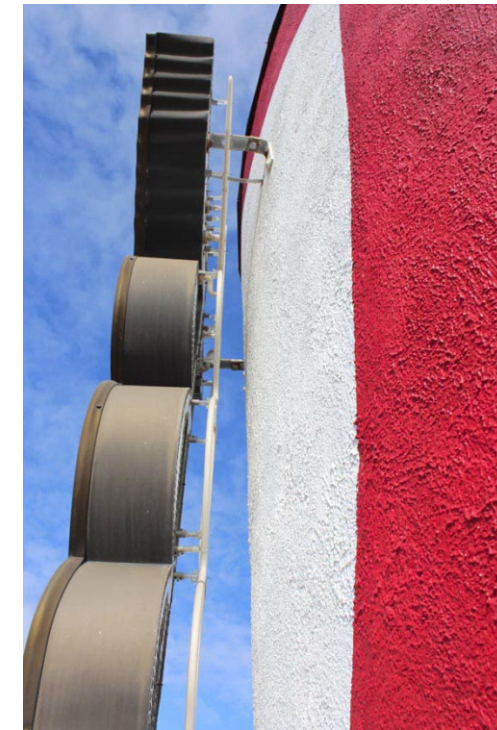
5215

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Rev 1	336255	2/16/21 Viv	REMOVED ACCESSIBLE & SMOKING VINYL				





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**RESTORATION AREA:**  
±34.5 Sq. Ft.



5'-6"  
Above  
Grade

**PROPOSED SIGNAGE**

EXISTING SIGNAGE TO BE REMOVED & REPLACED  
WALL TO BE PATCHED & PAINTED AS REQUIRED



**EXISTING CONDITIONS**

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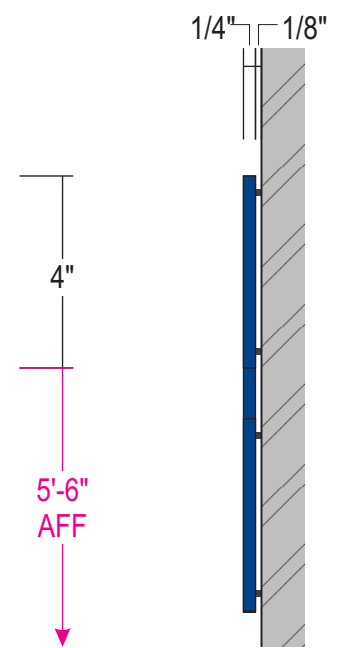
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Scale: 3"=1'-0"



SIDE VIEW

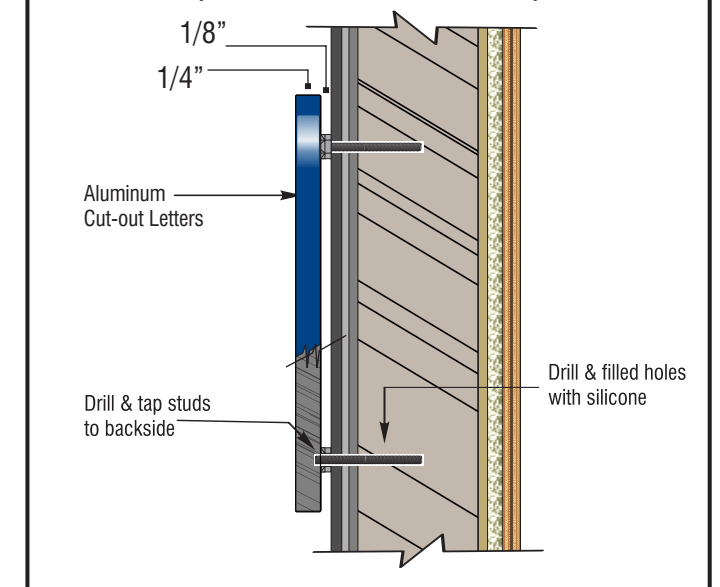
- CONSTRUCTION:** 1/4" thick aluminum flat cut outs
- FINISH:** NUVANCE Blue semi-gloss finish.
- WALL MATERIAL:** Drywall
- INSTALL:** Stud mount to wall w/ 1/8" stand off  
All penetrations to be silicone filled

COLOR PALETTE

**LOGO/COPY:**  
 PMS 7687C,  
 MP 73230 (R191582), semi-gloss

FLAT CUT-OUT LETTERS

(PIN MOUNTED)



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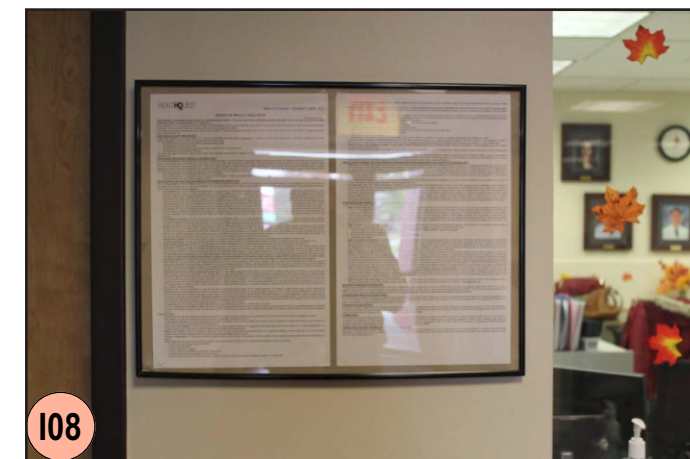
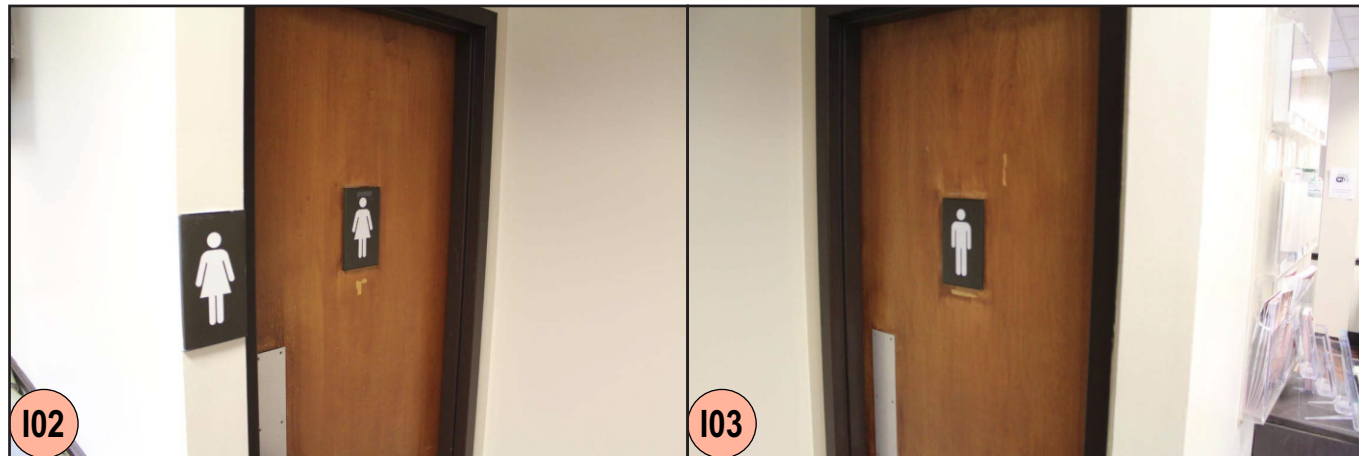
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# CODE CHECK

Code Research	
Performed By	Expedite The Diehl, LLC
Prop or Tax ID #	135601-6158-19-605079-0000
Jurisdiction	Village of Wappingers Falls
Zoning District	The property is zoned CMU, per Mercedes, follow the code.
Special District? Overlays?	Per Mercedes, there is not a sign plan or overlay district for the property. Follow the code.
Are there any planned changes to the code?	None indicated by staff.
Permit Info (General)	
Permit Contact:	Mercedes Perez
Permit Contact Title:	Secretary to Building, Planning & Zoning Office
Permit Contact Phone:	845-297-5277
Permit Contact Email:	mperez@wappingersfallsny.gov
Are there any overriding development plans (Master Sign Plan (MSP), Planned Development (PD, PUD), etc.)?	No, per Mercedes.
Does the application require a special review (Architectural Review, Historic, Landmark, etc.)?	Per Mercedes: Signs require Planning Board approval and architectural review.
If yes, what is the schedule and time frame for special review?	<input type="checkbox"/> Planning Board meetings are held the first Thursday of each month. <input type="checkbox"/> Submittal deadline is no less than 15 days prior to the scheduled Planning Board meeting, all submissions must be received before 12 p.m. on the submittal date. <input type="checkbox"/> Per Mercedes: Time frame is 2 months.
Time frame to process permit?	Per Mercedes: 2 months.
List all documents required for permit?	<input type="checkbox"/> Application form <input type="checkbox"/> Sign design drawings (renderings, sketch of proposed sign, elevation, size) <input type="checkbox"/> Color swatch (if any color other than black/white) <input type="checkbox"/> Fee for sign permit of \$75.00 per side <input type="checkbox"/> Consent form
How many copies are required?	10 sets
Does the permit need to be signed by the owner?	Per Mercedes: Yes.
Can an authorized agent provide landlord/owner approval?	Per Mercedes: Yes.
Does anything need to be notarized?	Per Mercedes: Yes.
What are the fees for permits?	Per Mercedes: \$75.00 per side.
Fee link:	<a href="https://www.wappingersfallsny.gov/wp-content/uploads/2019/12/Permit-Fee-Doc.pdf">https://www.wappingersfallsny.gov/wp-content/uploads/2019/12/Permit-Fee-Doc.pdf</a>
Permit link:	<a href="https://www.wappingersfallsny.gov/wp-content/uploads/2020/07/Sign-Permit-Application.pdf">https://www.wappingersfallsny.gov/wp-content/uploads/2020/07/Sign-Permit-Application.pdf</a>
Does a reface require a permit?	Per Mercedes: If nothing changes, then no.
Other notes:	N/A
Variance Info	
Cost:	<a href="https://www.wappingersfallsny.gov/wp-content/uploads/2019/12/Permit-Fee-Doc.pdf">https://www.wappingersfallsny.gov/wp-content/uploads/2019/12/Permit-Fee-Doc.pdf</a>
Deadline:	<a href="https://wappingersfallsny.gov/wp-content/uploads/2019/12/zoningmeetings2020.pdf">https://wappingersfallsny.gov/wp-content/uploads/2019/12/zoningmeetings2020.pdf</a>
How often does the board meet?	Zoning Board Meetings are held the first Tuesday of each month at the American Legion, 7 Spring Street, Wappingers Falls NY 12590 at 7pm.
Time frame, including any appeal period:	Variance time frame 2-3 months.
Application link:	Not available online.

Ground Signs	
Type of ground signs allowed:	Freestanding Sign.
Number of ground signs allowed:	A maximum of three signs is allowed per establishment.
Max. sq. ft. per face:	No more than one freestanding sign may be located on a lot.
Total sq. ft. for all signs (aggregate total) if any:	36 sq ft.
How is sign area calculated (are both faces counted, is the base included):	N/A; separate allowances.
Overall height limit:	The area of a sign shall be measured from the outer dimensions of the frame, trim, or molding by which the sign is enclosed, where such features exist, or from the outer edge of the signboard where none exist.
How is height measured:	When a sign consists of individual letters, symbols or characters, or where the overall shape of the sign is irregular, the area shall be computed as the area of the smallest rectangle which encloses all of the letters, symbols, characters or sign area.
What architectural or design features are required, if any:	Only one side of double-faced signs shall be measured when determining the area.
Setback restrictions:	The height including its support shall not exceed 20 feet.
Clearance restrictions:	The height of a freestanding sign shall be measured vertically from the established average grade directly below the sign, to the highest point of the sign, including support structures and ornamentation.
Visibility triangle restrictions:	A sign's design shall be compatible with the architectural character of the building on which it is placed and not cover any architectural features on the building. To the extent possible, adjacent signs on the same or adjoining building should be placed within the same horizontal band and be of reasonably harmonious materials and colors.
Distance between signs:	A freestanding sign shall meet the minimum front and side yard setbacks for accessory buildings, except in no case shall the sign be less than five feet from the front property line and 10 feet from the side property line.
Can signs project over walkways/ROW:	Freestanding signs shall not be placed so as to impair visibility for motorists.
If so, provide details:	On all corner lots, no building, fence, wall or other structure, hedge or other planting more than three feet in height, other than posts, columns or trees separated by not less than six feet from each other, shall be erected, placed or maintained within the triangular area formed by the intersecting street lines in a way that obstructs the view.
Ground sign illumination standards:	Not specified; subject to site plan review.
Landscaping restrictions, if any:	Signs which may obstruct the view of any official traffic sign or signal, the sight distance triangle at any street intersection, or the public right-of-way. Prohibited:
Other notes:	N/A

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Rev 1	336255	2/16/21 Viv					

# CODE CHECK

Wall Signs	
Number of wall signs allowed:	A maximum of three signs is allowed per establishment.
Sq. ft. calculation for wall signs:	2 sq ft per linear ft of building face up to a maximum of 30 sq ft.
Total sq. ft. for all signs (aggregate total) if any:	N/A; separate allowances.
How is sign area calculated:	The area of a sign shall be measured from the outer dimensions of the frame, trim, or molding by which the sign is enclosed, where such features exist, or from the outer edge of the signboard where none exist.  When a sign consists of individual letters, symbols or characters, or where the overall shape of the sign is irregular, the area shall be computed as the area of the smallest rectangle which encloses all of the letters, symbols, characters or sign area.  Only one side of double-faced signs shall be measured when determining the area.
Color restrictions:	To the extent possible, adjacent signs on the same or adjoining building should be placed within the same horizontal band and be of reasonably harmonious materials and colors.
Max. projection from wall:	The visible edge or border of a wall sign may extend up to four inches from the face of the wall to which it is attached, and may not extend any distance beyond or above the building in any direction.
Wall sign illumination standards:	All internally illuminated signs except for the following are prohibited. [a] Wall signs. Channel lit letters are permitted and include: standard lit letters, open face lit letters, front/back lit letters, and reverse channel (or halo) lit letters.
Other notes:	Where the design of an existing building facade incorporates a specific area for a wall sign, the height and length of the sign shall be restricted to the dimensions of this area.
Blade/Projecting Signs	
Number of signs allowed:	A maximum of three signs is allowed per establishment.
Sq. ft. calculation for blade/projection signs:	9 sq ft.
Total sq. ft. for all signs (aggregate total) if any:	N/A; separate allowances.
Maximum projection:	Signs shall have a minimum projection of six inches and a maximum projection of five feet from the building face.
Maximum height restrictions:	Projecting signs may not extend above the height of the lowest point of the roofline, and shall have no more than two faces.
Blade/Projecting signs illumination standards:	Internally illuminated projecting signs are prohibited.
Other notes:	Projecting sign must be located at least 10 feet from any other projecting sign. The lowest point of the projecting sign shall be a minimum of 10 feet or a maximum of 15 feet above the sidewalk.
Awning Signs	
Number of signs allowed:	A maximum of three signs is allowed per establishment.
Sq. ft. calculation for awning signs:	2 sq ft per linear ft of building face up to a maximum of 30 sq ft.
Total sq. ft. for all signs (aggregate total) if any:	N/A; separate allowances.
Maximum projection:	Awnings shall project at least three feet but no more than six feet.
Maximum height restrictions:	Awnings shall be affixed at a consistent height of eight feet and extend no higher than 12 feet.
Awning signs illumination standards:	An awning sign may only be externally illuminated.
Other notes:	Only awnings over ground floor doors or windows may contain signs.  Awning graphics should be affixed flat to the surface of the valance and shall indicate only the name and/or address of the enterprise or premises.
Copy restrictions (i.e. letter height, placement, etc.):	N/A

Directional Signs	
Permit required:	Exempt Signs, not requiring permit: Directional signs of a public or quasi-public nature identifying or locating a Village, hospital, public building, parking lot, church, college, service or civic club, educational, cultural or public recreational building, including informational signs.
Number of directional signs allowed:	Not specified; subject to site plan review.
Sq. ft. calculation for directional signs:	4 sq.ft.
Overall height limit:	Not specified by code. Per Mercedes, no height limitation, however, cannot obstruct view.
Logo/Name of business restrictions:	Not specified by code. Per Mercedes, cannot bare any advertising, logo or name of the business.
Directional signs illumination standards:	Not specified by code. Per Mercedes, directional signs cannot be illuminated.
Other notes:	N/A
Window Signs	
Permit required:	Yes.
Sq. ft. calculation for window signs:	25% of total glass area of the window on which the sign is displayed.
Placement restrictions (1st or 2nd surface, 1st floor, doors, etc.):	Sign visible from a sidewalk, street or other public place, affixed or painted on glass or other window material, or located inside within four feet of the window.
Other notes:	N/A
Banners/Temporary Signs	
Permit required:	Yes.
Types of temporary signs permitted:	Activity or event signs shall only be displayed on private property and shall be limited to one.
Size of banners/temporary signs:	Such signs shall not exceed 16 square feet in area. Such signs shall not exceed six feet in height unless affixed to a building.
How long can they be left up:	Activity or event signs shall only be displayed on private property and shall be limited to one such sign per establishment for a period not exceeding four weeks. No individual business establishment may be granted a permit for an activity or event sign within 90 days of the expiration of the business establishment's previous permit for an activity or event sign.
Material restrictions:	The sign may be constructed of cloth, canvas, fabric, plywood, or other light materials and does not need to be permanently mounted.
Other notes:	The date of issuance of the temporary permit shall be affixed to the sign.
<small>definitions, prohibitions and exemptions of the ordinance in conjunction with this code check. This code check is good for the day on which it is completed only. Information contained herein is a guideline and should not in any way be taken as a permit approval. Signs should not be produced until the permit has been issued. Zoning approval is often subject to interpretation that said official makes of the ordinance for their city/county/township. This code check is completed without the knowledge of specific project details and Expedite The Diehl does not assume any liability, we simply provide the code information based on the current code. This provider is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. It is understood that a permit will be obtained prior to manufacture, if required by authorities. This code check is provided with the assumption that you will get the landlord / property owner approval. This information herein is limited to what the city has told us and we cannot be responsible if they do not inform us that a sign plan is in place. We strongly encourage you to check your lease for sign criteria and to apply for permits before manufacturing a sign.</small>	
2020 Expedite The Diehl 614.828.8215	



CLIENT: **Nuvance Health**  
 ADDRESS: 1530 ROUTE 9, WAPPINGERS FALLS, NY 12590-4131  
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 SITE NUMBER: 8039  
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