

VILLAGE OF WAPPINGERS FALLS
Offices of Planning/Zoning
2582 South Avenue Wappingers Falls, NY 12590
(845) 297-5277 Fax: (845) 296-0379

AGENDA OF THE PLANNING BOARD

June 9, 2022

The Planning Board of the Village of Wappingers Falls will hold a meeting at the American Legion Hall, 7 Spring Street, Wappingers Falls, on June 9, 2022, beginning at 7 p.m. There are no public hearings scheduled for this meeting.

The agenda is as follows:

ROLL CALL

APPROVAL OF MAY 5, 2022 MINUTES

CONTINUED APPLICATION

THE HOG

2703 W Main Street (Grid #6158-14-275361) – West Main Lofts LLC (Owner and Applicant) – Brian Stokosa, Day & Stokosa Engineering P.C. (Engineer) – Site Plan.

This property is located in the Village Commercial (VC) zoning district. The applicant is proposing constructing a patio.

NEW APPLICATIONS

DELAVERGNE AVENUE SUBDIVISION

40 Delavergne Avenue, Grid #6158-09-173629 (Village of Wappingers Falls) and Grid #6158-01-164655 (Town of Poughkeepsie) - Site Plan.

The Village of Wappingers Falls portion of the parcel is located in the Village Mixed (VM) zoning district. The applicant is proposing subdividing the Town of Poughkeepsie portion of the parcel into 5 new residential building lots and 1 existing parcel to support the existing dwelling.

2731 W MAIN STREET

2731 W Main Street (Grid #6158-13-240434) – Dylan Aquado (Owner and Applicant) – William H. Povall, III, P.E., Povall Engineering, PLLC (Engineer) – Site Plan.

This property is located in the Village Mixed (VM) zoning district. The applicant is proposing constructing a new two-family structure on the parcel.

DR. B SMILES ORTHODONTICS

7 Moran Avenue (Grid #6158-19-510216) – Anthony Bonavoglia, Moran Realty LLC (Owner) – Bonavoglia Orthodontics (Applicant) – New Sign.

This property is located in the Commercial Mixed Use (CMU) zoning district. The applicant is proposing one wall sign.

INSPIRED DANCE ARTS

1582 Route 9 (Grid #6158-19-559223) – Davis Fowler Group LLC (Owner) – Ashley Cuadrado (Applicant) – New Business and New Signs.

This property is located in the Commercial Mixed Use (CMU) zoning district. The applicant is proposing operating a dance studio. The applicant is also proposing one wall sign and one space on the existing multitenant sign.

2703 WEST MAIN ST. WAPPINGERS FALLS

May 16, 2022

2703 West Main St. Wappingers Falls

Answers to questions from four corners.

3. Site plan has been submitted to building department.
4. Please reference page 4, LD 101 of site plan for size of retaining wall.
5. Please reference page 4, LD 101 of site plan for cut sheet and specs of lighting.
6. As per the town architect's suggestion, we will be using 3/4 inch stone going 1 foot deep, on the seating area.
7. We will like to put roses in the front of the retaining wall and will take responsibly if they are damaged by deer or anything else.

Thank you for your time,

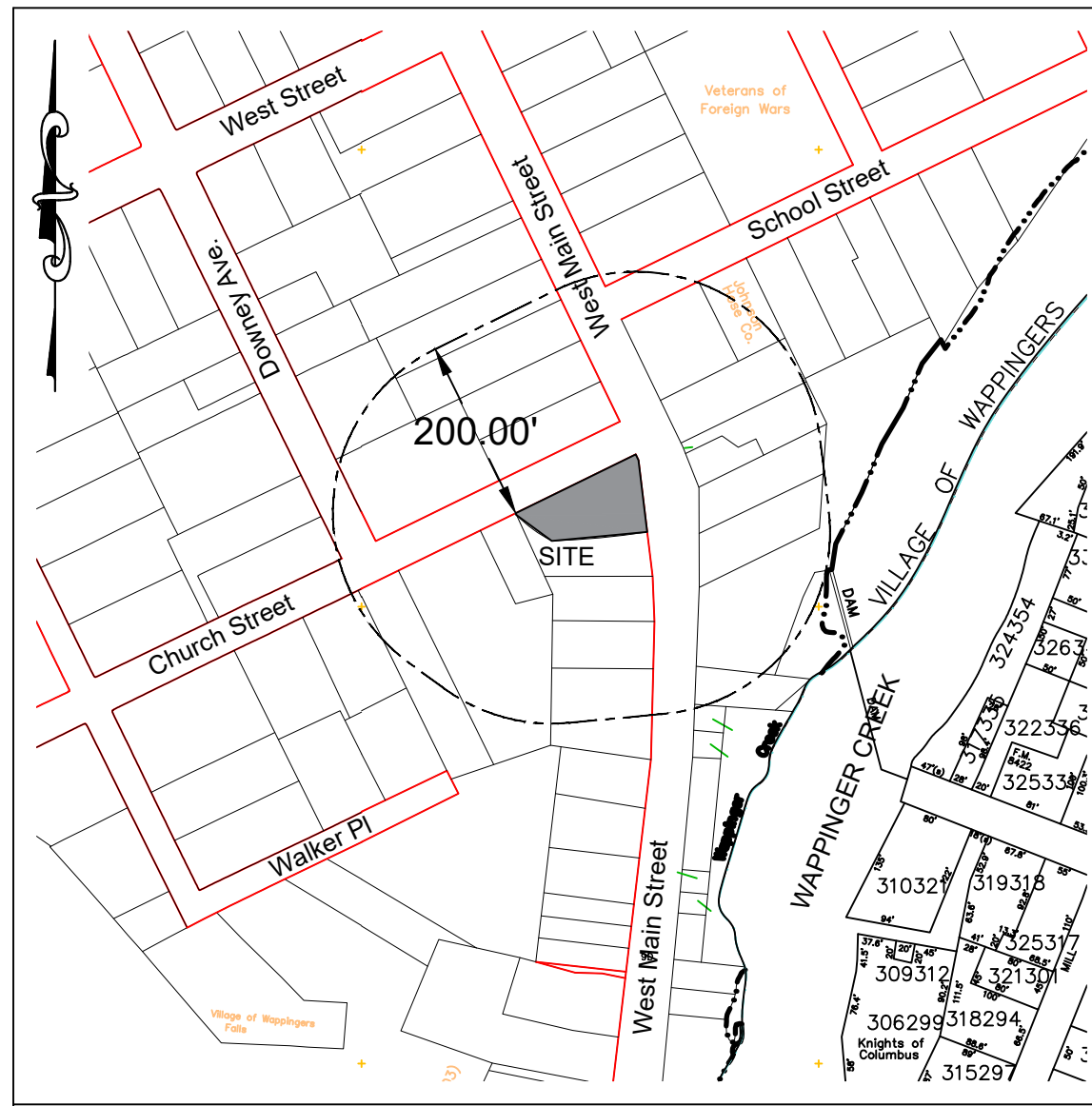
Angela & Anthony Hardisty

West Village Lofts

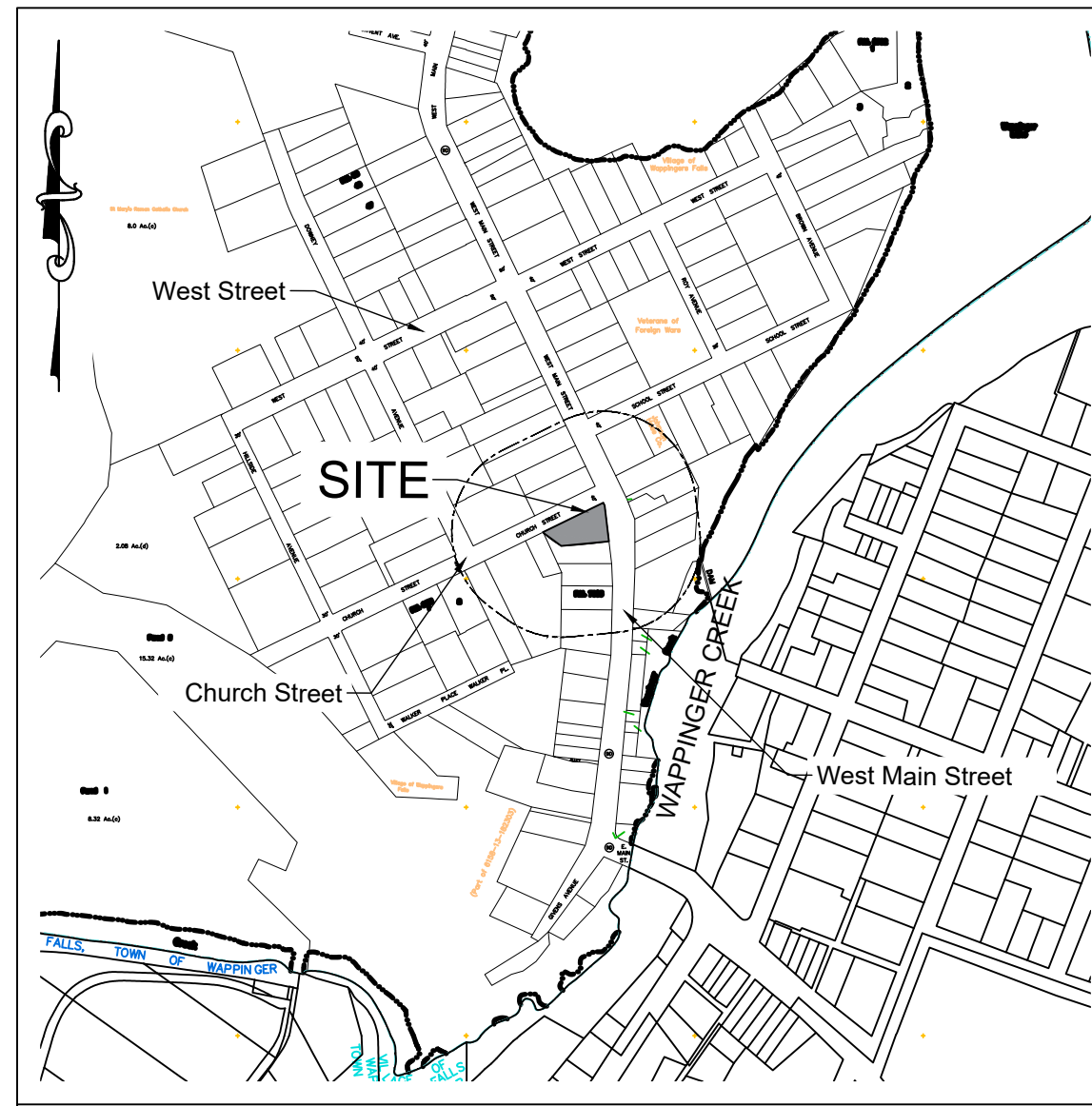
2703 West Main Street

Village of Wappingers Falls

PREPARED FOR
WEST MAIN LOFTS LLC
 27 OLD STATE RD
 HOPEWELL JUNCTION NY 12533



LOCATION MAP SCALE: 1" = 200'



AREA MAP SCALE: 1" = 400'

ALL ADJACENT OWNERS WITHIN 200 FEET OF SITE:

as per Dutchess County Real Property Tax Service Agency as of November 2018

Zone Classification: VC (Village Commercial District)
 Use: Mixed Use
 Tax Map Parcel No: 134601-6158-14-275361 (0.164 Ac)
 Topographic Datum: NAVD 88
 Total Acreage: 0.164 Ac.
 Water Supply: Village of Wappingers Falls
 Sewage Disposal: Village of Wappingers Falls

IDRIZ STOJKAJ, TRUSTEE
 2522 SOUTH AVE
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014285379

JOSEPH USEWICZ
 2700 MAIN ST W
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014289367

MARK B. SLUPEK
 2224 LAUREL RD
 SHELOCTA, PA 15774
 FOR PROPERTY: 1346010061580013240354

FRANCIS MOJICA
 2704 MAIN ST W
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014291374

WILLIAM L. RAICHE
 11 CHURCH ST
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014257342

WEST MAIN LOFTS LLC
 27 OLD STATE RD
 HOPEWELL JUNCTION, NY 12533
 FOR PROPERTY: 1346010061580014275361

ALFREDO GONZAGA
 9 CHURCH ST
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014264345

PROVIDENCE REALTY OF LAGRANGE
 1136 ROUTE 9
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014276346

STEVEN CREDO
 6 DOWNEY AVE
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014250373

MICHAEL A. CSERVAK
 2 ACADEMY ST W
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014297371

WEST MAIN LOFTS LLC
 27 OLD STATE RD
 HOPEWELL JUNCTION, NY 12533
 FOR PROPERTY: 1346010061580014276356

VILLAGE OF WAPPINGERS FALLS
 2582 SOUTH AVE
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014295350

CATERINA GIORLANDO
 2709 MAIN ST W
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014264377

VILLAGE OF WAPPINGERS FALLS
 2582 SOUTH AVE
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014294358

CATERINA GIORLANDO
 2709 MAIN ST W
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014264383

DAVID J. MARSHALL
 10 CHURCH ST
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014256365

VILLAGE OF WAPPINGERS FALLS
 PO BOX 92
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014334494

VINCENT J. BENEDETTO, LT
 18 HIGH ST
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014268374

NEST HILL HOMES LLC
 PO BOX 1711
 POUGHKEEPSIE, NY 12601
 FOR PROPERTY: 1346010061580014277351

MAZZOLA COMPANY LLC
 42 QUAIL RUN RD
 HOPEWELL JUNCTION, NY 12533
 FOR PROPERTY: 1346010061580014282391

MARIA REYES
 13 CHURCH ST
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580013249345

ROBERT SMITH
 2698 MAIN ST W
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014295364

RICOFLOW EQUITY LLC
 18 CEDAR LN
 HIGHLAND FALLS, NY 10928
 FOR PROPERTY: 1346010061580014292340

RICHARD HOLLISTER, JR
 303 HONNESS RD
 FISHKILL, NY 12524
 FOR PROPERTY: 1346010061580014277339

63 WAP WEST LLC
 10 FAIR OAKS DR
 POUGHKEEPSIE, NY 12603
 FOR PROPERTY: 1346010061580014270369

JOHNSON HOSE CO
 5 SCHOOL ST
 WAPPINGERS FALLS, NY 12590
 FOR PROPERTY: 1346010061580014292382

WEST MAIN LOFTS LLC
 27 OLD STATE RD
 HOPEWELL JUNCTION, NY 12533
 FOR PROPERTY: 1346010061580014267355

RONALD D'SOUZA
 PO BOX 1130
 HOPEWELL JUNCTION, NY 12533
 FOR PROPERTY: 1346010061580014288338

GENERAL SITE NOTES

- THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD VERIFY EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISIONS OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- DRAWINGS ARE NOT TO BE SCALED: USE DIMENSIONS ONLY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. BUILDING DIMENSION TO BE TAKEN FROM ARCHITECTURAL PLANS. THE ENGINEERING SHALL BE NOTIFIED OF ANY DEVIATION FROM THE CONDITIONS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY WITH LOCATE UTILITY COMPANY THE LOCATION OF ANY UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATIONS.
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
- ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHOWN HERE ON SHALL BE IN ACCORDANCE WITH
 - BUILDING CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
 - CURRENT PREVAILING MUNICIPAL, COUNTY AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS AND REQUIREMENTS.
 - CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT MANUFACTURER SPECIFICATION, STANDARDS AND REQUIREMENTS.
- ALL CHANGES AND/OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
- CONTRACTOR IS TO REMOVE ALL RUBBISH FROM THE SITE RESULTING FROM HIS WORK DURING THE PROGRESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.

Owner/Applicant

WEST MAIN LOFTS LLC
 27 OLD STATE RD
 HOPEWELL JUNCTION NY 12533

Owner's Consent Note

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON

Anthony Hardisty

DATE

Village of Wappingers Falls Planning Board

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WAPPINGERS FALLS, NEW YORK ON THE _____ DAY OF _____, 2020 SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN, AS APPROVED SHALL VOID THIS APPROVAL.

VILLAGE OF WAPPINGERS FALLS PLANNING BOARD

SIGNED THIS _____ DAY OF _____, 2021

Thomas Morris, Village of Wappingers Falls Planning Board Chair

DATE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE	
Project No:	2018-190
License No.	083970

DAY STOKOSA
 ENGINEERING P.C.

3 Van Wyck
 Wappingers Falls, New York 12590
 (845)-223-3202

PROJECT
West Village Lofts
 Tax Map: 134601-6158-14-275361
 Village of Wappingers Falls Dutchess County, New York

Cover Sheet

SCALE	DRAWN BY	DRAWING No.
As Noted	BJS	GI101
DATE	CHECKED BY	1 of 4
5-11-22	BJS	



Village of Wappingers Falls
Planning Board

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Thomas Morris, Village of Wappingers Falls Planning Board Chair

DATE

LEGEND

- 200 --- EXISTING PROPERTY LINE
- 198 --- EXISTING 10 FT CONTOUR LINE
- 138+0 --- EXISTING 2 FT CONTOUR LINE
- ☼ EXISTING SPOT ELEVATION
- ⊙ EXISTING LIGHT POLE
- ⊕ EXISTING GAS VALVE
- ⊗ EXISTING TELEPHONE MANHOLE
- ⊘ EXISTING SANITARY MANHOLE
- ⊙ EXISTING WATER VALVE
- ⊕ EXISTING UTILITY POLE
- OHW --- EXISTING OVERHEAD WIRE
- SS --- EXISTING SANITARY SEWER LINE
- WM --- EXISTING WATER MAIN
- ▨ EXISTING RETAINING WALL - CONCRETE
- ▩ EXISTING RETAINING WALL - STONE
- ⊕ EXISTING WATER SHUT OFF

SITE NOTES

- PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY ENTITLED "SURVEY MAP FOR MICHAL & CHRISTINE KOCAN" PREPARED BY ERNST MARTIN JR, PE, LS DATED OCTOBER 25, 2018.

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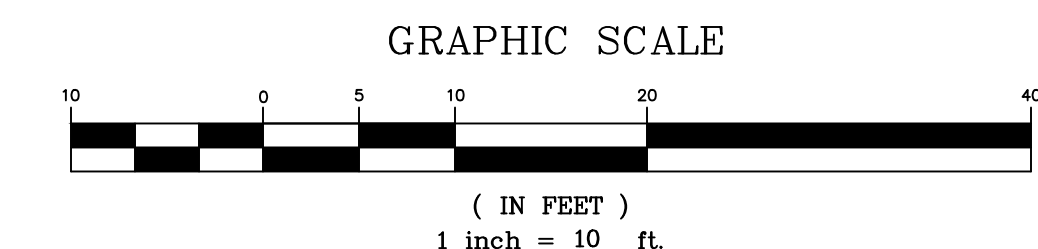
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3 Van Wyck
Wappingers Falls, New York 12590
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PROJECT: **West Village Lofts**
Tax Map: 134601-6158-14-275361
Village of Wappingers Falls Dutchess County, New York

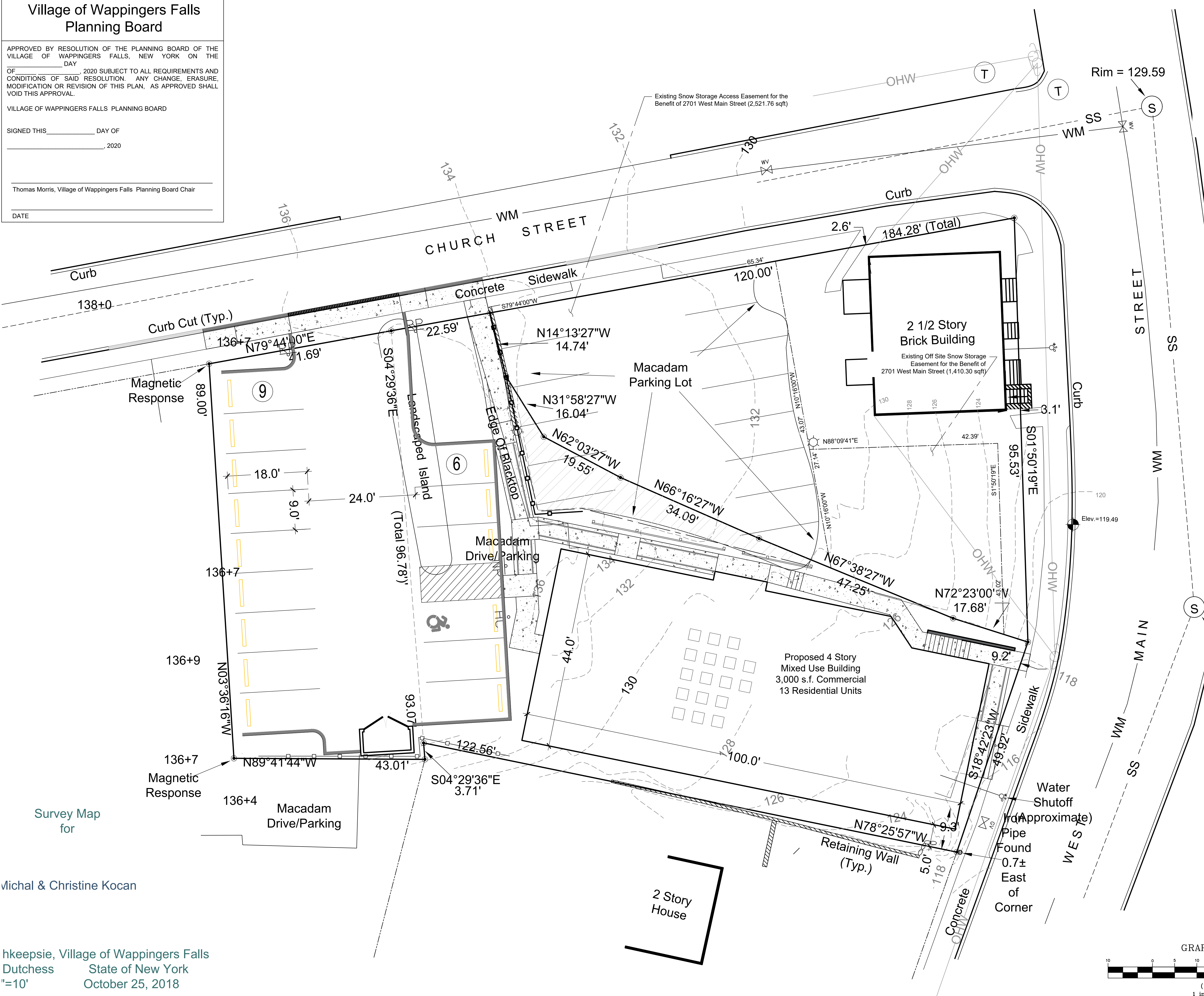
Existing Conditions

SCALE 1" = 10'	DRAWN BY DUL	DRAWING No. VE101
DATE 5-11-22	CHECKED BY MAD	2 of 4



Survey Map for
Michal & Christine Kocan

hkeepsie, Village of Wappingers Falls
Dutchess State of New York
"=10"
October 25, 2018



Village of Wappingers Falls
Planning Board

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VILLAGE OF WAPPINGERS FALLS PLANNING BOARD

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- ▨ EXISTING RETAINING WALL - STONE
- ⊕ EXISTING WATER SHUT OFF

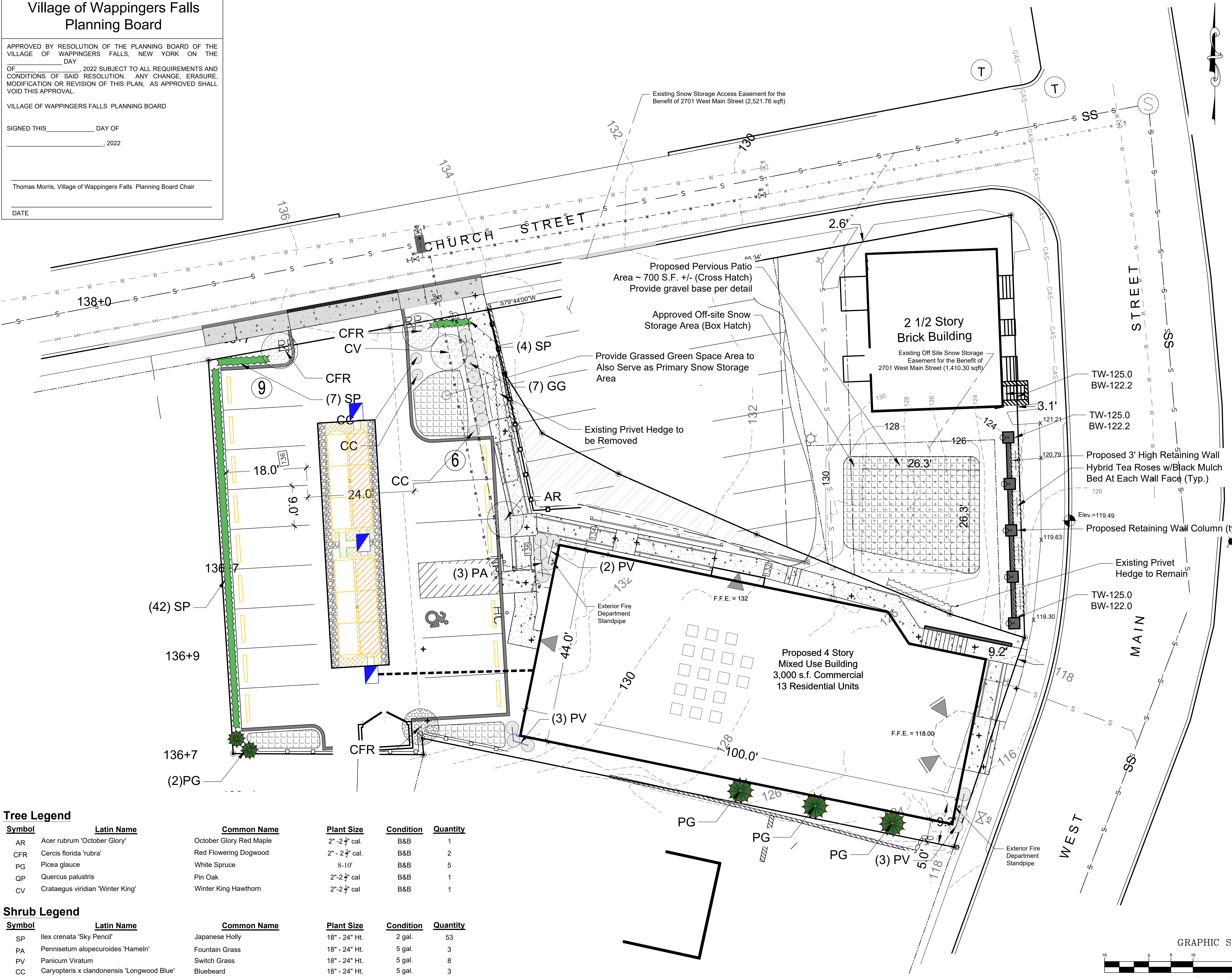
- ▭ PROPOSED BUILDING
- ▬ PROPOSED CONCRETE CURB
- ▬ PROPOSED DEPRESSED CONCRETE CURB
- ▬ PROPOSED CONCRETE SIDEWALK
- ▬ PROPOSED SIGN
- ▬ PROPOSED RETAINING WALL
- ▬ PROPOSED FENCE
- ⊙ PROPOSED DECIDUOUS TREE
- ⊙ PROPOSED SHRUB

SITE NOTES

- PROPERTY BOUNDARY, TOPOGRAPHY AND EXISTING UTILITY SHOWN HEREON ARE BASED ON A SURVEY ENTITLED "SURVEY MAP FOR MICHAL & CHRISTINE KOCAN" PREPARED BY ERNST MARTIN JR, PE, LS DATED OCTOBER 25, 2018.

LANDSCAPING NOTES

- THESE PLANS ARE TO BE USED FOR LANDSCAPING PURPOSES ONLY.
- LOCATION OF ALL PLANTINGS SHOWN ARE APPROXIMATE AND MAY VARY DUE TO THE SITE CONDITIONS.
- ALL DISTURBED AREAS NOT SPECIFICALLY CALLED OUT FOR NEW IMPROVEMENTS SHALL BE TOPSOILED, SEEDED WITH LAWN SEED MIX, & MULCHED.
- NO SNOW IS PERMITTED TO BE STORED IN ANY AREA DESIGNATED FOR PARKING OR PEDESTRIAN ACCESS. FOR ANY SNOW EVENT IN WHICH SNOW CANNOT BE ACCOMMODATED ONSITE, EXCESS SNOW SHALL BE REMOVED AND STORED ON THE PROPERTY LOCATED AT 2703 WEST MAIN STREET IN ACCORDANCE WITH THE TERMS OF THE SNOW STORAGE EASEMENT EXECUTED BETWEEN THE OWNERS OF THE TWO PROPERTIES AND FILED WITH THE DUTCHESS COUNTY CLERK'S OFFICE ON _____



Tree Legend

Symbol	Latin Name	Common Name	Plant Size	Condition	Quantity
AR	Acer rubrum 'October Glory'	October Glory Red Maple	2" - 2 1/2" cal.	B&B	1
CFR	Cercis florida 'rubra'	Red Flowering Dogwood	2" - 2 1/2" cal.	B&B	2
PG	Picea glauca	White Spruce	8-10'	B&B	5
QP	Quercus palustris	Pin Oak	2" - 2 1/2" cal.	B&B	1
CV	Crataegus viridiana 'Winter King'	Winter King Hawthorn	2" - 2 1/2" cal.	B&B	1

Shrub Legend

Symbol	Latin Name	Common Name	Plant Size	Condition	Quantity
SP	Ilex crenata 'Sky Pencil'	Japanese Holly	18" - 24" Ht.	2 gal.	53
PA	Pennisetum alopecuroides 'Hameln'	Fountain Grass	18" - 24" Ht.	5 gal.	3
PV	Panicum Viratum	Switch Grass	18" - 24" Ht.	5 gal.	8
CC	Caryopteris x clandonensis 'Longwood Blue'	Bluebeard	18" - 24" Ht.	5 gal.	3
GG	Buxus "Green Gem"	Boxwood	18" - 24" Ht.	5 gal.	7

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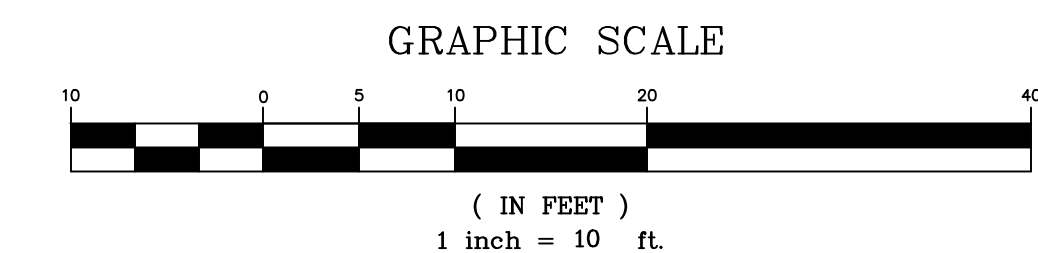
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PROJECT: **West Village Lofts**
Tax Map: 134601-6158-14-275361
Village of Wappingers Falls Dutchess County, New York

Landscaping Plan

SCALE	DRAWN BY	DRAWING NO.
1" = 10'	BJS	LP101
DATE	CHECKED BY	
5-11-22	BJS	3 of 4





MECHANICAL

- Heavy grade A36 cast aluminum (1% copper)
- Tool-free access with a spring loaded latch
- Hidden hinge door allowing the door to swing open and remain open
- Optional internal or external NEMA rated lock photometric upgrade. Housing contains a tempered glass window to allow light to reach the cell for internal viewing.
- Mount to slip flange that will accept 2" high by 2-1/8" to 2-1/2" OD pipe hanger.
- Decorative top cover contains stainless steel hinge which secures entry to the optical chamber.
- Polycarbonate cover cap to ensure maximum durability.
- Finish meets 1,000-hour salt spray testing.
- Holophane and RAL Color finishes.

ELECTRICAL

- All light protection meets ANSI/IEEE C62.41.2 10M/10A.
- Standard SPD meets 10kV/1kA per ANSI C136.2-2015.
- 200V option meets 20kV/10kA per ANSI C136.2-2015.
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional overhead leads for ease of installation.
- LED drivers meet maximum total harmonic distortion (THD) of 20%, >=50 Power Factor and are IEC60917 compliant.
- Minimum operating temperature is -40°C. Increase driver as estimated minimum life of 100,000 hours at 25°C.

OPTICAL

- IP65 rated optical compartment.
- LED output board located in the top cover.
- Asymmetric or Symmetric full cutoff distributions.
- 2700K, 3000K, 4000K, and 5000K CCT.
- ROHM Standard

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

Maximum Weight: 37.5 lbs
Maximum Hanger Spacing: 1.72 m

Relationship | 3025 Columbia Rd., Grantsville, OH 43023 | Phone: 603-802-9196 | www.holophane.com
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ORDERING INFORMATION Example: WFCL2 P20 30K AS GR L2 N P37

Series	LED Performance Package	LED Color	Configuration	Wavelength	Wavelength Color	Optics	Mount
WFCL2 Utility Washington LED LPD	P10 1,500 nominal lumens (Standard output)	AM 2700K CCT	AS Auto-sensing voltage (100 thru 277V)	AS	Black	L2 Type 2 distribution full cutoff	N Base 5 Spike
	P20 4,500 nominal lumens	AM 2700K CCT	AS Auto-sensing voltage (100 thru 277V)	AS	Gray	L3 Type 3 distribution full cutoff	N Base 5 Spike
	P30 6,500 nominal lumens	AM 2700K CCT	AS Auto-sensing voltage (100 thru 277V)	AS	Green	L4 Type 4 distribution full cutoff	N Base 5 Spike
	P40 8,500 nominal lumens	AM 2700K CCT	AS Auto-sensing voltage (100 thru 277V)	AS	White	L5 Type 5 distribution full cutoff	N Base 5 Spike
	P50 11,500 nominal lumens	AM 2700K CCT	AS Auto-sensing voltage (100 thru 277V)	AS	Black	L6 Type 6 distribution full cutoff	N Base 5 Spike

OPTIONAL ACCESSORIES

Code	Description	Part Number	Notes
DE	ROHM Hardware Enclosure and DCM Factory Installed	DE	1.5 ft ground lead
PF04	Factory Programmed Driver	PF04	30 ft ground leads
PF05	NEMA Type Lock Photometric Upgrade - 1/2" receptacle only	PF05	30 ft ground leads
PF06	NEMA Type Lock Photometric Upgrade - 3/4" receptacle only	PF06	30 ft ground leads
PF07	NEMA Type Lock Photometric Upgrade - 1" receptacle only	PF07	30 ft ground leads
PF08	1/2" Long life feedback photometric for valid size 347V	PF08	30 ft ground leads
PF09	3/4" Long life feedback photometric for valid size 400V	PF09	30 ft ground leads
PF10	1" Long life feedback photometric for valid size 480V	PF10	30 ft ground leads
PF11	Part ring dressing - down to 50%	PF11	200V/10kA surge protection

FINIAL INFORMATION

Mark appropriate box for Finial Options



Relationship | 3025 Columbia Rd., Grantsville, OH 43023 | Phone: 603-802-9196 | www.holophane.com
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OPTIONS MATRIX

Mounting	SELECTED OPTION (check box)																										
	NO	DE	PF04	PF05	PF06	PF07	PF08	PF09	PF10	PF11	PF12	PF13	PF14	PF15	PF16	PF17	PF18	PF19	PF20	PF21	PF22	PF23	PF24	PF25	PF26	PF27	PF28
LED Performance Package	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
LED Color	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Configuration	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Wavelength	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Wavelength Color	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Optics	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
Mount	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y

ROHM OPTION DETAILS

DE - US listed components without GPS capability, external antenna is block and includes ROHM capable mode only. ROHM service package sold separately via Acuity Controls.

PF04 - US listed device without GPS capability, blue housing color includes ROHM capable mode only. ROHM service package sold separately via Acuity Controls and contact Acuity Controls for ROHM device with GPS capability or non-standard color.

PF05 - US listed device without GPS capability, green housing color, includes ROHM capable mode only. ROHM service package sold separately via Acuity Controls and contact Acuity Controls for ROHM device with GPS capability or non-standard color.

PF06 - US listed device without GPS capability, yellow housing color, includes ROHM capable mode only. ROHM service package sold separately via Acuity Controls and contact Acuity Controls for ROHM device with GPS capability or non-standard color.

LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Ambient Temp (degrees Celsius)	Multiplier
0	1.00
5	1.04
10	1.08
15	1.12
20	1.16
25	1.20
30	1.24
35	1.28
40	1.32

PROJECTED LED LUMEN MAINTENANCE

Data references the anticipated performance projections for the platforms noted in 25C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate L70, use the lumen maintenance factor that corresponds to the number of operating hours below. For other lumen maintenance values, contact factory.

Package	20,000 hrs	30,000 hrs	40,000 hrs	50,000 hrs	60,000 hrs	70,000 hrs	80,000 hrs	90,000 hrs	100,000 hrs
P10 P40	0.97	0.94	0.91	0.88	0.85	0.82	0.79	0.76	0.73
P20	0.96	0.94	0.91	0.88	0.85	0.82	0.79	0.76	0.73

Relationship | 3025 Columbia Rd., Grantsville, OH 43023 | Phone: 603-802-9196 | www.holophane.com
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PERFORMANCE DATA

LED Package	Configuration	System Watts	100K Lumen	100K LPW	400K Lumen	400K LPW	600K Lumen	600K LPW
P10	L2	45	4174	93	4265	95	4301	94
	L3	45	3756	83	3889	85	4200	94
	L4	45	3068	68	4054	90	4484	99
	L5	45	4120	92	4210	94	4640	103
P20	L2	66	3952	60	4092	62	4393	65
	L3	66	3535	53	3672	55	4011	60
	L4	66	2907	44	3791	57	4453	66
	L5	66	3824	58	4002	61	4415	63
P30	L2	89	3656	41	3903	44	4322	49
	L3	89	3239	36	3570	39	3982	44
	L4	89	2727	31	3436	36	3895	43
	L5	89	3667	41	3919	42	4369	48
P40	L2	119	3168	26	3309	28	3764	32
	L3	119	2809	24	3066	26	3520	30
	L4	119	2307	19	2922	21	3377	27
	L5	119	3101	26	3247	28	3701	31
P50	L2	149	2611	17	2811	19	3265	22
	L3	149	2309	16	2566	17	3021	20
	L4	149	1911	13	2316	14	2771	18
	L5	149	2511	17	2711	19	3166	21

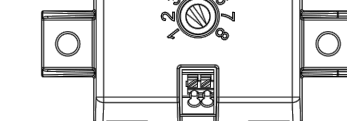
PERFORMANCE DATA OPTIONS

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Field Adjustable Output Module

The Field Adjustable Output (FAO) module is an onboard device that adjusts the light output and input wattage to meet specific requirements, allowing a single fixture configuration to be flexibly applied in many different applications.

P1 Performance Package

AO Position	% Lumen Output	% Wattage
1	30%	20%
2	47%	34%
3	52%	47%
4	67%	59%
5	73%	71%
6	84%	81%
7	95%	94%
8	100%	100%

3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
Phone: 845-223-3202

April 28, 2022
Village of Wappingers Falls Planning Board
Mr. Tom Morris, Planning Board Chairman
2582 South Avenue, Wappingers Falls, NY 12590

Re: Delavergne Avenue Subdivision
Grid # 6158-01-164655 Town of Poughkeepsie
Grid # 6158-09-173629 Village of Wappinger

Dear Chairman Morris and Planning Board Members

The project is a subdivision in the Town of Poughkeepsie and Village of Wappinger, Dutchess County, New York. The lot is designated for tax purposes as Town of Poughkeepsie parcel grid Identification #134689-6158-01-164655 and Village of Wappingers Falls parcel grid identification #134601-6158-09-173629.

The existing 2 story residential home, located at 40 Delavergne Ave, is situated on a 4.16 acre parcel. The parcel is bisected by the Town of Poughkeepsie and Village of Wappinger municipal boundary. The Town of Poughkeepsie portion of the parcel is located in the R20 Zoning District. The applicant wishes to subdivide the Town of Poughkeepsie portion of the parcel into 5 new residential building lots and 1 existing parcel to support the existing dwelling. There will be no change to the lot or acreage for the portion of the parcel located in the Village of Wappinger.

Access and frontage to the new building lots will be created via the construction of a 400' town road from Delavergne Ave with a future connection possibility to the parcel to the north east. Central water will be extended within the confines of the new Town Road ROW. Central sewer will be extended along the eastern side of the parcel through the Village of Wappinger portion of the property to the newly constructed cul-de-sac. The estimated disturbance is 3.75 ac. The project will be provided a SWPPP with NYSDEC construction activity permit coverage as part of plan approval

Please find below our responses (**in bold**) to the Town of Poughkeepsie February / March 2022 comment letters from all departments for the project.

Town Planning Department comments dated March 11, 2022 from K. Taylor.

Preliminary Subdivision Review (Major)

1. *Applicant provided the requested maximum density calculation on Sheet 1. However, there are still six (6) new lots proposed at almost exactly 20,000 square feet, which is the minimum requirement for lot size in this zoning district. Staff encourages the applicant to consider the other required site improvements that may necessitate the creation of parcels that are less acreage than permitted by the Town Zoning Code otherwise the applicant assumes the risk of seeking area variances before the Town's Zoning Board of Appeals.*
The proposed subdivision now includes 5 new lots. The additional area has been distributed among the 6 total lots and now includes a 50' ROW to the adjacent property to the northeast.
2. *Per Town Code §177-11(A): On the basis of the general design of the subdivision and any proposed or required public improvements, the Planning Board will indicate its approval or disapproval of the preliminary plat prior to the time that the final plat, including the design and detailing of the improvements and utilities, is completed. Approval of the preliminary layout does not constitute an approval of the final plat, nor shall it be considered a valid basis for filing of the preliminary plat with the County Clerk, nor the construction of site improvements, or for other commitments which depend upon detailed design characteristics.*
Noted
3. *Per Town Code §177-11(B): If the subdivision is classified as a major subdivision by the Planning Board, a notation to that effect shall be made on the proposed preliminary plat. Applicant acknowledged this code reference in their response to comments, but did not place a note on the plan. Please place said note on the plan/plat.*
The plan set title now includes "Major Subdivision".
4. *Per Town Code §177-11(H): Study of preliminary plat. The Planning Board shall study the proposed preliminary plat, taking into consideration the goals and policies of the Town Plan for the district in which the parcel is located, the needs of the community, the requirements of the Town Zoning Law and this chapter, and the best use of the land being subdivided. Particular attention shall be given to the arrangement, location and width of streets, their relation to the topography of the land, water supply, sewage disposal, vehicular and pedestrian access, preservation of natural resources, relationship to improvements on adjacent and neighboring land, drainage, lot sizes and arrangement, and the future development of adjoining lands as yet unsubdivided, including those lands depicted on the Official Map.*
Noted

5. *The applicant is required to submit an application to the Village of Wappingers Falls' Planning Board.*

The package included with this submission is being submitted to the Village.

6. *Per Town Code §210-16(E)(3): A major subdivision of previously undeveloped property abutting property developed for residential use shall include a one-hundred-foot setback from the adjoining residential property. The setback shall be landscaped to a depth of not less than 25 feet in a location as approved by the Planning Board. The landscaping shall consist of a mixture of evergreen and deciduous plantings as approved by the Planning Board. The Planning Board shall use its discretion to establish appropriate landscaping and setbacks for redevelopment projects involving the conversion or the rehabilitation of existing structures and previously disturbed land areas. Roads, pathways, and sidewalks providing access through the buffer are permitted. The setback area shall be permanently preserved by recorded deed instrument in a form approved by the Town Attorney, and which shall provide for Town enforcement of said restriction.*

a. *The existing lot is technically previously developed as there is an existing residential property and barn on the parcel in question. Therefore, the first sentence does not apply. However, given the proximity to the property to the west, the Planning Board should give due consideration to the latter part of this section of code as it pertains to providing a landscaped buffer. Applicant to discuss this with the Planning Board at the March meeting.*

b. *Applicant to demonstrate required landscape buffer on proposed subdivision plat for review by both Town staff and the Planning Board at a future*

Plantings have been added to the yards along the western property line. The easement will be provided in accordance with the Board's direction.

7. *Per Town Code §105-4(4)(a), a fee applies for the creation of a new local road.*

Noted

8. *Per Town Code §105-4(S)(5), a recreation fee applies in lieu land.*

Noted

9. *Applicant to consider alternate plan for proposed snow storage.*

Snow storage has been revised. The area of potential future access to the adjacent parcel is to be used for snow storage. There are also 2 additional areas of snow storage at the cul-de-sac.

10. *Applicant anticipates dedicating the new road to the Town. Applicant to coordinate with the Town Highway Department and the Town Engineering Department accordingly in order to spec it out to Town standards for acceptance.*

a. *Given the requirements involved with this potential dedication, staff reinforces comments made in comment #1 in this review.*

Noted

11. Applicant to confirm that there will be appropriate sight distance at the ingress and egress of the site. A sight distance easement may be required.

A sight distance / grading easement is proposed.

12. Applicant to confirm whether or not any of the following are proposed and provide plan sheets and details accordingly:

- a. Lighting
- b. Landscaping
- c. Fencing

Lighting and landscaping have been provided. No additional fencing is proposed at this time. We defer to the Board for direction on the necessity of additional fencing.

03/09/2022
Kristina Granieri
No Comment.

Review For Meeting - Sewer Department

03/09/2022
Franco Zani
Hooking into Tri- Muni Sewer via Village Sewer.
Awaiting Village of Wappingers.

Application / request for a will-serve was made in December 2021 and was included in the January 2022 submission to the Planning Board. This office is awaiting a response.

03/07/2022
Andrew Learn

1. Response to prior Comment No. 1 is noted, once the preliminary layout is finalized, please provide a SWPPP for review. As previously stated, as indicated in the Project Narrative the proposed area of disturbance is approximately 2.6 acres. Residential subdivisions that disturb over 1 acre but less than 5 acres, require coverage under the NYSDEC SPDES General Permit for Construction Activities and a Stormwater Pollution Prevention Plan that only includes construction phase erosion controls.

This office is in the process of scheduling soil tests with the hopes of utilizing infiltration.

2. Response to prior Comment No. 2 is noted, please provide a drainage analysis with the SWPPP. As previously stated, although not required for SPDES Permit coverage, based on the amount of impervious surface proposed, a drainage analysis of the project must be provided for review. The drainage analysis should evaluate the existing and proposed peak flow rates from the project site during the 1, 10, 25 and 100-year 24-hour storm events.

Mitigation for increases in peak flow rates resulting from development must be provided in the form of stormwater management practices.

See above.

2. *As previously stated, Dutchess County Department of Behavioral and Community Health should be contacted for review of the proposed water and sanitary sewer.*

Noted. Plans will be submitted when the will-serve letter is received.

3. *The Village of Wappingers Falls should be contacted to review the proposed sanitary sewer connection and the proposed grading along Delavergne Avenue. Please provide documentation of review and approval of this work.*

Noted

4. *Based on the response to prior Comment No. 7, please provide rock removal notes as it relates to all site construction (i.e., sight distance clearing, utility construction and house foundation construction). The notes should indicate that blasting is not permitted without prior approval from the Town of Poughkeepsie. 6. Response to prior Comment No. 9 is noted. As previously stated, the bulk table indicates that Lots 2 through 7 are just over the minimum allowable lot area, these areas must be confirmed with legal descriptions to ensure that Town Zoning requirements are maintained.*

A note has been added to the title sheet.

7. *As previously stated, provide legal descriptions for all proposed Sight distance and Utility/Snow Easements as well as all right-of-way parcels to be dedicate to the Town for review by the Town Attorney and Engineer.*

This is forthcoming.

8. *As previously stated, the plans should show the following additional items:*

- a. *Proposed street name; **Pending***
- b. *A cross-section of the proposed street showing proposed grades, the width of roadway and size of utility lines; and **Included***
- c. *Utilities Profile. **Included***

9. *The Plan Set should be revised to provide a rounded Town right-of-way with a radius of 25 feet for the Lot 1 and 7 intersection corners.*

Plans now show this.

10. *Response to prior comment No. 17 is noted. The road ROW should be shown to extend to the property line as necessary to allow future extension north into the large parcel now or formerly owned by Barbara Marcojohn.*

The ROW has been extended.

11. *Response to prior Comment No. 20 is noted. As previously stated, Electric and Gas (if applicable) utilities should be identified on the plans.*

Existing overhead utilities are noted and a proposed utility trench has been added to the plan.

12. *Response to prior Comment No. 21 is noted. As previously stated, street trees are to be planted by the applicant, provide planting plans showing the types and spacing of trees.*

A landscaping plan has been included in the plan set.

13. *Response to prior Comment No. 22 is noted. As previously stated, street lighting must be provided. A lighting plan should be provided to indicate proposed light pole locations and photometric levels along the proposed right-of-way.*

A lighting plan is included.

14. *Response to prior Comment No. 23 is noted. As previously stated, details for light pole bases and fixtures must be included in the plan set. All fixtures must be dark skies compliant and designed to prevent glare into adjoining structures.*

Included

Erosion and Sediment Control:

15. *Provide silt fencing or other erosion protection on all lots down slope of proposed houses.*

16. *As previously stated, Rolled Erosion Control Fabric will be required for all slopes that are steeper than 3(H):1(V). The proposed grading on Lot 1 to provide sight distance appears to require erosion control fabric.*

17. *Please revise the Construction Sequencing notes on Drawing 11 to remove note 7 and indicate acreage for Phase I and II.*

Comments noted. There are preliminary EC measures shown on the plan. These will be completed when the SWPPP is completed. The note will also be revised at that time.

Grading and Drainage:

18. *Response to prior Comment No. 26 is noted. As previously stated, a hydraulic design report prepared by a professional engineer must be submitted for review by the Town Highway Superintendent and Engineer. Please refer to §177-35 for specific parameters of this report.*

19. *Response to prior Comment No. 28 is noted. As previously stated, it is unclear where the proposed drainage piping is discharging. Please revise for clarity. Additionally, please note that if this stormwater discharges to the Village of Wappingers Falls, an intermunicipal agreement may be required.*

20. *The current plans indicate catch basin locations without interconnecting pipes. The plans should be revised to provide this information in order to understand how runoff will be conveyed. As previously stated, the proposed drainage system should remain inside the Town right-of-way except for any required detention practices.*

Comments noted. The drainage will be completed with the SWPPP. What is currently shown is preliminary.

Water:

21. *The Town Water Superintendent has indicated that the fire hydrant and water main shown as the connection point for the new subdivision is owned by the Village of Wappingers Falls and not the Town of Poughkeepsie. The Town water main ends at the fire hydrant to the west of the project parcel near the driveway to 55 Delavergne Ave. The following additional comments apply:*

- a. *The Town water main will need to be extended from this point to the new proposed Town Road;*
- b. *Further detailed survey information is required for both the Town and Village water mains;*
- c. *The Town Water Superintendent has indicated that there is an existing water service that was provided to the project parcel but never connected, removal of this service will need to be identified on the plans;*
- d. *The Village owned fire hydrant may need to be relocated to the east of the proposed Town Road to provide space for the extended Town water main; and*
- e. *Please coordinate all modifications to the Village water main and fire hydrant with the Village of Wappingers Falls and provide all correspondence to the Town.*

Comments noted. A request for additional survey information has been made. The proposed main is shown extending from the Town's.

22. *As previously stated, the proposed water service for lot 1 does not appear to have the required 10 feet of horizontal separation from the proposed sanitary sewer service for lot 7.*

The required separation has been provided.

Sewer:

23. *Approval of the Will-Serve Application from Tri-Municipal Sewer Commission to serve the proposed development at 3,080 gpd is required, please provide when available.*

Noted

24. *The following comments apply to the proposed sanitary sewer:*

- a. *Clarification is needed on the proposed dedication of the sewer main, is the request for the Town of Poughkeepsie or the Village of Wappingers Falls?*
- b. *An intermunicipal agreement may be required as currently proposed.*

The Village of Wappingers Falls must approve the proposed connection to their sanitary sewer system;

- c. *The layout shown would require an easement where the sewer main leaves the right-of-way (proposed or existing), consideration should be given to shifting the main into Delavergne Ave to remain entirely in the right-of-way; and*
- d. *It is understood that the proposed sewer connection point on Delavergne Ave is a flush tank and not a regular manhole. Connection at this structure would require modifications that must be approved by the Village.*

Comments noted. The proposed main is located within the grading / utility easement (proposed). Additional invert information (sewer) and the proposed drainage system will impact the proposed sewer location.

25. *As previously stated, please provide identification numbers, rim, and invert elevations for all proposed SMHs. Additionally, it appears based on the length of pipe run labels that a SMH may be missing.*

This information is included on the utility plan.

26. *There is an existing Town owned sewer force main along Delavergne Ave that should be identified as it may affect the design of the proposed utilities.*

Locating this is included in the additional survey information request.

03/07/2022

Patrick Gallagher

The following are our comments for the above project.

1. *The design of the road and Cul-De-Sac have to meet the requirements of the New York State Fire Code Section 503 and Appendix D for Fire Department Access.*

Noted

2. *Fire Protection Water Supply NYSFC Section 507. Water Main size needs to be shown. The locations of the new and relocated fire hydrants are fine. Water supply test is required on these fire hydrants and a report submitted to the Fire Dept.*

Noted. Information will be supplied when it is available.

03/03/2022

Marc Pfeifer

The Highway Department does not have any additional comments about the Town taking the proposed roadway so long as the proposed roadway is built to Town spec. Applicant to continue to work with the Town Highway Department and the Town Engineering Department. Applicant should also work with the Fire Department and the Water and Sewer Departments.

Noted.

03/01/2022

Tom Colgan

*on the water details page 8, modify water and sewer separation note #4 by eliminating any suggestion of concrete or k-kreat for any encasement of pipe. **Removed** service line note one should state that corporation taps will be installed at the 12 o'clock position, **Revised** and note #14 should state that service lines 100' or longer, require the use of 1" copper tubing. **Revised** The utility plan should show the extension of the Delavergine avenue water main .the town's water main ends at the fire hydrant. In front of the Deleno property. The antique hydrant in front of your proposed subdivision is of unknown origin. **The main is being extended from the Town. The hydrant is to be replaced and relocated. The main is labeled as an 8" diameter.***

Delavergne Avenue Subdivision
Grid # 6158-01-164655 T/Pough
Grid # 6158-09-173629 V/Wapp

Page 9 of 9

We respectfully request to be placed on the June Planning Board agenda for discussion and scheduling a public hearing, if required. If you have any questions or require any additional information, please contact this office.

Please find 7 hard copies of the full size plan set, revised 4/20/22 included herein.

Sincerely,

A handwritten signature in black ink, appearing to read 'Amy Bombardieri', written over a horizontal line.

Amy Bombardieri
Cc: file

April 22, 2022
Town of Poughkeepsie Planning Board
Mr. Carl Whitehead, Planning Board Chairman
1 Overocker Road
Poughkeepsie, NY 12603

Re: Delavergne Avenue Subdivision
Grid # 6158-01-164655 Town of Poughkeepsie
Grid # 6158-09-173629 Village of Wappinger

Dear Chairman Whitehead:

Please find below our responses (**in bold**) to the Town of Poughkeepsie February / March 2022 comment letters from all departments for the above referenced project.

Town Planning Department comments dated March 11, 2022 from K. Taylor.

Preliminary Subdivision Review (Major)

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Noted

5. *The applicant is required to submit an application to the Village of Wappingers Falls' Planning Board.*

The package included with this submission is being submitted to the Village.

6. *Per Town Code §210-16(E)(3): A major subdivision of previously undeveloped property abutting property developed for residential use shall include a one-hundred-foot setback from the adjoining residential property. The setback shall be landscaped to a depth of not less than 25 feet in a location as approved by the Planning Board. The landscaping shall consist of a mixture of evergreen and deciduous plantings as approved by the Planning Board. The Planning Board shall use its discretion to establish appropriate landscaping and setbacks for redevelopment projects involving the conversion or the rehabilitation of existing structures and previously disturbed land areas. Roads, pathways, and sidewalks providing access through the buffer are permitted. The setback area shall be permanently preserved by recorded deed instrument in a form approved by the Town Attorney, and which shall provide for Town enforcement of said restriction.*

- a. *The existing lot is technically previously developed as there is an existing residential property and barn on the parcel in question. Therefore, the first sentence does not apply. However, given the proximity to the property to the west, the Planning Board should give due consideration to the latter part of this section of code as it pertains to providing a landscaped buffer. Applicant to discuss this with the Planning Board at the March meeting.*
- b. *Applicant to demonstrate required landscape buffer on proposed subdivision plat for review by both Town staff and the Planning Board at a future*

Plantings have been added to the yards along the western property line. The easement will be provided in accordance with the Board's direction.

7. *Per Town Code §105-4(4)(a), a fee applies for the creation of a new local road.*

Noted

8. *Per Town Code §105-4(S)(5), a recreation fee applies in lieu land.*

Noted

9. *Applicant to consider alternate plan for proposed snow storage.*

Snow storage has been revised. The area of potential future access to the adjacent parcel is to be used for snow storage. There are also 2 additional areas of snow storage at the cul-de-sac.

10. *Applicant anticipates dedicating the new road to the Town. Applicant to coordinate with the Town Highway Department and the Town Engineering Department accordingly in order to spec it out to Town standards for acceptance.*

- a. *Given the requirements involved with this potential dedication, staff reinforces comments made in comment #1 in this review.*

Noted

11. *Applicant to confirm that there will be appropriate sight distance at the ingress and egress of the site. A sight distance easement may be required.*

A sight distance / grading easement is proposed.

12. *Applicant to confirm whether or not any of the following are proposed and provide plan sheets and details accordingly:*

- a. *Lighting*
b. *Landscaping*
c. *Fencing*

Lighting and landscaping have been provided. No additional fencing is proposed at this time. We defer to the Board for direction on the necessity of additional fencing.

03/09/2022
Kristina Granieri
No Comment.

Review For Meeting - Sewer Department

03/09/2022
Franco Zani
Hooking into Tri- Muni Sewer via Village Sewer.

Awaiting Village of Wappingers.

Application / request for a will-serve was made in December 2021 and was included in the January 2022 submission to the Planning Board. This office is awaiting a response.

03/07/2022

Andrew Learn

1. *Response to prior Comment No. 1 is noted, once the preliminary layout is finalized, please provide a SWPPP for review. As previously stated, as indicated in the Project Narrative the proposed area of disturbance is approximately 2.6 acres. Residential subdivisions that disturb over 1 acre but less than 5 acres, require coverage under the NYSDEC SPDES General Permit for Construction Activities and a Stormwater Pollution Prevention Plan that only includes construction phase erosion controls.*

This office is in the process of scheduling soil tests with the hopes of utilizing infiltration.

2. *Response to prior Comment No. 2 is noted, please provide a drainage analysis with the SWPPP. As previously stated, although not required for SPDES Permit coverage, based on the amount of impervious surface proposed, a drainage analysis of the project must be provided for review. The drainage analysis should evaluate the existing and proposed peak flow rates from the project site during the 1, 10, 25 and 100-year 24-hour storm events. Mitigation for increases in peak flow rates resulting from development must be provided in the form of stormwater management practices.*

See above.

2. *As previously stated, Dutchess County Department of Behavioral and Community Health should be contacted for review of the proposed water and sanitary sewer.*

Noted. Plans will be submitted when the will-serve letter is received.

3. *The Village of Wappingers Falls should be contacted to review the proposed sanitary sewer connection and the proposed grading along Delavergne Avenue. Please provide documentation of review and approval of this work.*

Noted

4. *Based on the response to prior Comment No. 7, please provide rock removal notes as it relates to all site construction (i.e., sight distance clearing, utility construction and house foundation construction). The notes should indicate that blasting is not permitted without prior approval from the Town of Poughkeepsie. 6. Response to prior Comment No. 9 is noted. As previously stated, the bulk table indicates that Lots 2 through 7 are just over the minimum allowable lot area, these areas must be confirmed with legal descriptions to ensure that Town Zoning requirements are maintained.*

A note has been added to the title sheet.

7. *As previously stated, provide legal descriptions for all proposed Sight distance and Utility/Snow Easements as well as all right-of-way parcels to be dedicate to the Town for review by the Town Attorney and Engineer.*

This is forthcoming.

8. *As previously stated, the plans should show the following additional items:*

- a. *Proposed street name; **Pending***
- b. *A cross-section of the proposed street showing proposed grades, the width of roadway and size of utility lines; and **Included***
- c. *Utilities Profile. **Included***

9. *The Plan Set should be revised to provide a rounded Town right-of-way with a radius of 25 feet for the Lot 1 and 7 intersection corners.*

Plans now show this.

10. *Response to prior comment No. 17 is noted. The road ROW should be shown to extend to the property line as necessary to allow future extension north into the large parcel now or formerly owned by Barbara Marcojohn.*

The ROW has been extended.

11. *Response to prior Comment No. 20 is noted. As previously stated, Electric and Gas (if applicable) utilities should be identified on the plans.*

Existing overhead utilities are noted and a proposed utility trench has been added to the plan.

12. *Response to prior Comment No. 21 is noted. As previously stated, street trees are to be planted by the applicant, provide planting plans showing the types and spacing of trees.*

A landscaping plan has been included in the plan set.

13. *Response to prior Comment No. 22 is noted. As previously stated, street lighting must be provided. A lighting plan should be provided to indicate proposed light pole locations and photometric levels along the proposed right-of-way.*

A lighting plan is included.

14. *Response to prior Comment No. 23 is noted. As previously stated, details for light pole bases and fixtures must be included in the plan set. All fixtures must be dark skies compliant and designed to prevent glare into adjoining structures.*

Included

Erosion and Sediment Control:

15. *Provide silt fencing or other erosion protection on all lots down slope of proposed houses.*
16. *As previously stated, Rolled Erosion Control Fabric will be required for all slopes that are steeper than 3(H):1(V). The proposed grading on Lot 1 to provide sight distance appears to require erosion control fabric.*
17. *Please revise the Construction Sequencing notes on Drawing 11 to remove note 7 and indicate acreage for Phase I and II.*

Comments noted. There are preliminary EC measures shown on the plan. These will be completed when the SWPPP is completed. The note will also be revised at that time.

Grading and Drainage:

18. *Response to prior Comment No. 26 is noted. As previously stated, a hydraulic design report prepared by a professional engineer must be submitted for review by the Town Highway Superintendent and Engineer. Please refer to §177-35 for specific parameters of this report.*
19. *Response to prior Comment No. 28 is noted. As previously stated, it is unclear where the proposed drainage piping is discharging. Please revise for clarity. Additionally, please note that if this stormwater discharges to the Village of Wappingers Falls, an intermunicipal agreement may be required.*
20. *The current plans indicate catch basin locations without interconnecting pipes. The plans should be revised to provide this information in order to understand how runoff will be conveyed. As previously stated, the proposed drainage system should remain inside the Town right-of-way except for any required detention practices.*

Comments noted. The drainage will be completed with the SWPPP. What is currently shown is preliminary.

Water:

21. *The Town Water Superintendent has indicated that the fire hydrant and water main shown as the connection point for the new subdivision is owned by the Village of Wappingers Falls and not the Town of Poughkeepsie. The Town water main ends at the fire hydrant to the west of the project parcel near the driveway to 55 Delavergne Ave. The following additional comments apply:*
 - a. *The Town water main will need to be extended from this point to the new proposed Town Road;*
 - b. *Further detailed survey information is required for both the Town and Village water mains;*
 - c. *The Town Water Superintendent has indicated that there is an existing water service that was provided to the project parcel but never connected, removal of this service will need to be identified on the plans;*
 - d. *The Village owned fire hydrant may need to be relocated to the east of the proposed Town Road to provide space for the extended Town water main; and*
 - e. *Please coordinate all modifications to the Village water main and fire hydrant with the Village of Wappingers Falls and provide all correspondence to the Town.*

Comments noted. A request for additional survey information has been made. The proposed main is shown extending from the Town's.

22. *As previously stated, the proposed water service for lot 1 does not appear to have the required 10 feet of horizontal separation from the proposed sanitary sewer service for lot 7.*

The required separation has been provided.

Sewer:

23. *Approval of the Will-Serve Application from Tri-Municipal Sewer Commission to serve the proposed development at 3,080 gpd is required, please provide when available.*

Noted

24. *The following comments apply to the proposed sanitary sewer:*

a. *Clarification is needed on the proposed dedication of the sewer main, is the request for the Town of Poughkeepsie or the Village of Wappingers Falls?*

b. *An intermunicipal agreement may be required as currently proposed.*

The Village of Wappingers Falls must approve the proposed connection to their sanitary sewer system;

c. *The layout shown would require an easement where the sewer main leaves the right-of-way (proposed or existing), consideration should be given to shifting the main into Delavergne Ave to remain entirely in the right-of-way; and*

d. *It is understood that the proposed sewer connection point on Delavergne Ave is a flush tank and not a regular manhole. Connection at this structure would require modifications that must be approved by the Village.*

Comments noted. The proposed main is located within the grading / utility easement (proposed). Additional invert information (sewer) and the proposed drainage system will impact the proposed sewer location.

25. *As previously stated, please provide identification numbers, rim, and invert elevations for all proposed SMHs. Additionally, it appears based on the length of pipe run labels that a SMH may be missing.*

This information is included on the utility plan.

26. *There is an existing Town owned sewer force main along Delavergne Ave that should be identified as it may affect the design of the proposed utilities.*

Locating this is included in the additional survey information request.

03/07/2022

Patrick Gallagher

The following are our comments for the above project.

1. *The design of the road and Cul-De-Sac have to meet the requirements of the New York State Fire Code Section 503 and Appendix D for Fire Department Access.*

Noted

2. *Fire Protection Water Supply NYSFC Section 507. Water Main size needs to be shown. The locations of the new and relocated fire hydrants are fine. Water supply test is required on these fire hydrants and a report submitted to the Fire Dept.*

Noted. Information will be supplied when it is available.

03/03/2022
Marc Pfeifer

The Highway Department does not have any additional comments about the Town taking the proposed roadway so long as the proposed roadway is built to Town spec. Applicant to continue to work with the Town Highway Department and the Town Engineering Department. Applicant should also work with the Fire Department and the Water and Sewer Departments.
Noted.

03/01/2022
Tom Colgan

*on the water details page 8, modify water and sewer separation note #4 by eliminating any suggestion of concrete or k-kreat for any encasement of pipe. **Removed** service line note one should state that corporation taps will be installed at the 12 o'clock position, **Revised** and note #14 should state that service lines 100' or longer, require the use of 1" copper tubing. **Revised** The utility plan should show the extension of the Delavergine avenue water main .the town's water main ends at the fire hydrant. In front of the Deleno property. The antique hydrant in front of your proposed subdivision is of unknown origin. **The main is being extended from the Town. The hydrant is to be replaced and relocated. The main is labeled as an 8" diameter.***

We respectfully request to be placed on the May Planning Board agenda for discussion and scheduling a public hearing. If you have any questions or require any additional information, please contact this office.

Please find 8 hard copies of the full size plan set, revised 4/20/22, and 18 copies of 11x18 sized plans.

Sincerely,



Amy Bombardieri
Cc: file

Sewer Will Serve Application

Tri-Municipal Sewer Commission

Applicant Info

Name: _____

Phone: _____ Email: _____

Mailing Address: _____

Project Tax Parcel ID: _____ Project Type: Residential/Commercial
134601-6158-09-173629

Project Engineer

Name: _____ - Amy Bombardieri

Phone: _____ Email: _____

Mailing Address: _____

Required Documents:

1. Project Parcel Location Map
2. Confirmation from municipality that Parcel is in Sewer District or not.
3. Flow confirmation Calculations, reviewed and accepted by the Municipality's Engineer and the Dutchess County Department of Health.
4. Review of downstream sewer capacity, reviewed and accepted by the Municipality's Engineer to affirm that the existing downstream sewer collection system has adequate capacity to accept the proposed wastewater demand.
5. Proposed Plan for (the Municipality and Applicant) addressing inflow & infiltration for the proposed project.
6. Inflow & Infiltration Reduction Calculation for existing pipe lining or replacement:

$$Pipe_{LF} = Max \left(\frac{\text{proposed sewer flow gpd} \times 4_{\text{peaking factor}} \times 2_{\text{I\&I reduction factor}}}{\text{Estimated I\&I gpd/lf}}, 250 \right)$$

Municipality	Estimated I&I	Multiplier	Min. Pipe
Town of Wappinger	15 GPD/LF	2	250'
Village of Wappingers Falls	4 gpd per LF	2	250'
Town of Poughkeepsie	13 gpd per LF	2	250'

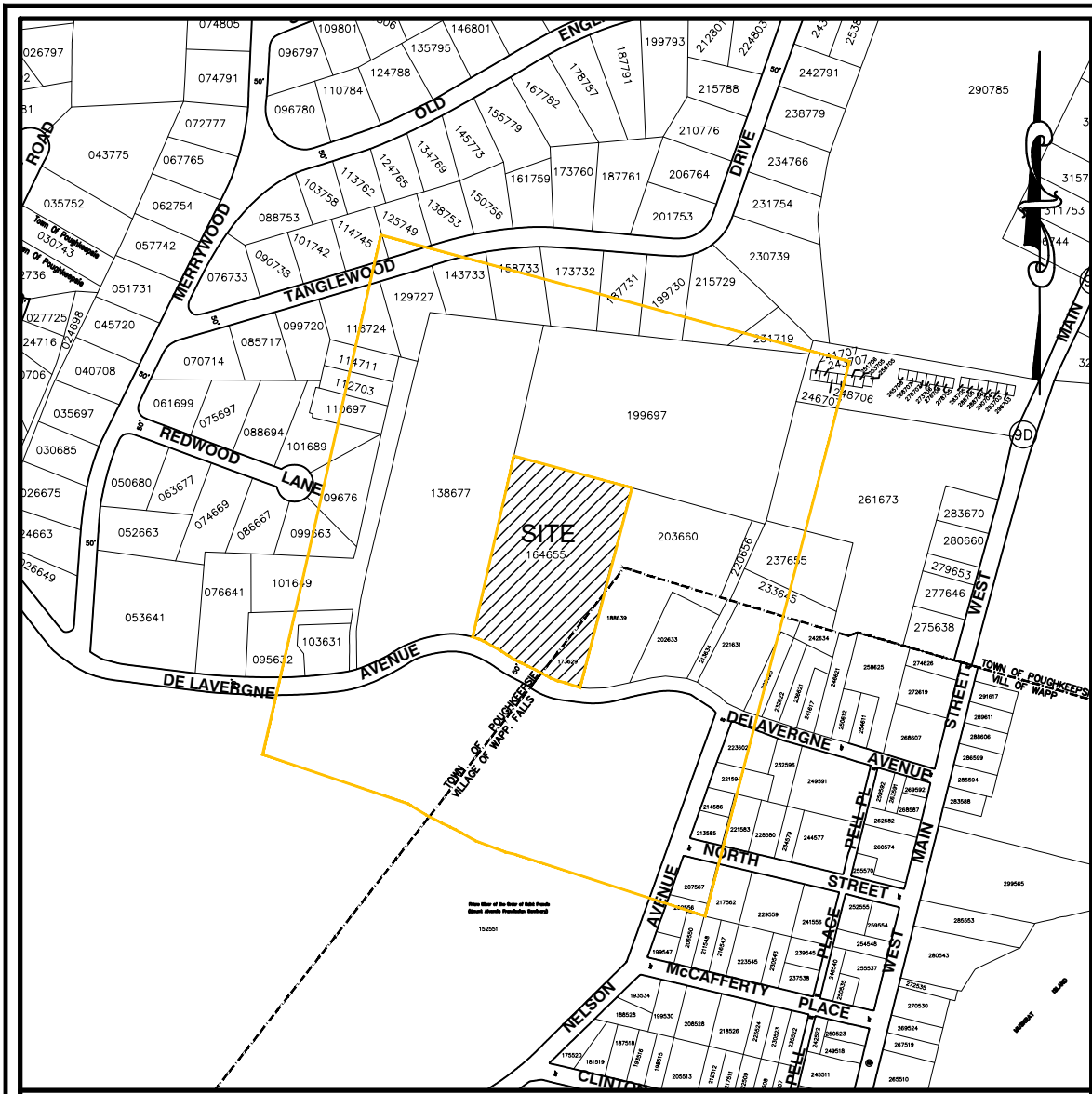
Completed application to be submitted to the Municipality's Engineer who will send it to the Tri-Municipal Sewer Commission.

*Applications shall be received seven (7) days in advance of a Commission Meeting.

$$Pipe = (2640 \text{ gpd} \times 4 \times 2) / 13 \text{ gpd/lf} = 1,625 \text{ lf}$$

Delavergne Ave Subdivision

(Major Subdivision) Town of Poughkeepsie, New York



LOCATION MAP SCALE: 1" = 500'

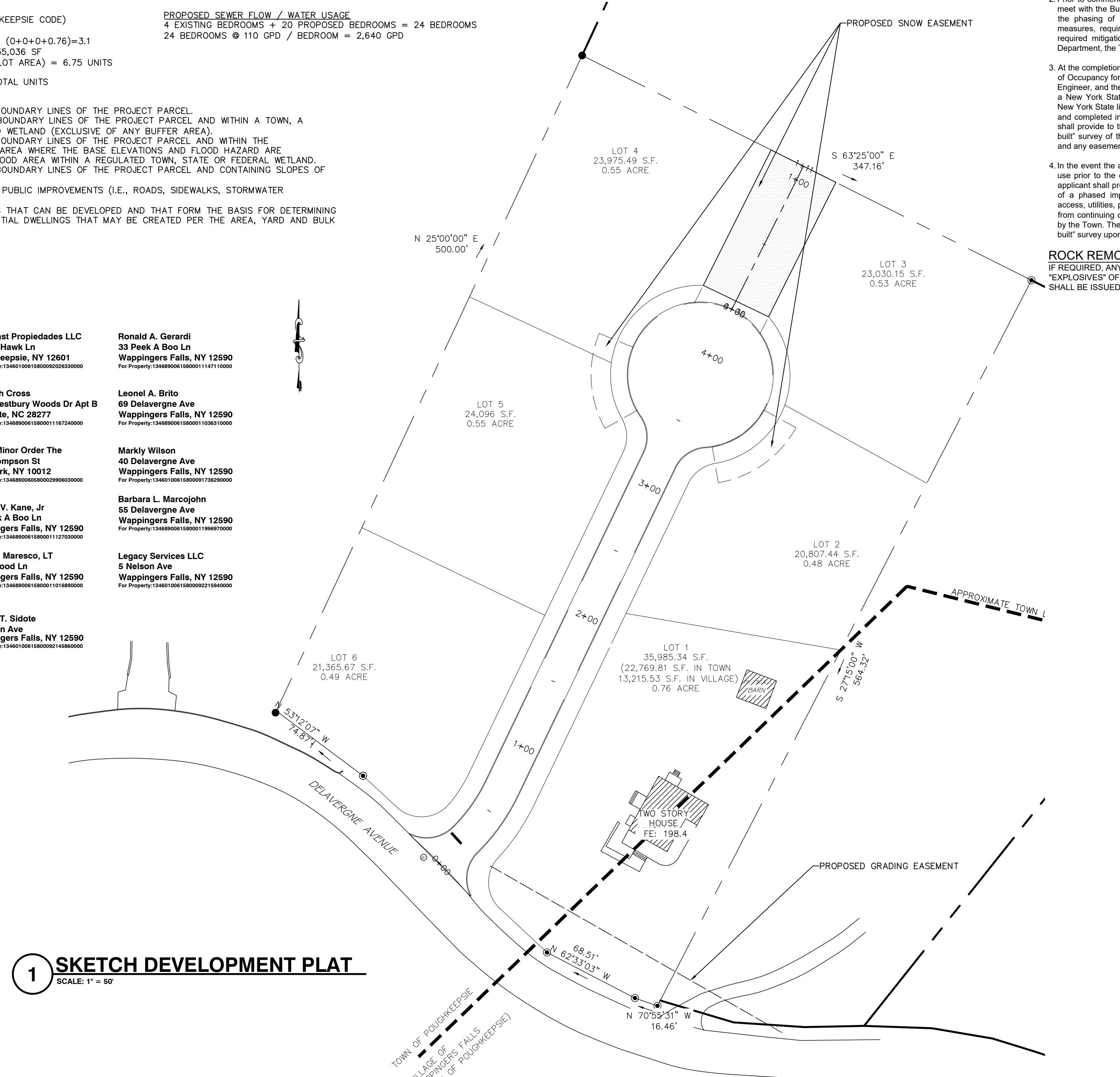
500' ADJOINERS

- | | | | | | |
|--|--|--|--|---|---|
| Walter A. Masch
20 North St
Wappingers Falls, NY 12590
For Property: 13468006188000133650000 | Frances T. Mierzwa, Trustee
PO Box 362
Wappingers Falls, NY 12590
For Property: 13468006188000130360000 | Harbans S. Sachdev
23 Fairview Dr
Hopewell Junction, NY 12533
For Property: 13468006188000118723000 | Frances T. Mierzwa, Trustee
PO Box 362
Wappingers Falls, NY 12590
For Property: 13468006188000130360000 | Northeast Propiedades LLC
30 Red Hawk Ln
Poughkeepsie, NY 12601
For Property: 13468006188000020430000 | Ronald A. Gerardi
33 Peek A Boo Ln
Wappingers Falls, NY 12590
For Property: 13468006188000114710000 |
| Richard T. Gossett
12 Tanglewood Dr
Wappingers Falls, NY 12590
For Property: 134680061880001137230000 | Robert C. Velez
11 Peekaboo Ln
Wappingers Falls, NY 12590
For Property: 134680061880001187230000 | Gary R. Picher
10 Tanglewood Dr
Wappingers Falls, NY 12590
For Property: 134680061880001137230000 | Friars Minor Order of St Francis
125 Thompson St
New York, NY 10012
For Property: 134680061880001187230000 | Deborah Cross
9341 Westbury Woods Dr Apt B
Charlotte, NC 28277
For Property: 134680061880001187230000 | Leonel A. Brito
69 Delavergne Ave
Wappingers Falls, NY 12590
For Property: 13468006188000113080000 |
| John V. Tremblay
3733 Sunnyside St
Shrub Oak, NY 10588
For Property: 134680061880001216730000 | Ananthanarayanan Sugavanam
18 Tanglewood Dr
Wappingers Falls, NY 12590
For Property: 134680061880001187230000 | Angel Barros
19 Delavergne Ave
Wappingers Falls, NY 12590
For Property: 134680061880001137230000 | Donald J. Cerniglia
16 Tanglewood Dr
Wappingers Falls, NY 12590
For Property: 134680061880001173720000 | Friars Minor Order The
125 Thompson St
New York, NY 10012
For Property: 134680061880000209000000 | Markly Wilson
40 Delavergne Ave
Wappingers Falls, NY 12590
For Property: 1346800618800011996070000 |
| Greystone Programs Inc
700 South Dr Ste 203
Hopewell Junction, NY 12533
For Property: 134680061880001230640000 | William R. Migatz
22 Tanglewood Dr
Wappingers Falls, NY 12590
For Property: 134680061880001216720000 | Greystone Programs Inc
700 South Dr Ste 203
Hopewell Junction, NY 12533
For Property: 134680061880001231190000 | Town Of Poughkeepsie
1 Overocker Rd
Poughkeepsie, NY 12603
For Property: 134680061880001231190000 | Donald V. Kane, Jr
31 Peek A Boo Ln
Wappingers Falls, NY 12590
For Property: 134680061880001127030000 | Barbara L. Marcojohn
55 Delavergne Ave
Wappingers Falls, NY 12590
For Property: 1346800618800011996070000 |
| Wayne E. McAlpin
73 Delavergne Ave
Wappingers Falls, NY 12590
For Property: 134680061880001096520000 | Robert Polidore, Jr
20 Tanglewood Dr
Wappingers Falls, NY 12590
For Property: 134680061880001199730000 | Antoinette Montanino, Trustee
9 Redwood Ln
Wappingers Falls, NY 12590
For Property: 1346800618800011096760000 | Albert A. Uhl, Jr
10 Redwood Ln
Wappingers Falls, NY 12590
For Property: 1346800618800011096760000 | Karlene Maresco, LT
7 Redwood Ln
Wappingers Falls, NY 12590
For Property: 1346800618800011096760000 | Legacy Services LLC
5 Nelson Ave
Wappingers Falls, NY 12590
For Property: 13468006188000128000000 |
| Joseph A. Deleno
55 Delavergne Ave
Wappingers Falls, NY 12590
For Property: 134680061880001138670000 | William T. Marcojohn, Jr
12 Beatty Rd
Wappingers Falls, NY 12590
For Property: 134680061880001220560000 | John V. Tremblay
3733 Sunnyside St
Shrub Oak, NY 10588
For Property: 134680061880001237650000 | Markly Wilson
40 Delavergne Ave
Wappingers Falls, NY 12590
For Property: 134680061880001184850000 | Patrick T. Sidote
9 Nelson Ave
Wappingers Falls, NY 12590
For Property: 13468006188000148960000 | |
| William T. Marcojohn, Jr
12 Beatty Rd
Wappingers Falls, NY 12590
For Property: 13468006188000123040000 | Greystone Programs Inc
700 South Dr Ste 203
Hopewell Junction, NY 12533
For Property: 134680061880001220560000 | George C. Sax, Trustee
27 Peek A Boo Ln
Wappingers Falls, NY 12590
For Property: 134680061880001199730000 | | | |

DENSITY CALCULATION
(SECTION 177-15 TOWN OF POUGHKEEPSIE CODE)
T = (W+F+S+I) = BY
3.86 (AREA IN THE TOWN ONLY) - (0+0+0+0.76)=3.1
N = 3.1 AC * 43,560 SF/AC = 135,036 SF
N = 135,036 / 20,000 (MINIMUM LOT AREA) = 6.75 UNITS

PROPOSED SEWER FLOW / WATER USAGE
4 EXISTING BEDROOMS + 20 PROPOSED BEDROOMS = 24 BEDROOMS
24 BEDROOMS @ 110 GPD / BEDROOM = 2,640 GPD

WHERE:
T = TOTAL ACREAGE INSIDE THE BOUNDARY LINES OF THE PROJECT PARCEL.
W = TOTAL ACREAGE INSIDE THE BOUNDARY LINES OF THE PROJECT PARCEL AND WITHIN A TOWN, A NYSDEC, OR A USACE REGULATED WETLAND (EXCLUSIVE OF ANY BUFFER AREA).
F = TOTAL ACREAGE INSIDE THE BOUNDARY LINES OF THE PROJECT PARCEL AND WITHIN THE ONE-HUNDRED-YEAR FLOODPLAIN AREA WHERE THE BASE ELEVATIONS AND FLOOD HAZARD ARE DETERMINED EXCLUSIVE OF ANY FLOOD AREA WITHIN A REGULATED TOWN, STATE OR FEDERAL WETLAND.
S = TOTAL ACREAGE INSIDE THE BOUNDARY LINES OF THE PROJECT PARCEL AND CONTAINING SLOPES OF 25% OR GREATER.
I = TOTAL ACREAGE OF REQUIRED PUBLIC IMPROVEMENTS (I.E., ROADS, SIDEWALKS, STORMWATER MANAGEMENT FACILITIES).
BY = MAXIMUM NUMBER OF ACRES THAT CAN BE DEVELOPED AND THAT FORM THE BASIS FOR DETERMINING THE MAXIMUM NUMBER OF RESIDENTIAL DWELLINGS THAT MAY BE CREATED PER THE AREA, YARD AND BULK CHART.



1 SKETCH DEVELOPMENT PLAT SCALE: 1" = 50'

TOWN OF POUGHKEEPSIE DEPARTMENTAL SIGNATURE (REQUIRED BEFORE CHAIRMAN'S SIGNATURE)

Planning Department	Date
Building Department	Date
Fire Department	Date
Water Department	Date
Sewer Department	Date
Zoning Administrator	Date
Engineering Department	Date

Owner

MARKLY WILSON & GONUL WILSON
40 DELAVERGNE AVE.
WAPPINGERS FALLS, NY 12590

Owner's Consent Note

THE UNDERSIGNED OWNER OF THIS PROPERTY HEREON STATES THAT HE IS FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON

OWNER _____ DATE _____

TOWN OF POUGHKEEPSIE PLANNING BOARD SITE PLAN APPROVAL

THE PLAN OF DEVELOPMENT FOR THE PROPERTY AS DEPICTED HEREON WAS APPROVED BY A MAJORITY OF THE MEMBERS OF THE TOWN OF POUGHKEEPSIE PLANNING BOARD AT A MEETING HELD ON _____ AND THE CONDITIONS OF SITE PLAN APPROVAL HAVE BEEN SATISFIED OR ARRANGEMENTS HAVE BEEN MADE TO ENSURE THE COMPLETION OF ANY OUTSTANDING OR INCOMPLETE CONDITIONS.

Chairperson _____
Date _____

Applicant

DELAVERGNE AVENUE, INC.
60 WEST 2ND STREET
FREEPORT, NY 11520

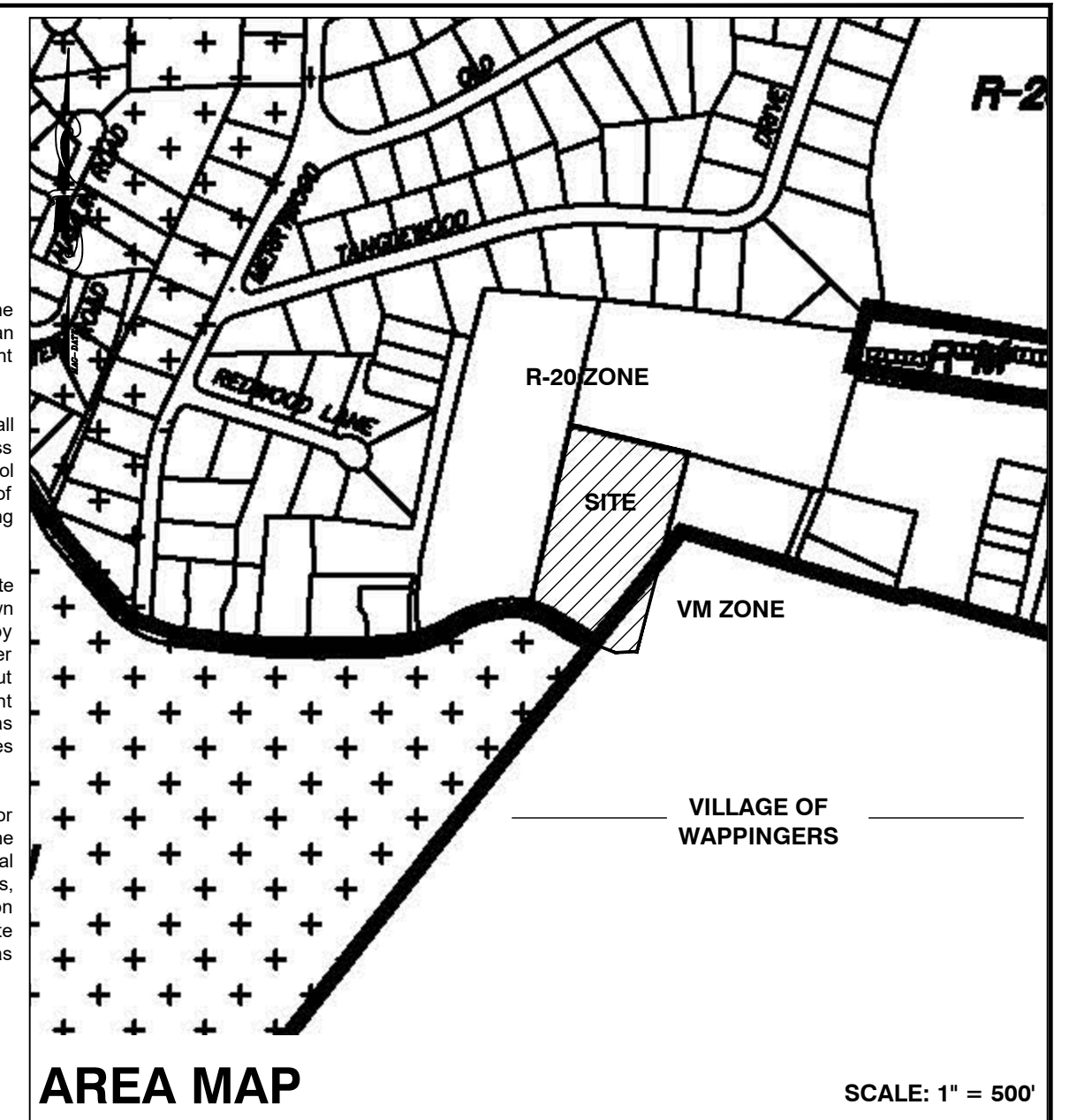
JOHN H. DECKER IS #049572

SURVEY PREPARED BY JOHN H. DECKER, L.S. ON MAY 1, 2020. VERTICAL DATUM IS APPROXIMATE U.S.G.S. TAKEN FROM THE DUTCHESS COUNTY WEBSITE

Town of Poughkeepsie Planning Board Planning Department Notes

- It is the responsibility of the owner/applciant to submit to the Planning Board proof that the conditions of approval have been completed, and the signature of the Planning Board Chairman shall be withheld pending receipt of a written memorandum from the Planning Department verifying that the conditions of approval have been completed.
- Prior to commencement of any site work the applicant's contractor and consulting engineer shall meet with the Building Department, the Town Engineer, and the Planning Department to discuss the phasing of the site work and the construction work, the placement of erosion control measures, requirements for certification from the applicant's professionals, implementation of required mitigation, approval of field changes, and periodic field inspections by the Building Department, the Town Engineer, and the Planning Department.
- At the completion of construction, and prior to issuance of a temporary or a permanent Certificate of Occupancy for any structure, the applicant shall provide to the Planning Department, the Town Engineer, and the Building Inspector a certification in the form required by the Town, prepared by a New York State Licensed Professional Engineer, a NYS Licensed Land Surveyor and other New York State licensed professionals as the case may be, that all site work has been carried out and completed in compliance with the approved plans for the project. Additionally, the applicant shall provide to the Planning Department, the Town Engineer, and the Building Inspector an "as built" survey of the completed site work including associated storm water management facilities and any easements.
- In the event the applicant seeks a temporary or final Certificate of Occupancy for any building or use prior to the completion of construction of all elements shown on the approved project, the applicant shall propose and obtain Department of Planning and Engineering Department approval of a phased implementation plan. The phased implementation plan shall address buildings, access, utilities, parking, landscaping, lighting, pedestrian amenities, public safety and separation from continuing construction activities and any other elements or issues as deemed appropriate by the Town. The applicant shall provide the previously referenced engineer's certification and "as built" survey upon completion of all construction.

ROCK REMOVAL
IF REQUIRED, ANY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 100 "EXPLOSIVES" OF THE TOWN OF POUGHKEEPSIE CODE. PRIOR TO BLASTING A PERMIT SHALL BE ISSUED BY THE TOWN OF POUGHKEEPSIE BUILDING DEPARTMENT.



PARCEL INFORMATION

TAX MAP Nos.	134689-6158-01-164655 T/POUGHKEEPSIE & 134681-6158-09-173629 W/WAPPINGERS FALLS
TOTAL LOT AREA:	4.16 ACRES (3.86 IN TOWN, 0.30 IN THE VILLAGE)
POUGHKEEPSIE ZONING:	R-20
V/WAPP. FALLS ZONING:	VM - EXISTING NONCONFORMING-NO CHANGES PROPOSED
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
WATER/SEWER:	T. OF POUGHKEEPSIE MUNICIPAL SERVICES
SCHOOL DISTRICT:	WAPPINGER CENTRAL SCHOOL DISTRICT

BULK REGULATIONS

Residence, Single Family 20,000 Square Feet	Required	Existing	Proposed					
			Lot #1	Lot #2	Lot #3	Lot #4	Lot #5	Lot #6
Minimum Lot Area (Square feet)	20,000	181,291	35,985	20,807	22,030	23,975	24,096	21,366
Minimum Lot Frontage (feet)	100	336.16	336.16	179.5	100.4	101.0	118.7	142.8
Minimum Lot Width (feet)	100	328.52	226.54	165.8	149.6	174.0	151.3	164.9
Minimum Front Yard (feet)	30	91.3	203.19	30	30	30	30	30
Minimum Side Yard (feet)	20	32.3	211.70	20	20	20	20	20
Minimum Rear Yard (feet)	30	416.0	32.3	30	30	30	30	30
Maximum Lot Coverage (%)	25	1.4	6.8	7.9	7.1	6.8	6.8	7.7
Maximum Impervious Surface (%)	35	2.2	18	12.6	13	12.9	12.8	14.4
Maximum Height (feet)	35 or 2.5 Stories	2 Stories	2.5 Stories	2.5 Stories	2.5 Stories	2.5 Stories	2.5 Stories	2.5 Stories

PROPOSED ROAD ROW AREA = 33,032 S.F.

(a) For lots served by both central sewage treatment and central water supply facilities. For lots not served by a central sewage treatment system, the minimum lot size shall be one acre. For lots not served by central sewage and central water supply facilities, the minimum lot size shall be 1-1.2 acres.

RECOMMENDED FOR APPROVAL

DC EHSD APPROVED

DATE: _____

PROJECT: _____

SUPERVISING PUBLIC HEALTH ENGINEER

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE

04-20-22

02-15-22

09-21-20

2020.132

License No. 083970

TOWN OF POUGHKEEPSIE PLANNING BOARD OWNER/APPLICANT SIGNATURES

THE UNDERSIGNED APPLICANT(S) FOR THE PROPERTY AND THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREIN CERTIFY THAT THEY ARE FAMILIAR WITH THIS MAP AND ITS NOTES AND ITS CONTENTS AS STATED HEREON INCLUDING ALL CONDITIONS OF APPROVAL. THE APPLICANT AND THE OWNER UNDERSTAND THEIR OBLIGATION TO THE TOWN TO KEEP THE PREMISES AS PER PLAN APPROVAL BY THE PLANNING BOARD UNTIL A NEW OR REVISED PLAN FOR DEVELOPMENT OR USE OF THE SITE IS APPROVED BY THE PLANNING BOARD. THE APPLICANT AND THE OWNER UNDERSTAND THEIR OBLIGATION TO THE TOWN NOT TO OCCUPY THE PREMISES BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED BY THE TOWN FOR THE OCCUPANCY AS APPROVED HEREON.

Owner _____
Date _____

Applicant _____
Date _____

DAY STOKOSA ENGINEERING P.C.

3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

Delavergne Ave Sub.

Town of Poughkeepsie Dutchess County, New York

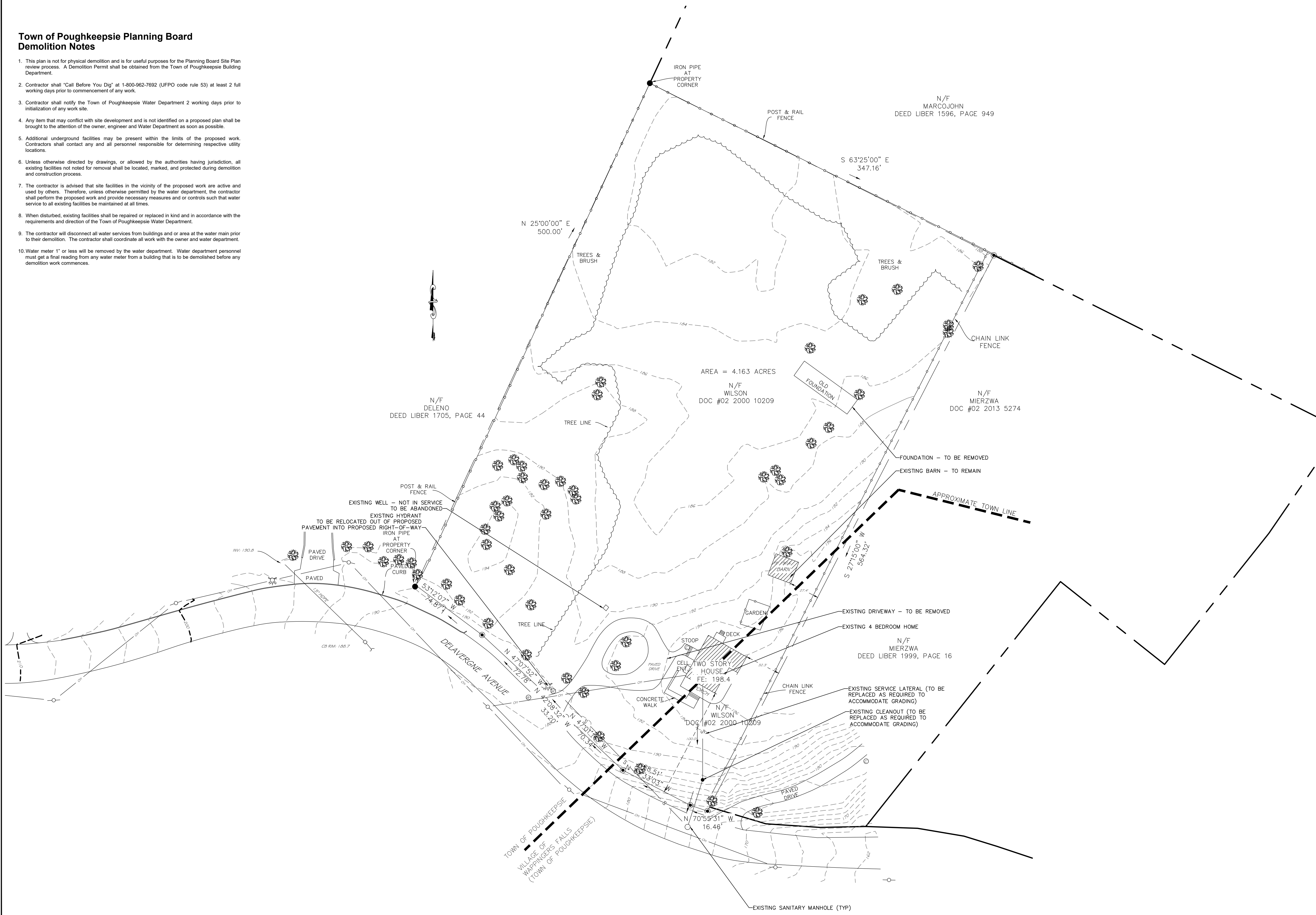
TITLE SHEET

SCALE: AS NOTED DRAWN BY: BJS CHECKED BY: BJS DATE: 6-17-20


G001

**Town of Poughkeepsie Planning Board
Demolition Notes**

1. This plan is not for physical demolition and is for useful purposes for the Planning Board Site Plan review process. A Demolition Permit shall be obtained from the Town of Poughkeepsie Building Department.
2. Contractor shall "Call Before You Dig" at 1-800-962-7692 (UFPO code rule 53) at least 2 full working days prior to commencement of any work.
3. Contractor shall notify the Town of Poughkeepsie Water Department 2 working days prior to initialization of any work site.
4. Any item that may conflict with site development and is not identified on a proposed plan shall be brought to the attention of the owner, engineer and Water Department as soon as possible.
5. Additional underground facilities may be present within the limits of the proposed work. Contractors shall contact any and all personnel responsible for determining respective utility locations.
6. Unless otherwise directed by drawings, or allowed by the authorities having jurisdiction, all existing facilities not noted for removal shall be located, marked, and protected during demolition and construction process.
7. The contractor is advised that site facilities in the vicinity of the proposed work are active and used by others. Therefore, unless otherwise permitted by the water department, the contractor shall perform the proposed work and provide necessary measures and/or controls such that water service to all existing facilities be maintained at all times.
8. When disturbed, existing facilities shall be repaired or replaced in kind and in accordance with the requirements and direction of the Town of Poughkeepsie Water Department.
9. The contractor will disconnect all water services from buildings and/or area at the water main prior to their demolition. The contractor shall coordinate all work with the owner and water department.
10. Water meter 1" or less will be removed by the water department. Water department personnel must get a final reading from any water meter from a building that is to be demolished before any demolition work commences.



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Brian J. Stokosa, PE	
	
04-20-22	
02-15-22	
09-21-20	
2020.132	License No. 083970

DAY STOKOSA
ENGINEERING P.C.

3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

PROJECT
Delavergne Ave Sub.
Town of Poughkeepsie Dutchess County, New York

DRAWING
EXISTING CONDITIONS

SCALE	DRAWN BY	DRAWING NO.
AS NOTED	BJS	EX001
DATE	CHECKED BY	
6-17-20	BJS	

**Town of Poughkeepsie Planning Board
Standard Fire Department Notes**

1. Fire hydrants are to be installed, flow tested and approved by both town water department and appropriate FD prior to any combustibles being brought onto the construction site. Hydrant locations to be approved by FD. All hydrants to have snow flags and NFPA color banding showing demonstrated flow capabilities. Flow data for new and existing water mains to be provided to town fire inspector and FD.
2. All street names and building numbering as required by Dutchess County law. Street signs to be installed prior to any building construction. Approved street names to be shown on final (signed) site plan.
3. The name of the fire district in which the project is located shall be prominently displayed on the map. For properties bisected by or adjacent to a fire district boundary, the location of the boundary shall be depicted on the plan with the proper names of the fire districts shown along the boundary line.
4. All fire protection systems and notification devices to be designed, installed, tested and maintained according to NYS Code and/or the appropriate NFPA standard.
5. Fire sprinkler and/or standpipe systems, FDC design, and fire detection system designs are to be reviewed in advance and signed off by the appropriate FD. FDC locations to be shown on site plan and approved by FD. FDC signage design, wording and installation location as approved by FD.
6. An emergency apparatus/truck movement plan shall be depicted on the proposed plan, using apparatus specifications provided by the FD.
7. On any building with an alarm system, other than a single family residence, a key box shall be obtained through the appropriate FD and installed at a location approved by the FD. Master keys, elevator keys, and/or magnetic swipe cards for all doors shall be provided. 2 or more complete sets of keys, or as approved by the FD, shall be provided for installation in the box. The key box shall be of sufficient size to accommodate all of the required keys. Knox padlocks, or an approved alternative shall be provided for FD access when construction gates are in place.
8. On any building with a fire alarm system, other than a single family residence, an exterior strobe light, connected to the fire alarm system shall be installed at a location approved by the FD. A mechanical water gong, or 110v. electronic water flow bell to be installed on all sprinkler systems, independent of the fire alarm system. Location of bell to be near FDC, or as otherwise approved by FD.
9. Zone maps to be installed adjacent to all fire alarm system enunciator panels. Proposed display messages for enunciator panels to be approved in advance by the appropriate FD.
10. 1 or more sets of fire alarm system design drawings to be maintained and kept at the alarm panel. Drawings to show all alarm system devices, plus any roof-top units.
11. A representative of the fire district shall be present at any pre-construction meetings, and the fire district shall be provided no less than 48 hours notice of any periodic meetings and inspections, including any testing of fire safety devices and hydrants.
12. Any special requirement and field changes agreed to by the fire district that are above the NYS building related codes or local town code, shall appear on the final signed plan map, and be appropriately highlighted.
13. All apparatus access roads and/or fire lanes to be either blacktop, concrete, or as approved by the appropriate FD.
14. All elevators to be of sufficient size and capacity to accommodate a recumbent patient on an ambulance stretcher, attended by an EMS crew
15. Light weight truss construction signage, as described in NYS code, to be installed for all building types, except for single family residences



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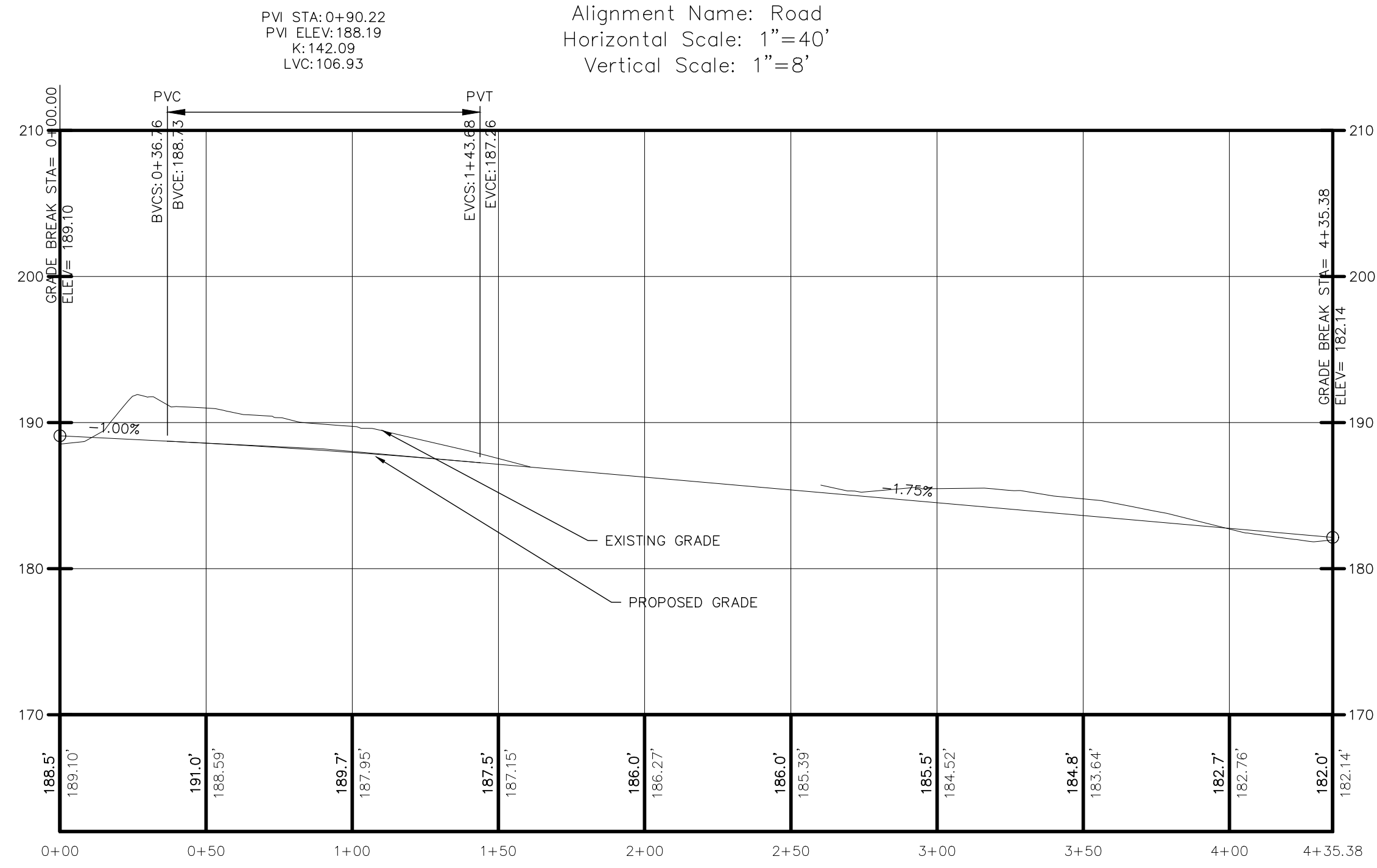
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SITE PLAN

SCALE AS NOTED	DRAWN BY BJS	C130
DATE 6-17-20	CHECKED BY BJS	

Profile View: EXISTING versus PROPOSED ROAD
 Alignment Name: Road
 Horizontal Scale: 1"=40'
 Vertical Scale: 1"=8'



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DATE	04-20-22	
REVISION	02-15-22	
REVISION	09-21-20	
PROJECT NO.	2020.132	LICENSE NO. 083970

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PROJECT
Delavergne Ave Sub.
 Town of Poughkeepsie Dutchess County, New York

DESCRIPTION
**GRADING & EROSION AND
 SEDIMENT CONTROL PLAN**

SCALE	AS NOTED	DATE	6-17-20	DRAWN BY	BJS	CHECKED BY	BJS	C140
DATE	6-17-20	CHECKED BY	BJS	SCALE	AS NOTED	DATE	6-17-20	

**Town of Poughkeepsie Planning Board
Water Department Notes**

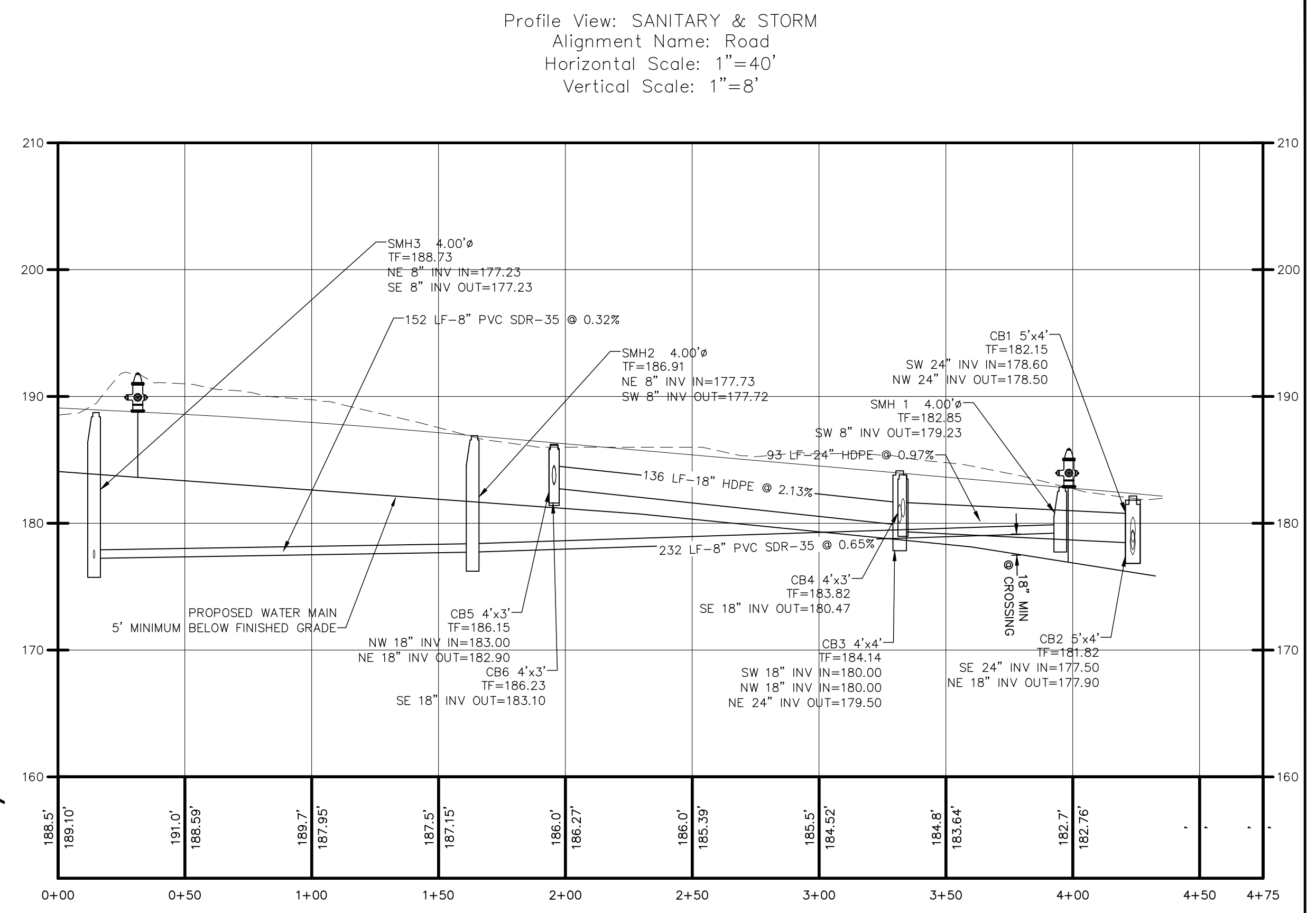
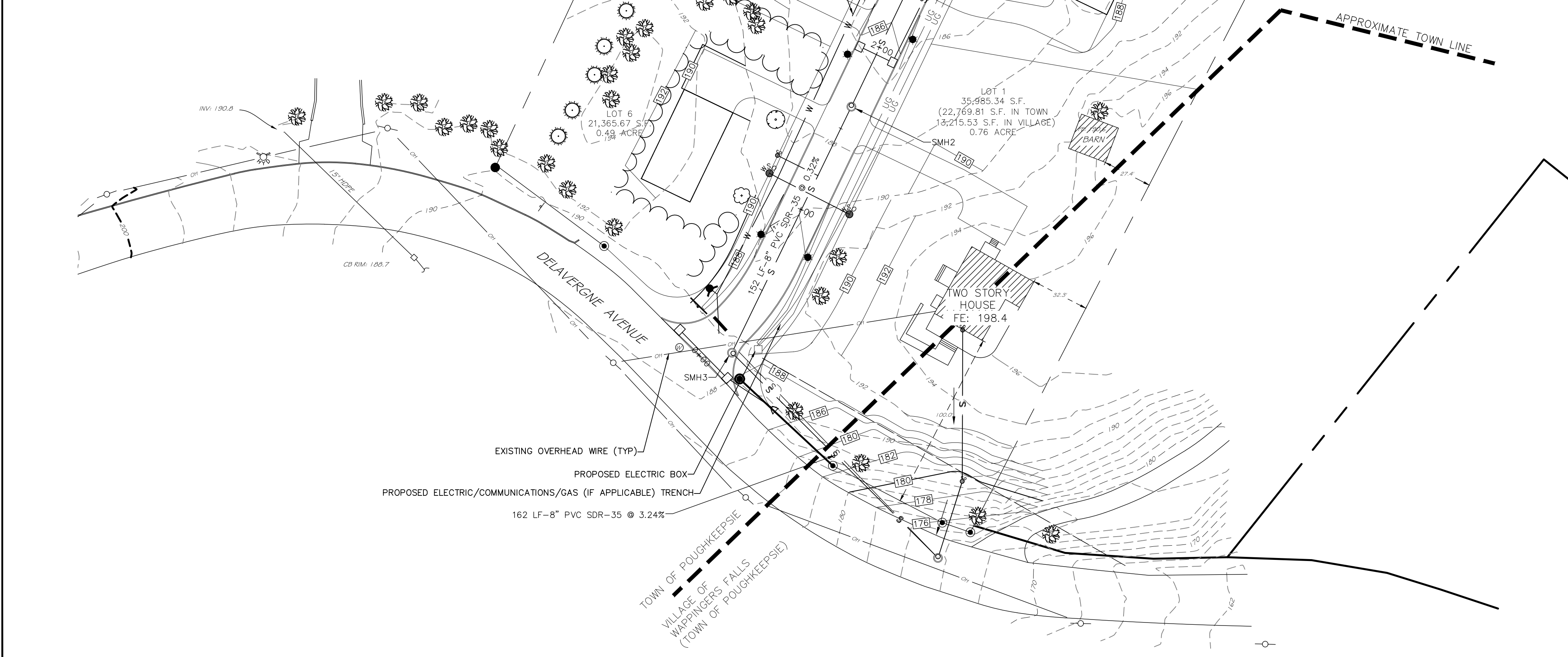
- All water mains shall be cement lined ductile iron pipe, class 52 push-on joint, unless otherwise specified by or approved by the Town of Poughkeepsie Water Department. Joining shall employ "Megalug" connections, field lock gasket, or as alternatively specified by the Town of Poughkeepsie Water Department. All water piping construction shall be to the specifications of the Town of Poughkeepsie Water Department. Wet tap of public water system shall be approved and supervised by the Town of Poughkeepsie Water Department. Tapping sleeve shall be stainless steel or approved equal. All mainline valves shall be resilient wedge or approved equal.
- The water line may be flexed within pipe specifications or laid deeper in areas where a crossing with a sanitary line occurs, to achieve the required 1.5' vertical separation distance. If this distance cannot be reasonably achieved, the contractor shall use pressure rated sanitary pipe of equal or greater rating than the pressure class for the water line.
- Minimum vertical separation between water mains and sewer pipe shall be 18 inches measured from the outside of the pipes at the point of crossing. One full standard laying length of water main shall be centered under or over the sewer so that both joints will be as far from the sewer line as possible. In addition, when the water main passes under a sewer, adequate structural support (compacted select fill) shall be provided for the sewer to prevent excessive deflection of joints and settling of the sewer pipe on the water main. Minimum horizontal separation between parallel water mains and sewer pipes (including manholes and vaults) shall be 10 feet measured from the outside of the pipes, manholes or vaults.
- All water mains shall have a minimum of (5) five feet of cover from the top of the main to finished grade. The contractor shall check all finished grade stakes before trenching to ensure that all installed water mains will have the required cover.
- The supplier of water must receive at least 48-hour advance notification requesting sampling services. Sampling will not be performed prior to receipt from a New York State licensed or registered design professional (engineer, architect, or land surveyor with a special exemption under section 7208(n) of the education law) certifying that the water supply improvements, testing and disinfection procedures were completed in accordance with the approved plans, reports, specifications and any approved amendments. A NYSDOH certified laboratory will collect samples for free chlorine residual, total and fecal coliform and 24-hour bacterial plate count. The certificate of compliance shall be provided to the Water Maintenance Supervisor as a condition of approval for operation.
- The contractor shall coordinate the testing with the Water Department so as to maintain the amount of service interruption to existing users to the least extent practicable. Water main installation and testing shall be performed under the supervision of the project engineer or his designee as necessary to meet conditions in note 5 above.
- The water main shall be pressure leakage tested in accordance with the minimum requirements of the AWWA standard C600 (latest revision) or in accordance with more stringent requirements imposed by the supplier of water. Test to first valve within building, Page 2 December 28, 2009
- The water main shall be disinfected equal to AWWA Standard for disinfecting water mains designation C651 (latest revision). Following disinfection, the water main shall be flushed until the chlorine concentration in the water leaving the main is no higher than that generally prevailing in the system. The project engineer or his designee shall also witness disinfection and flushing.
- All water main fittings not receiving 24-hour chlorine disinfection contact time must be swabdisinfected 30 minutes prior to installation.
- The sampling point(s) must be decontaminated by flaming.
- Fire hydrants are not acceptable sampling points.
- Fire hydrant weep holes (drains) shall be plugged when ground water is encountered within seven feet of the finished grade. When drains are plugged, the barrels must be pumped dry after use during freezing weather. Such hydrants shall be identified by markings as approved by the Town of Poughkeepsie.
- Proposed water meters located within the meter pit or building shall be a compatible remote style type (sensus or approved equal), and shall be approved by the Town of Poughkeepsie Water Department prior to installation. Water meter shall be equipped with (radio type) transceiver as approved by the Town of Poughkeepsie Water Department.
- The water line shall be installed at a continuous grade with no abrupt high points or low points.
- Final water distribution system is subject to review, revision and approval by the Town of Poughkeepsie Water Department.
- All water mains and related appurtenances shall be constructed to the latest standards and specifications of the Town of Poughkeepsie.
- The water main shall not be placed into service until so authorized by the Town of Poughkeepsie.
- All water service construction shall be subject to inspection by the Town Water Department prior to backfilling. Bedding and pipe zone material shall be composed of either washed stone, crushed stone, light gravel or coarse sand having a gradation limit of 3/4" minus. An acceptable material shall meet the following requirement:

Trench backfill shall be well-graded soil and gravel material. All particles shall have a gradation of 2" or less. An acceptable material shall meet the following requirement:

Sieve Designation	% Passing
2 Inch	100
1/4 Inch	30-65
No. 40	5-40
No. 200	0 - 15

- Bedding and backfill material shall be stockpiled in amounts necessary for reasonable backfilling requirements. A sieve analysis of bedding or backfill may be required at the request of the Town of Poughkeepsie. Page 3 December 28, 2009
- The site utility contractor shall be responsible for all buried piping to the location of the proposed building connection point (i.e. inside the building). This includes the testing and certification of all water service work from the town water connection point to the proposed buildings interior connection point.
- Indicator tape shall be placed 12" below finished grade directly above all waterlines.
- All copper water service piping installation, backfill and testing shall be reviewed, and approved by the Town of Poughkeepsie Water Maintenance Supervisor or his designee. Bedding, pipe zone, and backfill material must be sand only.
- The pipe supports for the meter pit shall be made of galvanized steel and shall be adjustable. The supports are to be placed only beneath spool pieces and not under critical equipment, meters, etc.
- Three as-built drawings which include verification of the sewer infrastructure including rims and inverts will be provided to the planning department for dissemination to the engineering and sewer departments prior to any easement dedication to the Town.

Sieve Designation	% Passing
3/4"	100
No. 40	0-70
No. 200	0-10



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UTILITY PLAN

SCALE	DRAWN BY	DRAWING NO.
AS NOTED	BJS	C160
DATE	CHECKED BY	
6-17-20	BJS	

Flowering/Shade Tree Legend

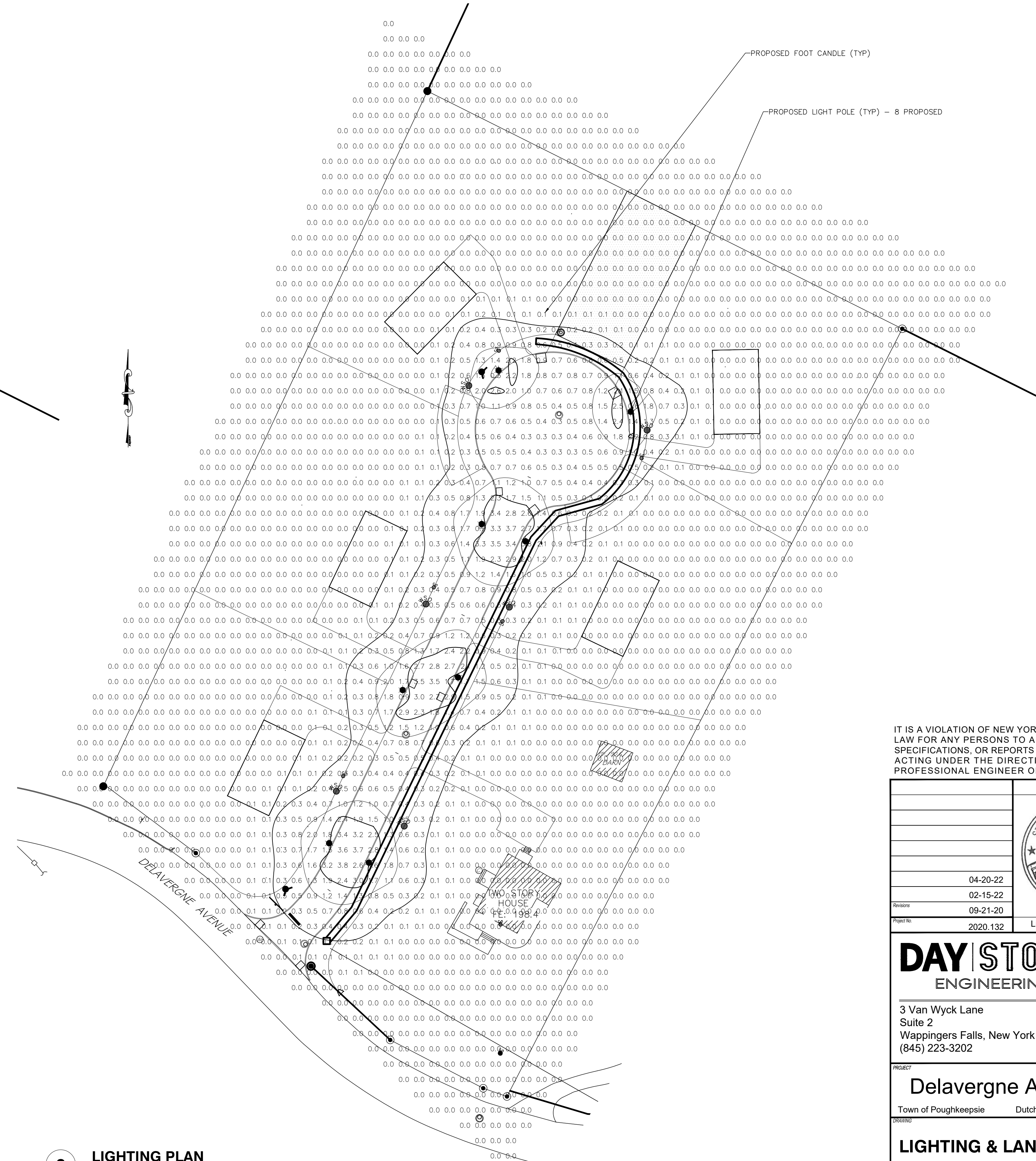
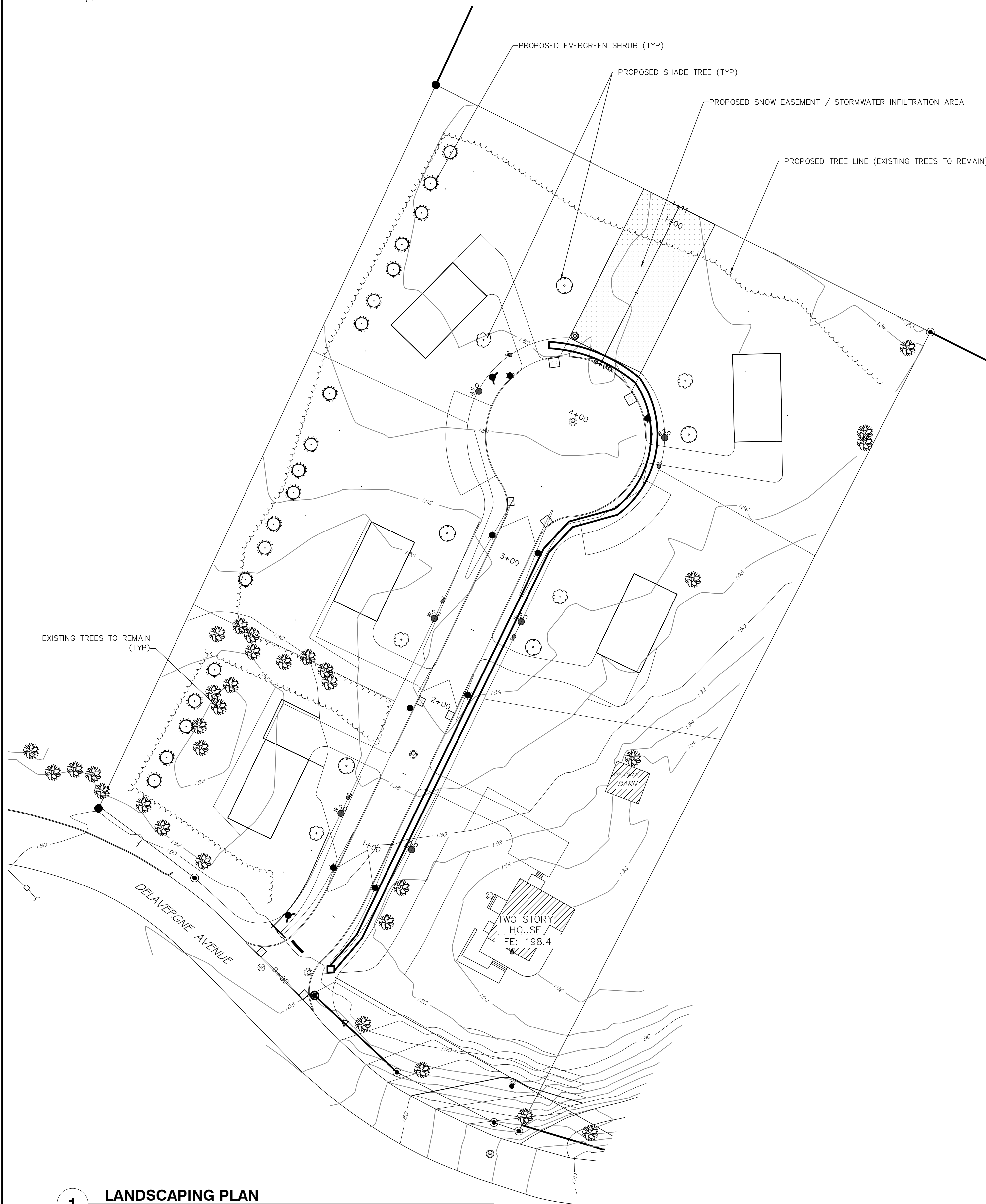
Symbol	Latin Name	Common Name	Plant Size	Quantity
	Malus Sargentii	Sargent Crab	2" - 2-1/2" Caliper	6
	Acre Rubrum	Red Maple	6' - 8' height	6

Evergreen Shrub Legend

Symbol	Latin Name	Common Name	Plant Size	Quantity
	Thuja 'Green Giant'	Arborvitae	48"-60"	21

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MOUNTING	MODEL	VOLTS	QUANTITY	DEFAULT ELEVATION
POLE		(1)	Washington FCO LED 2, P30, 2700K, Type 3 Optic	POLE	Holophone, WFCL2 P30 27K XX L3	120	7	18'



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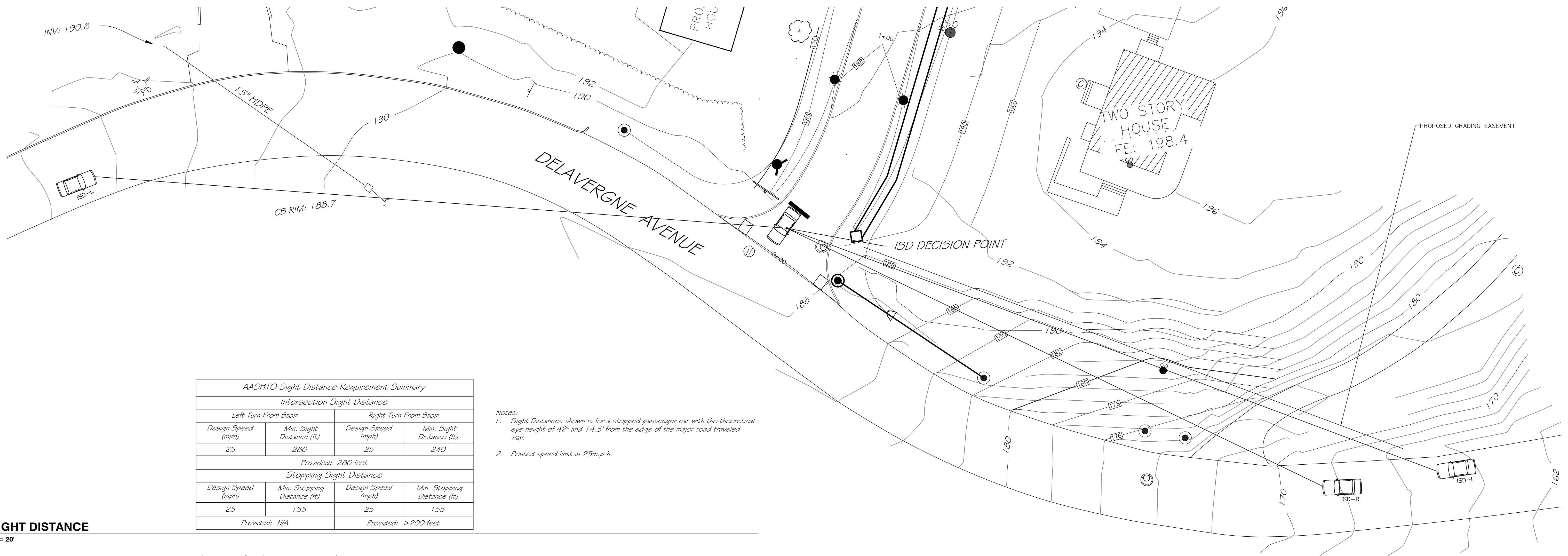
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LIGHTING & LANDSCAPING

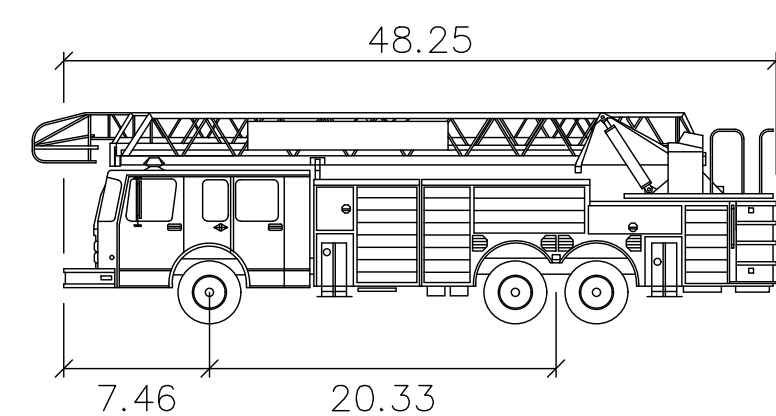
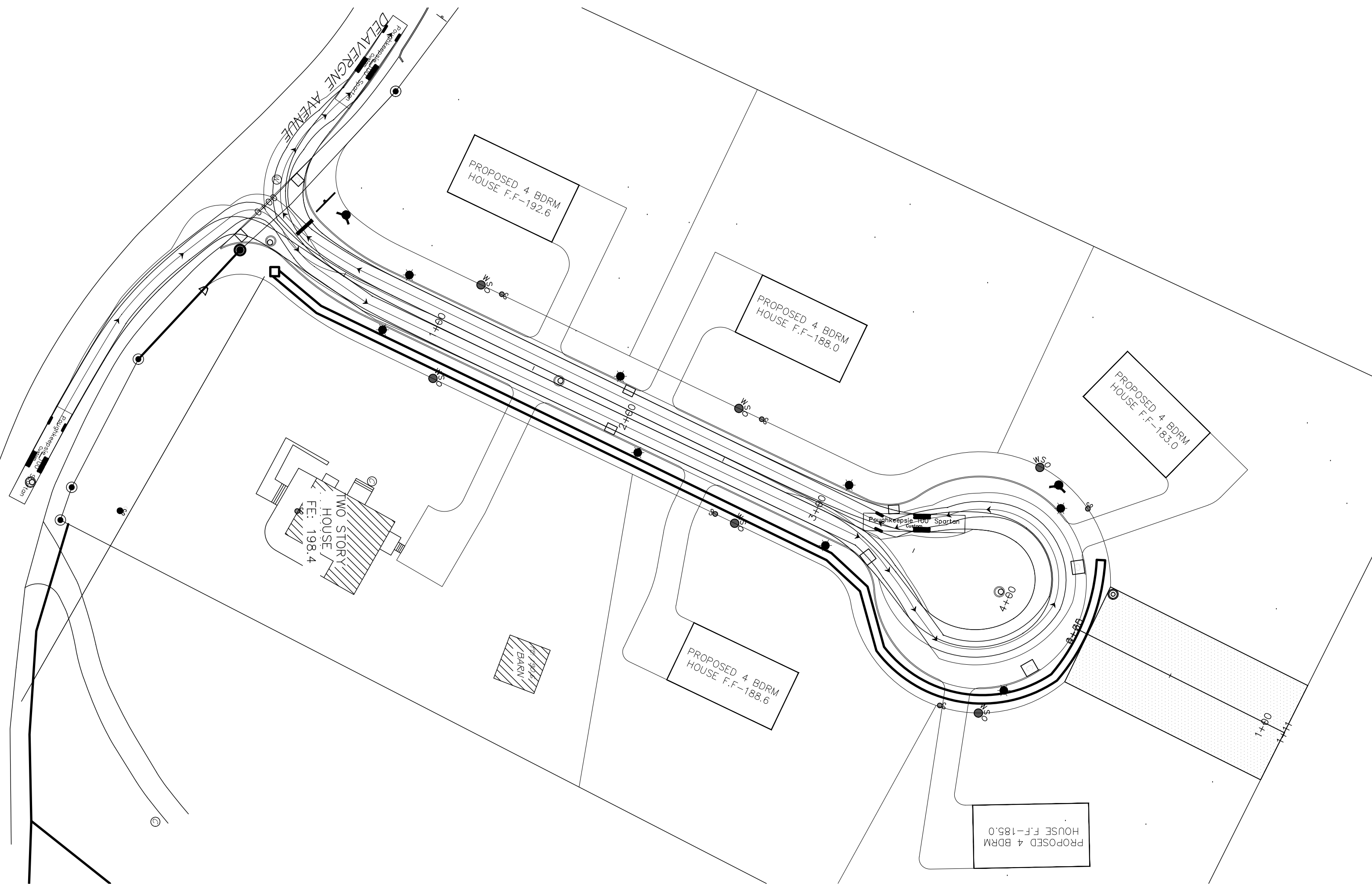
SCALE	DRAWN BY	DRAWING NO.
AS NOTED	BJS	C180
DATE	CHECKED BY	
6-17-20	BJS	



AASHTO Sight Distance Requirement Summary			
Intersection Sight Distance			
Left Turn From Stop		Right Turn From Stop	
Design Speed (mph)	Min. Sight Distance (ft)	Design Speed (mph)	Min. Sight Distance (ft)
25	280	25	240
Provided: 280 feet			
Stopping Sight Distance			
Design Speed (mph)	Min. Stopping Distance (ft)	Design Speed (mph)	Min. Stopping Distance (ft)
25	155	25	155
Provided: N/A		Provided: >200 feet	

Notes:
 1. Sight Distances shown is for a stopped passenger car with the theoretical eye height of 4.2' and 14.5' from the edge of the major road traveled way.
 2. Posted speed limit is 25m.p.h.

1 SIGHT DISTANCE
 1" = 20'



Poughkeepsie 100' Spartan
 feet
 Width : 8.33
 Track : 8.29
 Lock to Lock Time : 6.0
 Steering Angle : 53.0

2 FIRE APPARATUS MOVEMENT
 1" = 40'

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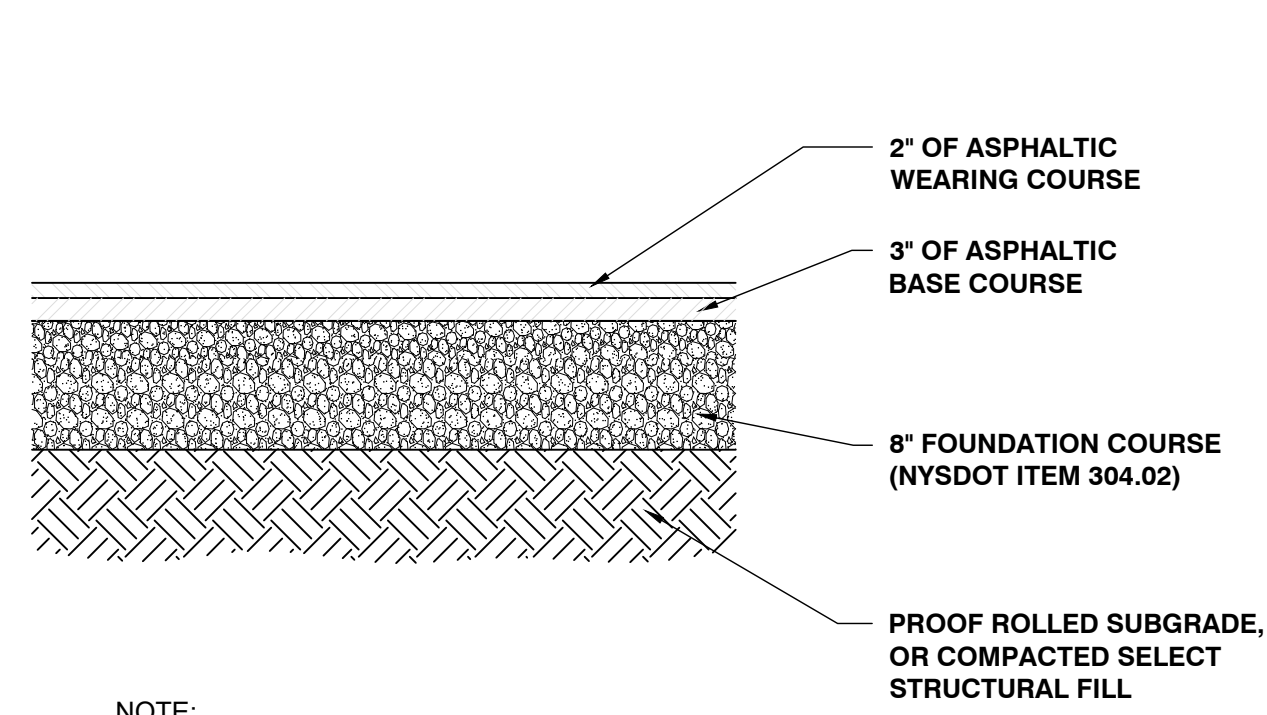
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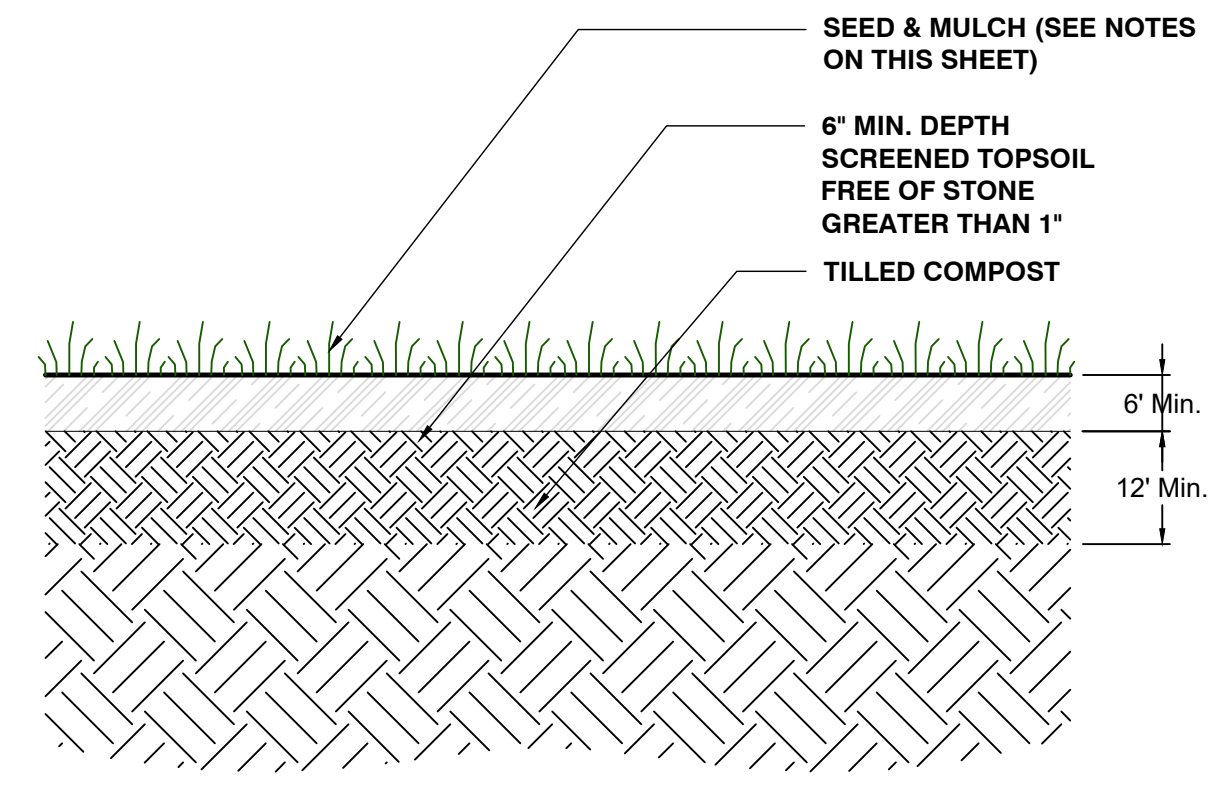
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VEHICULAR MOVEMENT PLAN

SCALE	DRAWN BY	DRAWING NO.
AS NOTED	BJS	C170
DATE	CHECKED BY	
6-17-20	BJS	

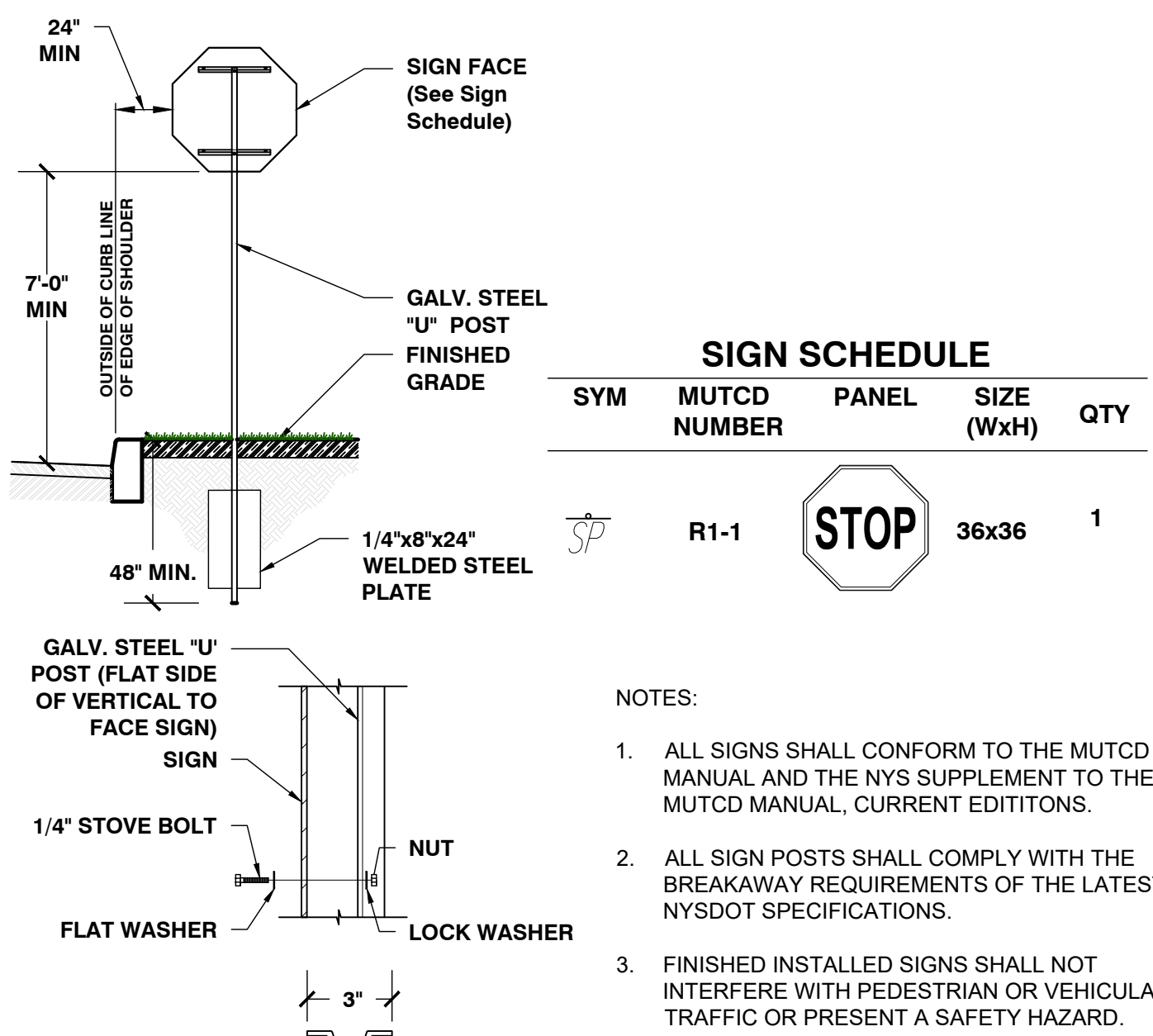


- NOTE:
1. THICKNESS INDICATED REFERS TO COMPACTED MEASURE.
 2. ALL NEW PAVEMENT SECTIONS TO CONFORM TO THE ABOVE REFERENCED CROSS SECTION.
 3. INDUSTRY STANDARDS AND BEST PRACTICES SHALL BE FOLLOWED REGARDING INSTALLATION PROCEDURES AND ACCOMMODATING PREVAILING CONDITIONS.



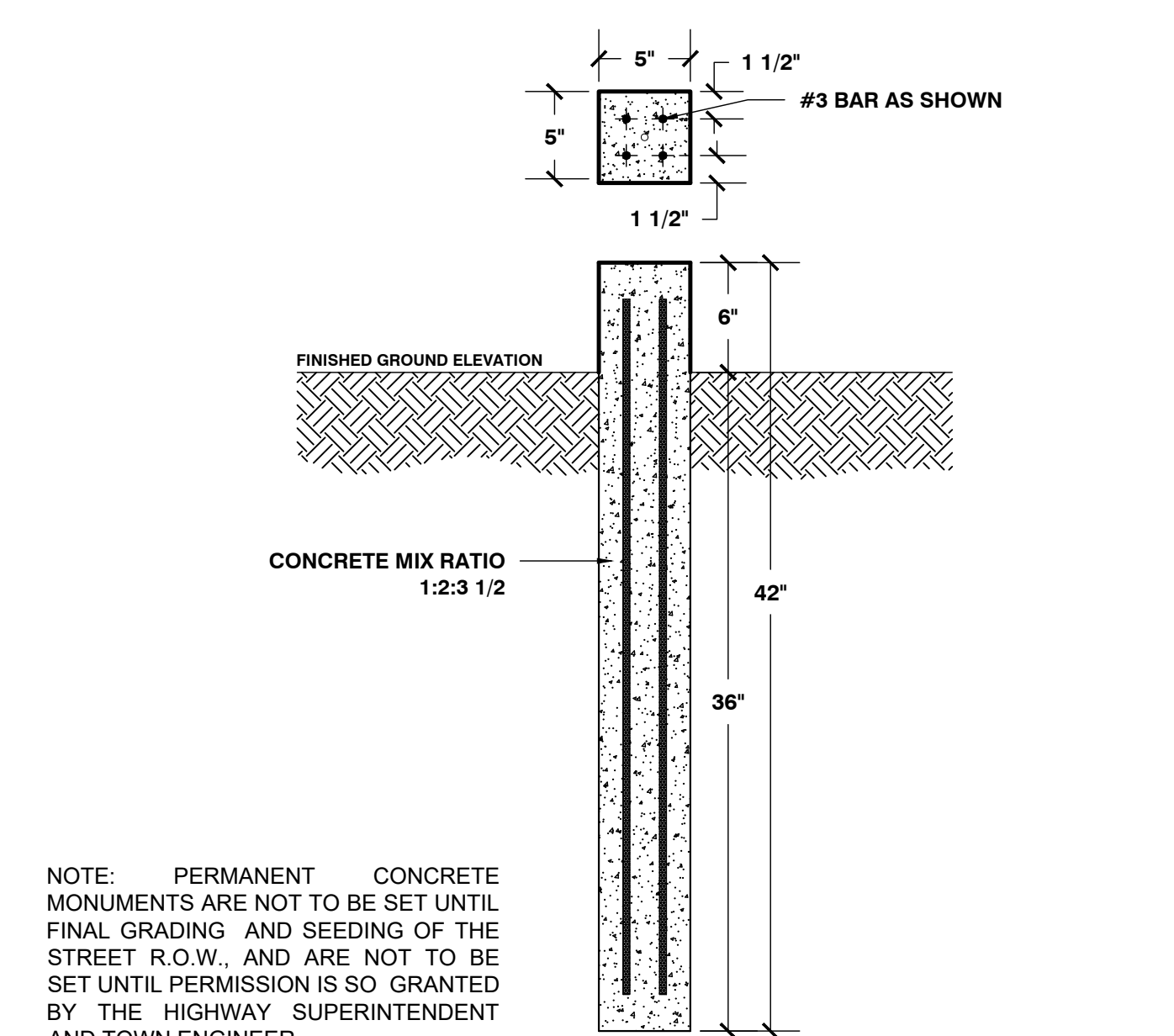
- DURING PERIODS OF RELATIVELY LOW MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:
1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL
 2. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
 3. ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OF THE SITE.
 4. APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 5. VEGETATE AS REQUIRED BY APPROVED PLANS.

1 PAVEMENT SECTION
NOT TO SCALE



- NOTES:
1. ALL SIGNS SHALL CONFORM TO THE MUTCD MANUAL AND THE NYS SUPPLEMENT TO THE MUTCD MANUAL, CURRENT EDITIONS.
 2. ALL SIGN POSTS SHALL COMPLY WITH THE BREAKAWAY REQUIREMENTS OF THE LATEST NYSDOT SPECIFICATIONS.
 3. FINISHED INSTALLED SIGNS SHALL NOT INTERFERE WITH PEDESTRIAN OR VEHICULAR TRAFFIC OR PRESENT A SAFETY HAZARD.

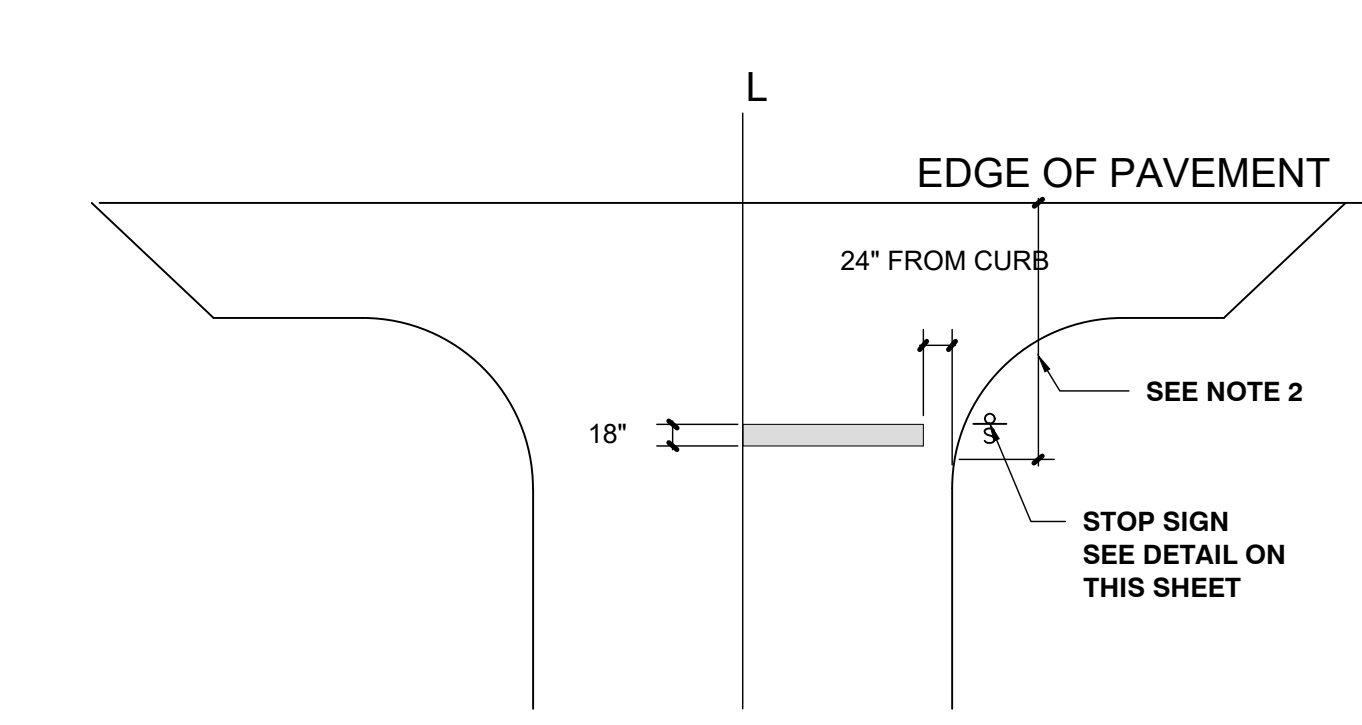
3 TYPICAL STOP SIGN DETAIL
NOT TO SCALE



5 PERMANENT CONCRETE MONUMENT DETAIL
NOT TO SCALE

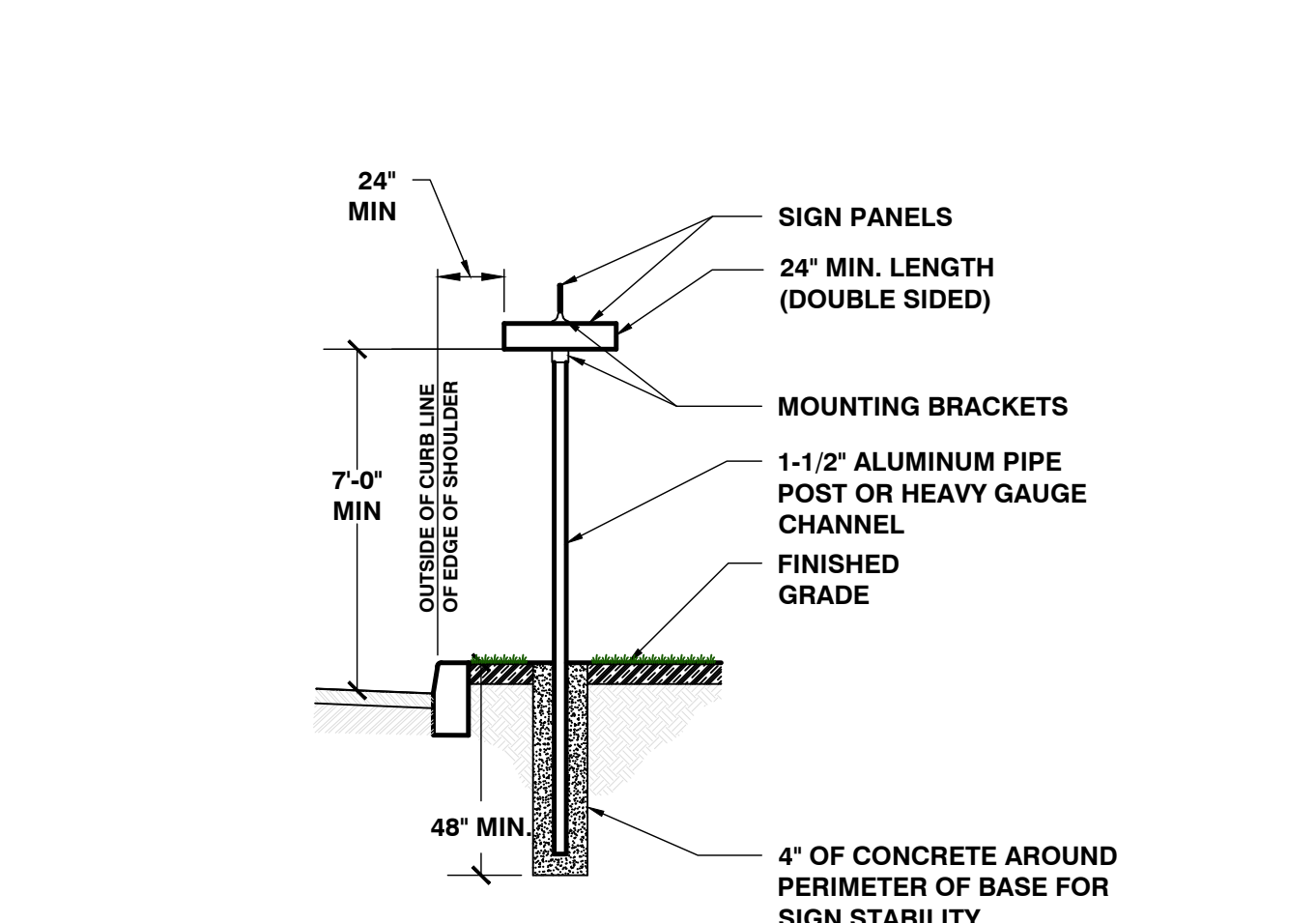
NOTE: PERMANENT CONCRETE MONUMENTS ARE NOT TO BE SET UNTIL FINAL GRADING AND SEEDING OF THE STREET R.O.W., AND ARE NOT TO BE SET UNTIL PERMISSION IS SO GRANTED BY THE HIGHWAY SUPERINTENDENT AND TOWN ENGINEER.

2 SOIL RESTORATION DETAIL
NOT TO SCALE



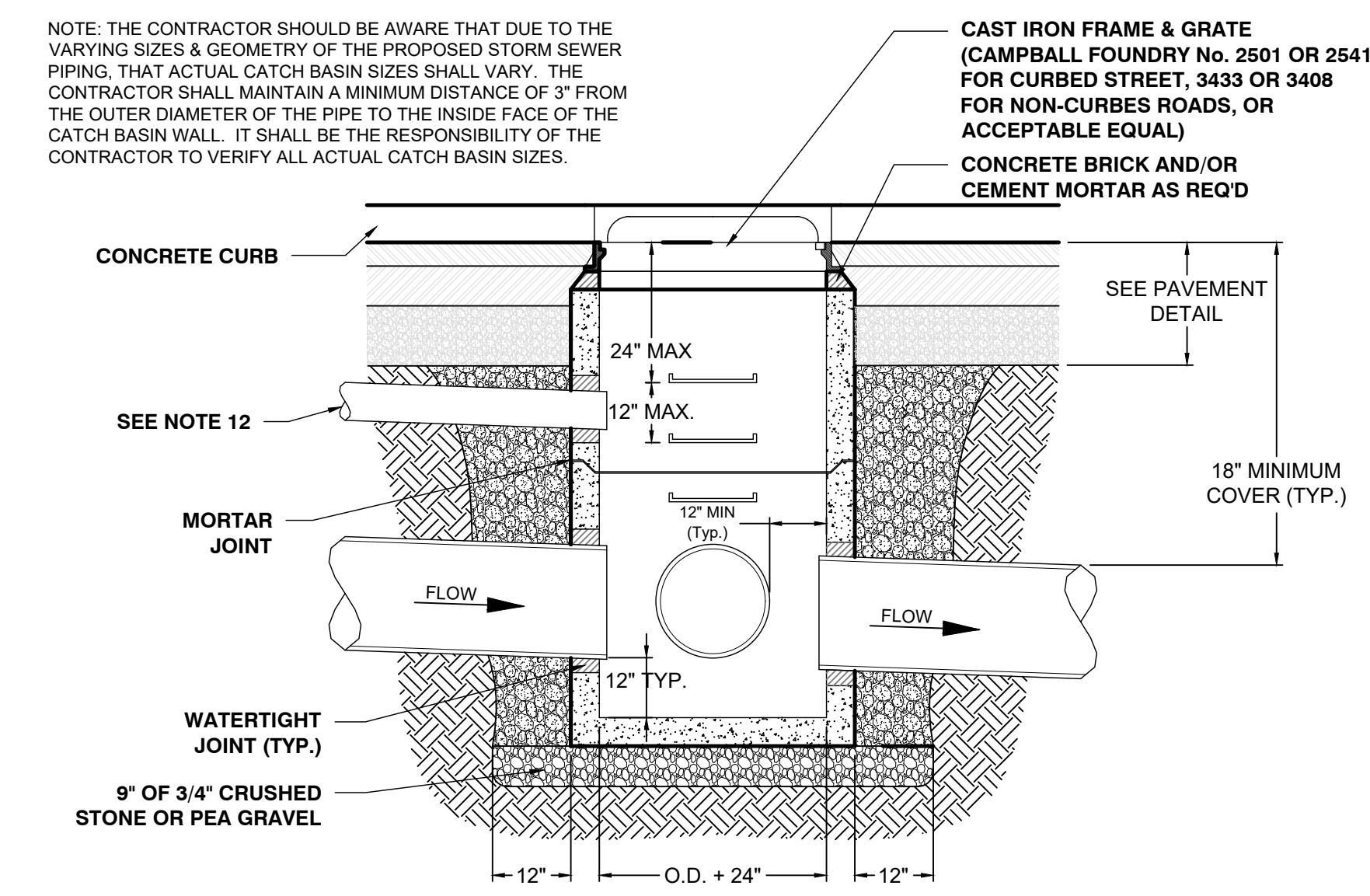
- NOTES:
1. STOP BAR SHALL BE 18" WIDE AND MADE OF PREFORMED STOP BAR TAPE
 2. STOP BAR SHALL BE PLACED A MINIMUM OF 4FT AND A MAXIMUM OF 30 FEET IN ADVANCE OF AND PARALLEL TO THE ROADWAY INTERSECTION

4 TYPICAL STOP BAR DETAIL
NOT TO SCALE



6 TYPICAL ROAD NAME SIGN DETAIL
NOT TO SCALE

NOTE: THE CONTRACTOR SHOULD BE AWARE THAT DUE TO THE VARYING SIZES & GEOMETRY OF THE PROPOSED STORM SEWER PIPING, THAT ACTUAL CATCH BASIN SIZES SHALL VARY. THE CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE OF 3' FROM THE OUTER DIAMETER OF THE PIPE TO THE INSIDE FACE OF THE CATCH BASIN WALL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL ACTUAL CATCH BASIN SIZES.



1 PRE CAST CONCRETE DROP INLET
NOT TO SCALE

- CONSTRUCTION NOTES:
1. THE TOP OF THE PIPES TO BE SET AT EQUAL ELEVATIONS WHEN INLET PIPE IS SMALLER THAN OUTLET PIPE.
 2. POLYPROPYLENE STEEL REINFORCED PLASTIC STEPS AS SUPPLIED BY M.A. INDUSTRIES, OR EQUAL, TO BE SET EVERY 12" TO BOTTOM OF CATCH BASIN.
 3. FRAME AND GRATE TO MEET OR EXCEED H-20 LOADING.
 4. ALL PIPES SHALL BE INSTALLED FLUSH WITH THE INSIDE WALL OF THE CATCH BASIN AND GROUTED IN PLACE ON BOTH THE INSIDE AND OUTSIDE FACE OF THE BASIN.
 5. BRICK FRAME AND GRATE TO GRADE MATCH BOTH CROWN OF ROAD AND SLOPE OF ROAD. A MAXIMUM OF TWO TIERS OF CONCRETE BRICKS OR ONE 6" SOLID CONCRETE BLOCK SHALL BE PERMITTED. RISERS SHALL BE PARGED BOTH INSIDE AND OUTSIDE.
 6. BASE AND RISER SECTIONS SHALL BE INTEGRALLY CAST.
 7. INSIDE DIMENSIONS SHALL REMAIN CONSTANT FROM TOP TO BOTTOM AND SHALL MATCH THE FRAME OPENING OF THE GRATE.
 8. THE BASINS SHALL CONFORM TO ASTM C-478 SPECIFICATIONS AND SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
 9. PROVIDE PROPER ANCHORING IN CASES OF HIGH GROUNDWATER TO PREVENT FLOATATION.
 10. ALL BASINS WITH A TOTAL DEPTH OF GREATER THAN 8'-0" SHALL HAVE A MIN. WALL THICKNESS OF 8".
 11. LADDER RUNGS TO BE PROVIDED FOR CATCH BASINS IN EXCESS OF 4'-0" TOTAL DEPTH (TOP TO BOTTOM OF JUMP).
 12. ROOF LEADERS OR FOOTING DRAINS TO CONNECT TO STORM SEWER SYSTEM WHENEVER POSSIBLE.
 13. SHOP DRAWINGS TO REFLECT KNOCKOUTS OR OPENING SIZES INDICATIVE OF OUTSIDE PIPE DIAMETER FOR VARIOUS PIPE SIZES AND LOCATIONS WHERE PIPE(S) DO NOT MEET BASIN AT RIGHT ANGLES.

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SITE DETAILS		
SCALE	DRAWN BY	DRAWING NO.
AS NOTED	BJS	C530
DATE	CHECKED BY	
6-17-20	BJS	

CONSTRUCTION SEQUENCE

THE APPLICANT PROPOSES TO DISTURB LESS THAN 5.0 AC., SITE INSPECTIONS SHALL ONE TIME PER WEEK.
TOTAL APPROXIMATE AREA OF DISTURBANCE 2.17 ACRES

- FILE NOI WITH THE N.Y.S.D.E.C., OBTAIN ALL APPROVALS FROM THE TOWN OF Poughkeepsie AND INVOLVED AGENCIES. THE APPROVED SEDIMENT AND EROSION CONTROL PLAN SHALL BE FOLLOWED AS REQUIRED, NO DEVIATION IS ALLOWED WITHOUT APPROVAL FROM THE TOWN OF Poughkeepsie. COORDINATE ALL ACTIONS WITH THE TOWN OF Poughkeepsie.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING, AND REMOVING ALL SITE EROSION AND SEDIMENT CONTROLS UNTIL THE SITE NOT IS FILED WITH THE NYSDEC.
- THE PARCEL OWNER IS RESPONSIBLE FOR RETAINING A QUALIFIED INDIVIDUAL TO PERFORM ONSITE INSPECTIONS AS REQUIRED BY THE GP-0-15-00 PERMIT. SINCE DISTURBANCE IS LESS THAN 5.0 AC AT ONE TIME (AND IN TOTAL), ONE SWPPP INSPECTION PER WEEK IS REQUIRED. THE TOWN OF Poughkeepsie ENGINEERING DEPARTMENT SHALL BE PROVIDED COPIES OF INSPECTIONS VIA EMAIL DELIVERY.

PHASE I (APPROXIMATE AREA OF DISTURBANCE XXX ACRES) -

- PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO CONSTRUCTION WITH THE TOWN ENGINEER, CONTRACTOR, OWNER, AND SWPPP INSPECTOR FOR THE OWNER.
- A NYSLS SHALL FIELD IDENTIFY THE LIMIT OF DISTURBANCE SURROUNDING THE SITE, STORMWATER MANAGEMENT AREAS AND INFRASTRUCTURE POINTS AS IDENTIFIED ON THE PLAN SET.
- CONSTRUCT SITE FROM THE INTERSECTION WITH DELAVERGNE AVENUE.
CLEAR AND ROUGH GRADE FOR TEMPORARY CONSTRUCTION ACCESS AS REQUIRED.
STABILIZE SITE ACCESS BY INSTALLING GRAVEL PER TEMPORARY ACCESS ROAD AND CONSTRUCTION ACCESS DETAIL. STABILIZE ADJACENT BARE AREAS WITH VEGETATION.

- INSTALL STORMWATER MANAGEMENT POND AND SEDIMENT TRAP FOR CONSTRUCTION OF SITE - CLEAR AND GRUB PROPOSED STORMWATER MANAGEMENT AREAS.
- INSTALL SILT FENCE ALONG THE LOWER SIDE OF THE PROPOSED SEDIMENT TRAP AND POND.
- EXCAVATE AREA FOR SEDIMENT TRAP AND INFILTRATION BASIN.
- TEMPORARY STABILIZATION OF THE SEDIMENT TRAP, INFILTRATION BASIN AND ADJACENT DIVERSIONS SHALL BE PERFORMED.

PHASE II (APPROXIMATE AREA OF DISTURBANCE XXXX ACRES) -

- INSTALL REQUIRED UTILITIES, INCLUDING DRAINAGE PIPING.
- INSTALL WATER MAIN, SEWER MAIN AND ELECTRICAL SERVICE (AS NECESSARY). COORDINATE WITH TOWN AND CENTRAL HUDSON.
- INSTALL UTILITY SERVICE CONNECTIONS TO INDIVIDUAL PARCELS.
- INSTALL DRIVEWAYS AND EXCAVATE FOR FOUNDATION AND CONSTRUCT RESIDENCE.
- BRING SITE TO FINISHED GRADE AND STABILIZE EXPOSED AREAS.
- INSTALL ROAD TOP COURSE, SIGNAGE, LANDSCAPING AND LIGHTING.

- A DISTURBANCE PLAN SHALL CONSISTENTLY BE UPDATED (INCLUDED IN WEEKLY INSPECTION REPORTS) AS SITE DISTURBANCE CHANGES.

- UPON COMPLETION OF ALL RESIDENTIAL AND SITE CONSTRUCTION AND STABILIZATION OF DISTURBED AREAS, THE N.O.T. SHALL BE COORDINATED WITH THE TOWN STORMWATER MANAGEMENT OFFICE AND FILED WITH THE NYSDEC.
- OBTAIN C.O. FROM THE TOWN OF Poughkeepsie.

REFER TO EROSION CONTROL MAINTENANCE SCHEDULE FOR FURTHER INFORMATION
EROSION AND SEDIMENT CONTROL IS SUBJECT TO ANY IN FIELD CORRECTIONS REQUIRED BY THE TOWN OF Poughkeepsie INSPECTORS, NYSDEC, AND PROJECT ENGINEER. A DISTURBANCE PLAN SHALL CONSISTENTLY BE UPDATED (INCLUDED WEEKLY INSPECTION REPORTS) AS SITE DISTURBANCE CHANGES.

- VEGETATE DISTURBED AREAS NOT TO BE SUBJECT TO CONSTRUCTION WITHIN 14 DAYS.
- UPON INSTALLATION OF SITE SUBBASE AND STABILIZATION OF ALL DISTURBED AREAS, EROSION CONTROL MEASURES ASSOCIATED WITH THIS PHASE MAY BE REMOVED UNLESS OTHERWISE NOTED BY FIELD INSPECTIONS BY THE TOWN ENGINEER AND PROJECT ENGINEER.

CONSTRUCTION EROSION CONTROL MAINTENANCE SCHEDULE (ALL PHASES):

SILT FENCE STRUCTURE	INSPECTION	MAINTENANCE REQUIRED	STRUCTURE TYPE
STABILIZED CONSTRUCTION ENTRANCE	DAILY	REPAIR, REPLACE	TEMPORARY
LITTER	DAILY	REPAIR, REPLACE	TEMPORARY
DUST	DAILY	PICK UP	---
RIPRAP (STONE DIAPHRAGM)	WEEKLY	SPRAYING, SWEEPING	---
VEGETATION ESTABLISHMENT	WEEKLY	REPAIR	PERMANENT
SITE DISTURBANCE PLAN UPDATE	WEEKLY	WATERING, SEEDING	PERMANENT
---	---	UPDATE DISTURBANCE AREA	---
--- REFER TO CONSTRUCTION SEQUENCE FOR ADDITIONAL INFORMATION			

SWPPP PLAN ONSITE REQUIREMENTS

EACH CONTRACTOR AND SUBCONTRACTOR IDENTIFIED IN THE SWPPP WHO WILL BE INVOLVED IN SOIL DISTURBANCE AND/OR STORMWATER MANAGEMENT PRACTICE INSTALLATION SHALL SIGN AND DATE A COPY OF THE FOLLOWING CERTIFICATION STATEMENT BEFORE UNDERTAKING ANY LAND DEVELOPMENT ACTIVITY:

"I HEREBY CERTIFY THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SWPPP AND AGREE TO IMPLEMENT ANY CORRECTIVE ACTIONS IDENTIFIED BY THE QUALIFIED INSPECTOR DURING A SITE INSPECTION. I ALSO UNDERSTAND THAT THE OWNER OR OPERATOR MUST COMPLY WITH THE TERMS AND CONDITIONS OF THE MOST CURRENT VERSION OF THE NEW YORK STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM ("SPDES") GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES AND THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. FURTHERMORE, I UNDERSTAND THAT CERTIFYING FALSE, INCORRECT OR INACCURATE INFORMATION IS A VIOLATION OF THE REFERENCED PERMIT AND THE LAWS OF THE STATE OF NEW YORK AND COULD SUBJECT ME TO CRIMINAL, CIVIL AND/OR ADMINISTRATIVE PROCEEDINGS."

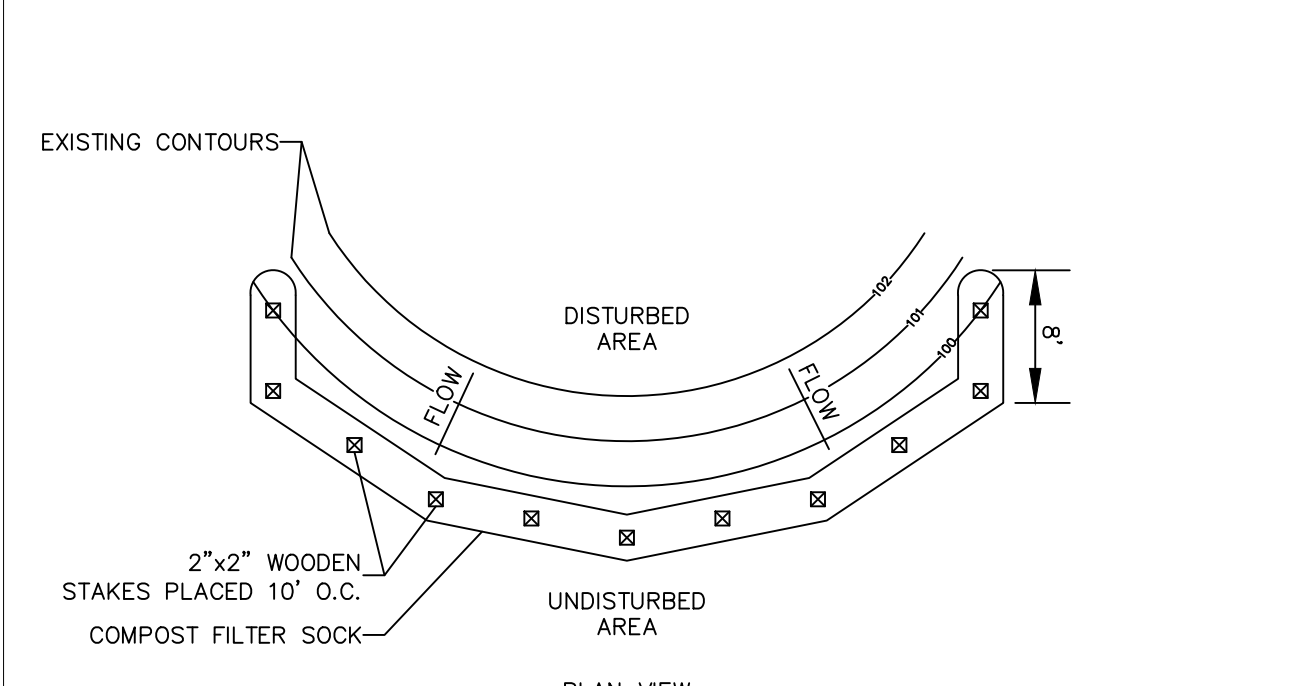
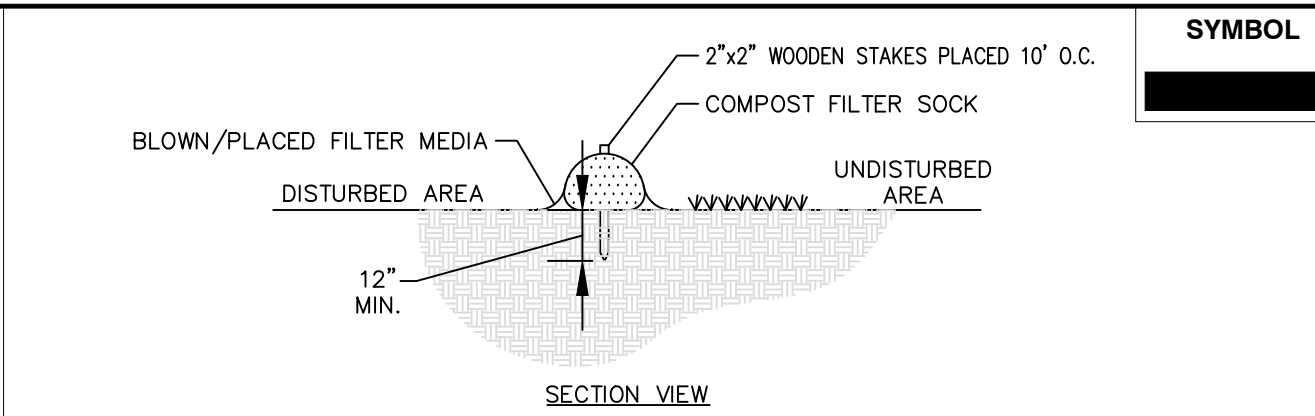
SITE CONSTRUCTION CONTRACTOR: _____

CONTRACTOR ADDRESS: _____

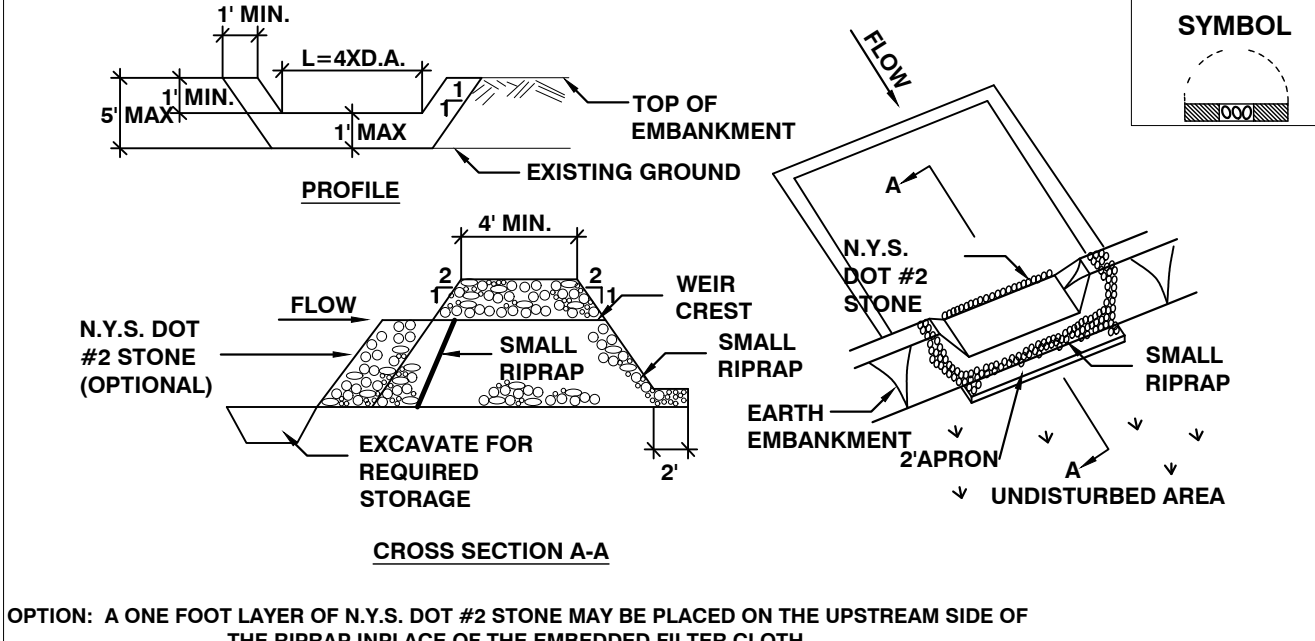
CONTRACTOR PHONE #: _____

CONTRACTOR SIGNATURE: _____ TITLE: _____

DATE: _____

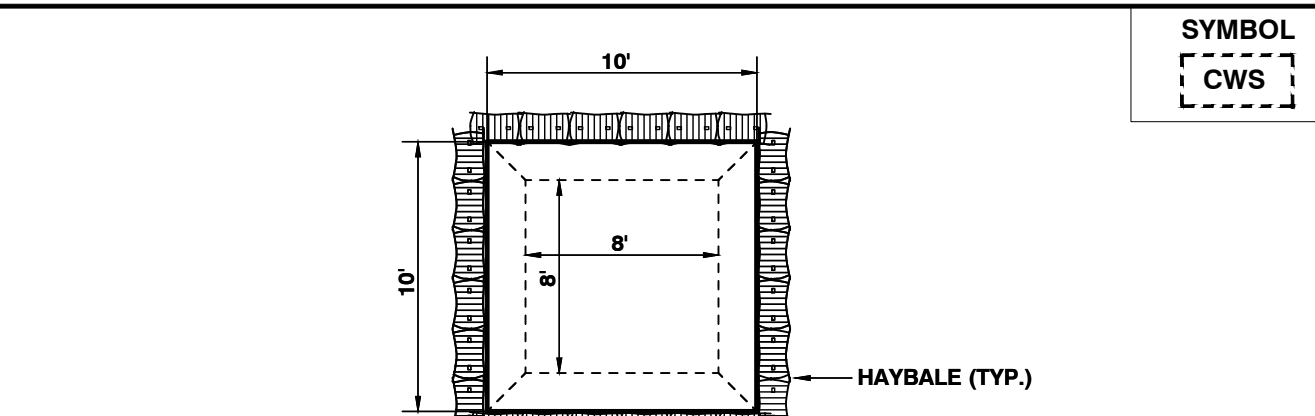


COMPOST FILTER SOCK



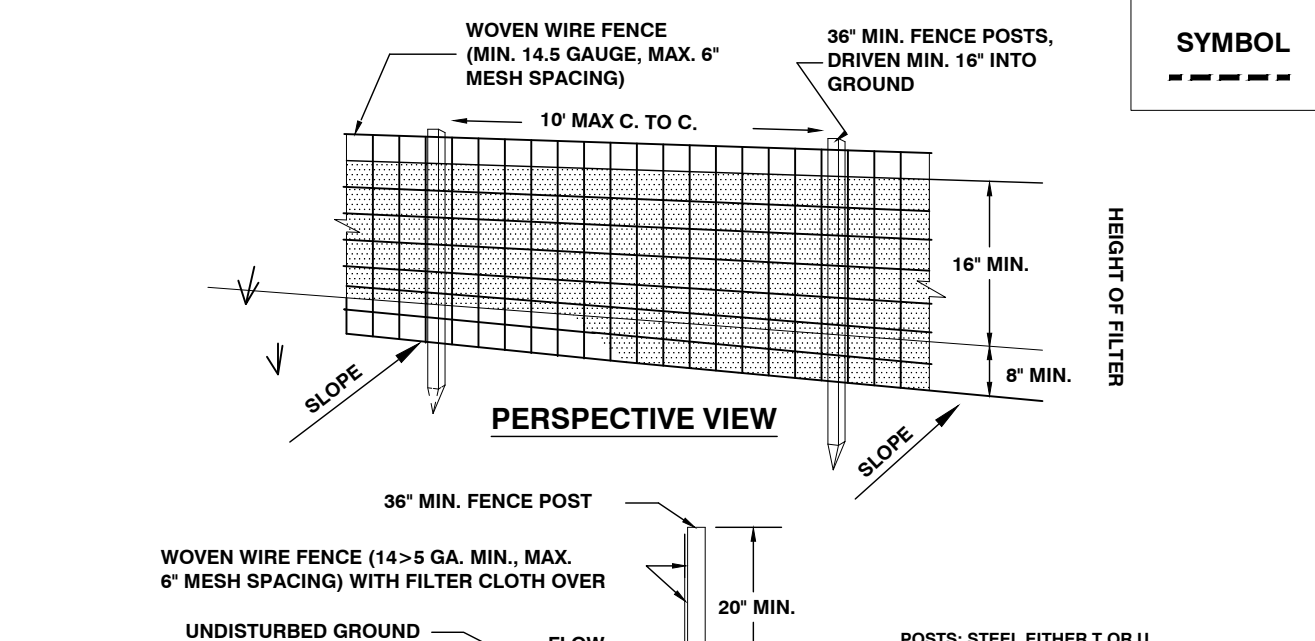
- CONSTRUCTION SPECIFICATIONS**
- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
 - THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
 - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
 - THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
 - SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP.
 - THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION IS MINIMIZED.
 - THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- MAXIMUM DRAINAGE AREA 5 ACRES

SEDIMENT TRAP & DEWATERING DETAIL



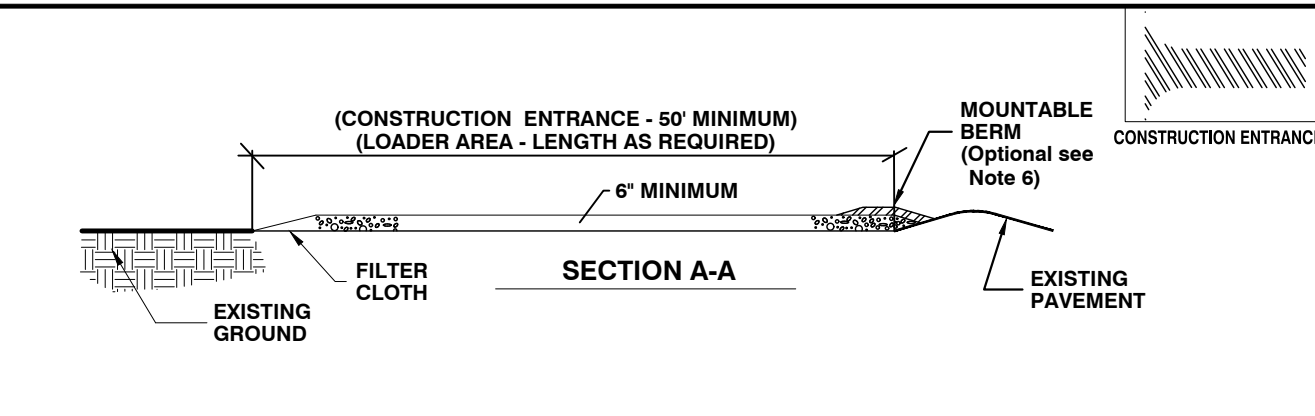
- CONSTRUCTION SPECIFICATIONS**
- THE LINER SHALL BE PLASTIC SHEETING WITH A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEARS, AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN EARTH REIN. SAND BAGS, STONE, OR OTHER STRUCTURAL APPROPRIATE EXCEPT AT THE ACCESS POINT.
 - LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS. PREVENT SURFACE WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD. PROVIDE APPROPRIATE ACCESS WITH A GRAVEL ACCESS ROAD SLOPED DOWN TO THE STRUCTURE. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.
 - ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. EXCESS RUNOFF THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA SUCH AS A GRASS FILTER STRIP.
 - ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED, ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
 - DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED GATHILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
 - THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
 - INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

TYPICAL CONCRETE TRUCK WASHOUT DETAIL



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.
- | SLOPE STEEPNESS | MAXIMUM LENGTH |
|-----------------|----------------|
| 2:1 | 25 |
| 3:1 | 50 |
| 4:1 | 75 |
| 6:1 OR FLATTER | 100 |
2. EXC. DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1 ACRE PER 100' OF FENCE, WITH MAXIMUM PONING DEPTH OF 1.5' BEHIND THE FENCE.

SILT FENCING DETAIL



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" MIN. STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 25 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BEEM WITH 6:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP PRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CONSTRUCTION ENTRANCE DETAIL

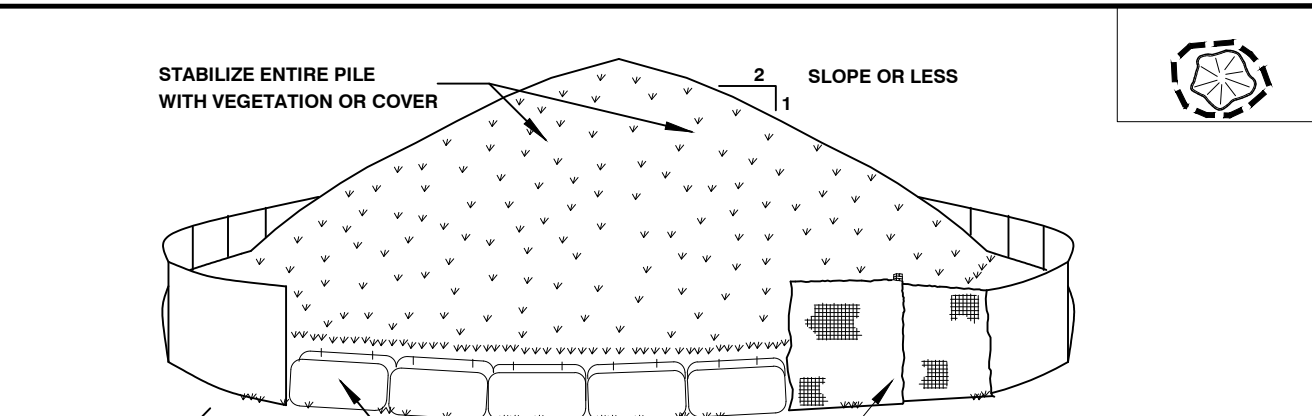
- SEEDING NOTES:**
- EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING SLOPES (3:1)
- TEMPORARY SEEDING -
SUMMER SEASON - GERMAN MILLET @ 40 LBS PER ACRE
WINTER SEASON - RYE GRASS @ 120 LBS PER ACRE
- PERMANENT SEEDING - SPRING/FALL
TALL FESCUE @ 100 LBS PER ACRE
KOBLE LESPEZEA @ 10 LBS PER ACRE
BARIAGRASS @ 25 LBS PER ACRE
RYE GRASS @ 40 LBS PER ACRE
- 4) GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF N.Y. STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- 5) SEEDED AREAS SHALL BE MULCHED AS REQUIRED:
- MID-SUMMER, LATE FALL OR WINTER APPLY AT A RATE OF 100 LBS/1,000 SQ.FT. GRAIN STRAW, COVER WITH NETTING AND STAPLE TO THE SLOPE.
 - SPRING OR EARLY FALL APPLY AT A RATE OF 45 LBS/1,000 SQ.FT. WOOD FIBER IN A HYDRO SEEDER SLURRY.

LANDGRADING SPECIFICATIONS

- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE 'STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS'.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.
- ALL DISTURBED AREAS THAT WILL REMAIN PERVIOUS WILL BE REQUIRED TO MEET TABLE 5.3 SOIL RESTORATION REQUIREMENTS FOUND ON SHEET #8 OF THIS PLAN SET.

ADDITIONAL SITE SPECIFIC CONSTRUCTION NOTES:

- ALL EROSION CONTROL MEASURES AS SHOWN ON THE ORIGINAL APPROVED PLAN SHALL BE CLOSELY FOLLOWED. ADDITIONAL SILT FENCE SHALL BE INSTALLED DOWNSTREAM OF THE SEDIMENT TRAP AREAS.
- ALL SEDIMENT TRAP SOIL SHALL BE STOCKPILED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DETERIORATION OF THE STOCKPILES.
- THE USE OF TEMPORARY CHAIN LINK FENCE IS ENCOURAGED TO PREVENT UNAUTHORIZED ACCESS TO THE CONSTRUCTION AREA.
- ONE MEASURING POLE OF NON-DETERIORATING MATERIAL SHALL BE PROVIDED WITHIN EACH SEDIMENT TRAP. THE POLES SHALL BE INSTALLED SUCH THAT OVERTURNING MOVEMENT DOES NOT OCCUR. A SWATH OF PAINT SHALL BE PROVIDED ON THE POLE TO THE FOLLOWING ELEVATION FOR EACH SEDIMENT TRAP. ACCUMULATION OF SEDIMENT TO THE TOP OF THE SWATH (ELEVATION SPECIFIED) SHALL SERVE TO INDICATE THAT THE SEDIMENT SHALL BE REMOVED AND THE TRAP SHALL BE RESTORED TO ITS ORIGINAL DIMENSIONS.
- PRIOR TO THE START OF SITE CONSTRUCTION, THE SITE CONTRACTOR SHALL MEET WITH THE TOWN ENGINEER AND STATE HIGHWAY DEPARTMENT TO DISCUSS THE POSTING OF CONSTRUCTION WARNING SIGNS TO ALERT DRIVERS OF THE ACTIVITY NEAR THE CONSTRUCTION SITE. A MPT PLAN SHALL BE DEVELOPED AT THE TIME OF A HYDROT PERMIT SUBMISSION.
- ITEMS LOCATED IN THE SWPPP REPORT ON FILE WITH THE TOWN OF WAPPINGER PLANNING OFFICE:
BACKGROUND INFORMATION ABOUT THE SCOPE OF THE PROJECT, INCLUDING LOCATION, TYPE AND SIZE OF PROJECT.
A DESCRIPTION OF PRE-POST DEVELOPMENT CONDITIONS FOR PROJECT SITE DRAINAGE AREA.
A DELINEATION OF PRE-POST DEVELOPMENT DRAINAGE BOUNDARIES.
HYDROLOGIC AND HYDRAULIC ANALYSIS OF ALL STRUCTURAL DETAILS FOR POST DEVELOPMENT PRACTICES.
A COMPARISON OF PRE-POST DEVELOPMENT RUNOFF VALUES
LONG TERM MAINTENANCE OF DRAINAGE FACILITIES.



- INSTALLATION NOTES**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION.
- TOPSOIL STOCKPILE DETAIL**
- INSTALLATION INSTRUCTIONS**
- T-POST SHOULD BE PLACED A MAXIMUM OF 10 FEET APART
 - VERTICAL STRAND OF FENCE SHOULD BE SANDWICHED BETWEEN FLAT SIDE OF T-POST AND 1X2" WOOD SLAT
 - WIRE TIES OR PLASTIC CABLE TIES CAN THEN BE USED TO SECURE THE SLAT AND FENCE STRAND TO THE T-POST.
- SPlicing INSTRUCTIONS**
- TO CONNECT FENCE SECTIONS, OVERLAP 2 STRAND SECTION FROM EACH END AND WEAVE A 1X2" SLAT THROUGH THE OVERLAPPED STRANDS
 - FENCE SHOULD BE TENSIONED BY HAND ONLY DO NOT USE MECHANICAL TENSIONERS
- ORANGE CONSTRUCTION FENCE DETAIL**

STOCKPILE & FENCING DETAIL

- DESCRIPTION OF EROSION CONTROL PRACTICES**
- TEMPORARY SWALE - A TEMPORARY EXCAVATED DRAINAGE WAY. THE PURPOSE OF A TEMPORARY SWALE IS TO PREVENT RUNOFF FROM ENTERED DISTURBANCE AREAS BY INTERCEPTING AND DIVERTING IT TO A STABILIZED OUTLET OR TO INTERCEPT SEDIMENT LADEN WATER AND DIVERT IT TO A SEDIMENT TRAPPING DEVICE.
- SILT FENCE - A TEMPORARY BARRIER OF GEOTEXTILE FABRIC (FILTER CLOTH) USED TO INTERCEPT SEDIMENT LADEN RUNOFF FROM SMALL DRAINAGE AREAS OF DISTURBED SOIL. THE PURPOSE OF A SILT FENCE IS TO REDUCE RUNOFF VELOCITY AND EFFECT DEPOSITION OF TRANSPORTED SEDIMENT LOAD. LIMITS IMPOSED BY ULTRAVIOLET STABILITY OF THE FABRIC WILL DICTATE THE MAXIMUM PERIOD THE SILT FENCE MAY BE USED.
- CHECK DAM - SMALL TEMPORARY STONE DAMS CONSTRUCTED ACROSS A DRAINAGE WAY. THE PURPOSE IS TO REDUCE EROSION IN A DRAINAGE CHANNEL BY RESTRICTING THE VELOCITY OF FLOW IN THE CHANNEL.
- STABILIZED CONSTRUCTION ENTRANCE - A STABILIZED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC RIGHT OF WAY, STREET ALLEY, SIDEWALK OR PARKING. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS.
- DUST CONTROL - THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES. THE PURPOSE IS TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS, AND TRAFFIC SAFETY PROBLEMS.
- ROCK OUTLET PROTECTION - A SECTION OF ROCK PROTECTION PLACED AT THE OUTLET AND OF THE CULVERTS, CONDUITS, OR CHANNELS. THE PURPOSE OF THE ROCK OUTLET PROTECTION IS TO REDUCE THE DEPTH, VELOCITY, AND ENERGY OF THE WATER, SUCH THAT THE FLOW WILL NOT ERODE THE RECEIVING DOWNSTREAM REACH. SEE EROSION CONTROL PLAN FOR FURTHER DETAIL.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE

 04-20-22
 02-15-22
 09-21-20
 2020.132 License No. 083970

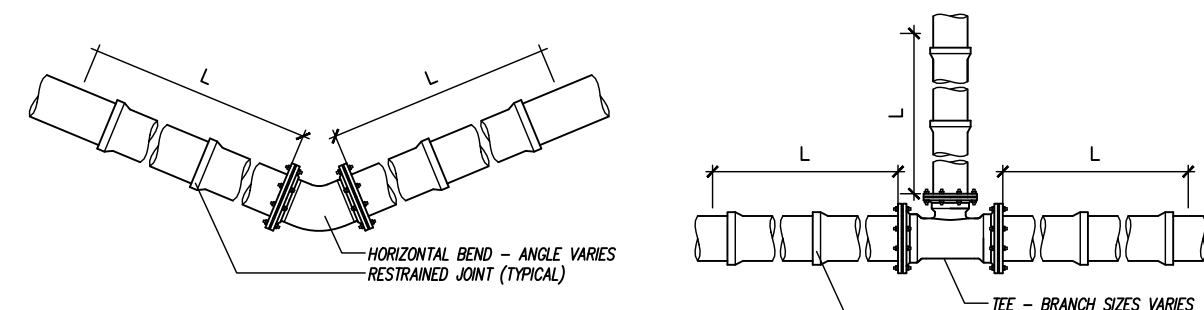
DAY STOKOSA ENGINEERING P.C.

3 Van Wyck Lane
 Suite 2
 Wappingers Falls, New York 12590
 (845) 223-3202

PROJECT
 Delavergne Ave Sub.
 Town of Poughkeepsie Dutchess County, New York

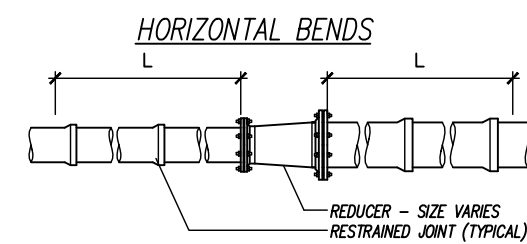
EROSION & SEDIMENT CONTROL DETAILS

SCALE	OWNED BY	DRAWING NO.
AS NOTED	BJS	C550
DATE	CHECKED BY	
6-17-20	BJS	

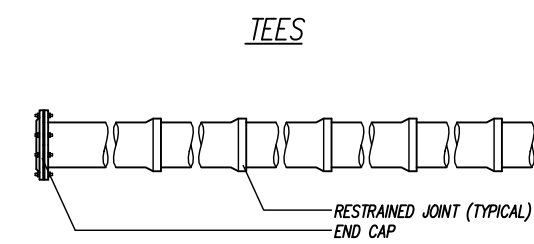


ANGLE	4" #	6" #	8" #	10" #	12" #	14" #	16" #
11.25°	4"	6"	7"	8"	10"	12"	14"
22.5°	6"	11"	15"	18"	21"	25"	28"
33°	8"	15"	20"	24"	28"	33"	38"
45°	10"	18"	24"	31"	38"	45"	53"
60°	12"	21"	28"	35"	42"	50"	58"
90°	14"	24"	31"	38"	45"	53"	61"

MAIN SIZE	4" #	6" #	8" #	10" #	12" #	14" #	16" #
4" #	2"	4"	4"	4"	4"	4"	4"
6" #	2"	4"	4"	4"	4"	4"	4"
8" #	2"	4"	4"	4"	4"	4"	4"
10" #	2"	4"	4"	4"	4"	4"	4"
12" #	2"	4"	4"	4"	4"	4"	4"
14" #	2"	4"	4"	4"	4"	4"	4"



MAIN SIZE	3" #	4" #	6" #	8" #	10" #	12" #	14" #
3" #	N/A	N/A	N/A	N/A	N/A	N/A	N/A
4" #	N/A	2"	N/A	N/A	N/A	N/A	N/A
6" #	N/A	2"	2"	N/A	N/A	N/A	N/A
8" #	N/A	2"	2"	2"	N/A	N/A	N/A
10" #	N/A	2"	2"	2"	2"	N/A	N/A
12" #	N/A	2"	2"	2"	2"	2"	N/A
14" #	N/A	2"	2"	2"	2"	2"	2"



MAIN SIZE	4" #	6" #	8" #	10" #	12" #	14" #	16" #
4" #	2"	4"	4"	4"	4"	4"	4"
6" #	2"	4"	4"	4"	4"	4"	4"
8" #	2"	4"	4"	4"	4"	4"	4"
10" #	2"	4"	4"	4"	4"	4"	4"
12" #	2"	4"	4"	4"	4"	4"	4"
14" #	2"	4"	4"	4"	4"	4"	4"

REDUCERS

PIPE TERMINATIONS

ALL WATER MAINS SHALL BE CLASS 52 DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI/AWWA C150/A21.50 FOR A MINIMUM 150 PSI (OR PROJECT REQUIREMENTS, WHICHEVER IS GREATER) RATED WORKING PRESSURE PLUS A 100 PSI SURGE ALLOWANCE (IF ANTICIPATED SURGE PRESSURES ARE OTHER THAN 100 PSI, THE ACTUAL ANTICIPATED PRESSURE SHOULD BE USED); A 2 TO 1 FACTOR OF SAFETY ON THE SUM OF WORKING PRESSURE PLUS SURGE PRESSURE; TYPE LAYING CONDITION AND A DEPTH OF COVER OF 5 FEET.

DUCTILE IRON PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI/AWWA C151/A21.51. EACH PIPE SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE TEST OF AT LEAST 500 PSI AT THE POINT OF MANUFACTURE.

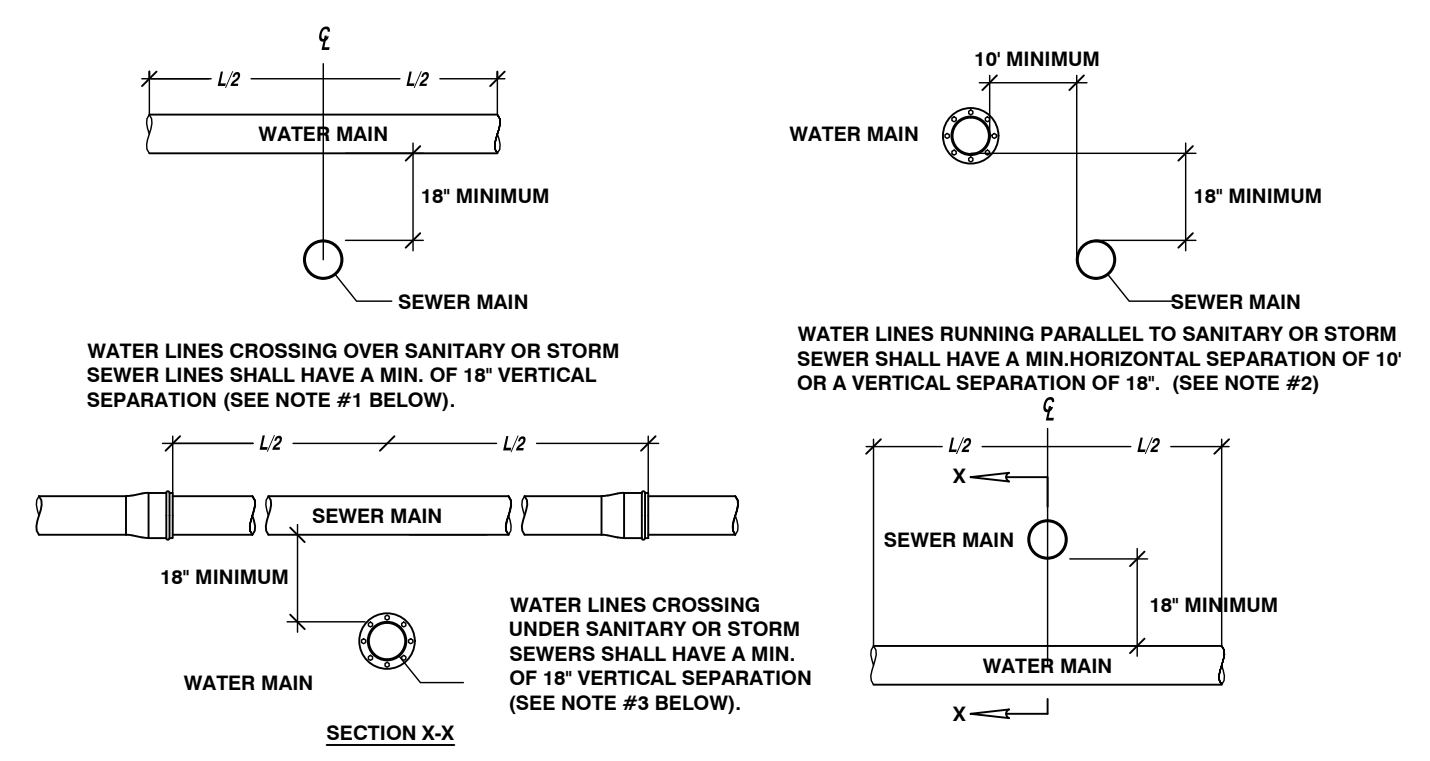
PIPE SHALL HAVE STANDARD ASPHALTIC COATING ON THE EXTERIOR. PIPE SHALL ALSO HAVE A CEMENT-MORTAR LINING ON THE INTERIOR IN ACCORDANCE WITH ANSI/AWWA C104/A21.4, OF LATEST REVISION. THE CLASS OR NOMINAL THICKNESS, NET WEIGHT WITHOUT LINING, AND CASTING PERIOD SHALL BE CLEARLY MARKED ON EACH LENGTH OF PIPE. ADDITIONALLY, THE MANUFACTURER'S MARK, COUNTRY WHERE CAST, YEAR IN WHICH THE PIPE WAS PRODUCED, AND THE LETTERS "DI" OR "DUCTILE" SHALL BE CAST OR STAMPED ON THE PIPE.

ALL PIPE SHALL BE FURNISHED WITH MECHANICAL TYPE JOINTS, SUCH AS MUGALUG. JOINTS SHALL BE IN ACCORDANCE WITH ANSI/AWWA C111/A21.11, OF LATEST REVISION, AND BE FURNISHED COMPLETE WITH ALL NECESSARY ACCESSORIES.

FITTINGS SHALL BE DUCTILE IRON. FITTINGS SHALL CONFORM TO THE LATEST REVISION OF EITHER ANSI/AWWA C110/A21.10 OR ANSI/AWWA C153/A21.53.

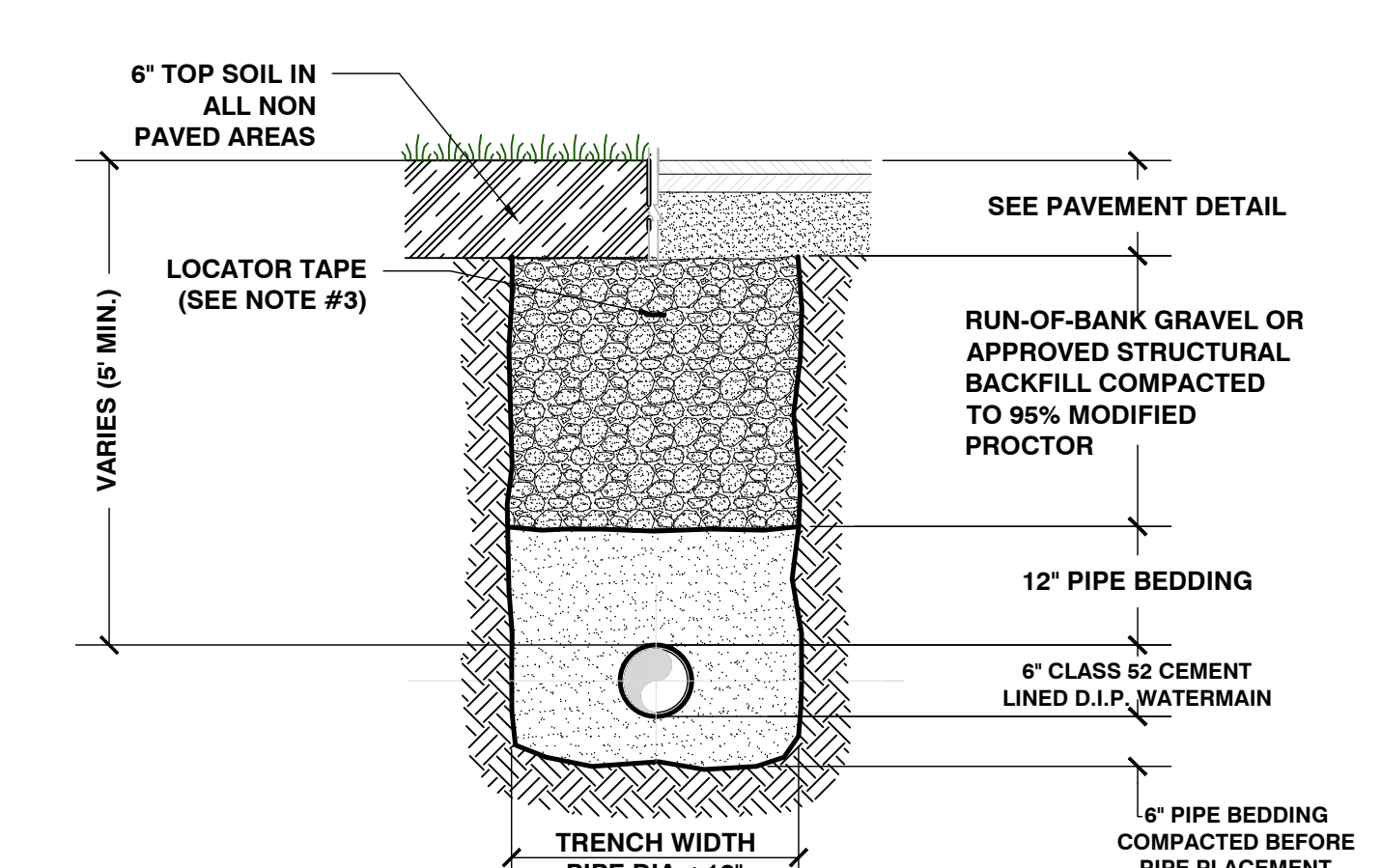
ALL PIPE, FITTINGS AND ACCESSORIES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI/AWWA C600. NEWLY INSTALLED DUCTILE IRON WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE LATEST REVISION OF ANSI/AWWA C651 PRIOR TO PLACING IN SERVICE.

1 RESTRAINED PIPE LENGTHS FOR VARIOUS CONNECTIONS
NOT TO SCALE



- NOTES:
1. WATER LINES CROSSING OVER SANITARY OR STORM SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" FROM TOP OF SEWER TO BOTTOM OF WATER LINE.
 2. WATER LINES RUNNING PARALLEL TO SANITARY OR STORM SEWERS SHALL HAVE A MINIMUM OF 10" HORIZONTAL SEPARATION. WHEN 10" OF HORIZONTAL SEPARATION CANNOT BE MAINTAINED, A MINIMUM OF 18" VERTICAL SEPARATION FROM THE BOTTOM OF THE WATER MAIN AND TOP OF SEWER SHALL BE MAINTAINED PROVIDED THAT THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER. SANITARY SEWERS LOCATED NEARER THAN THIS MINIMUM SEPARATION REQUIREMENT SHALL BE WATER WORKS GRADE 150 PSI PRESSURE PIPE MEETING AWWA STANDARDS OR PIPE APPROVED BY THE APPROVING AUTHORITY AND PRESSURE TESTED TO ENSURE WATER TIGHTNESS.
 3. WATER LINES CROSSING UNDER SANITARY OR STORM SEWERS SHALL HAVE THE FOLLOWING:
 - A. A MINIMUM VERTICAL SEPARATION OF 18" FROM THE TOP OF THE WATER MAIN TO THE BOTTOM OF THE SEWER LINE (UNLESS OTHERWISE SHOWN).
 - B. ADDITIONAL STRUCTURAL SUPPORT FOR THE SEWER TO PREVENT DEFLECTION OF THE SEWER LINE.
 - C. AN 18" FOOT MINIMUM LENGTH OF JOINTS OF THE SEWER MAIN ARE EQUIDISTANT FROM THE CENTERLINE OF THE WATER MAIN.
 4. WHERE WATER AND SEWER SEPARATION CANNOT BE MAINTAINED IN ACCORDANCE WITH THIS DETAIL, OR INSTANCES WHERE IT IS OTHERWISE SPECIFIED AND APPROVED IN THIS PLAN SET, UTILITY ENCASEMENT (PIPE SLEEVE) SHALL BE AN ACCEPTABLE MEANS TO MITIGATE THE INABILITY TO PROVIDE SAID MINIMUM HORIZONTAL AND/OR VERTICAL SEPARATION.
 5. ALL INSTANCES WHERE MITIGATION FOR SUBSTANDARD UTILITY SEPARATION IS PROVIDED SHALL BE WITNESSED AND DOCUMENTED BY THE PROFESSIONAL SUPERVISING INSTALLATION AND INCLUDED AS PART OF ANY REQUIRED CERTIFICATION OF COMPLETED WORKS AND AS-BUILT SURVEY.

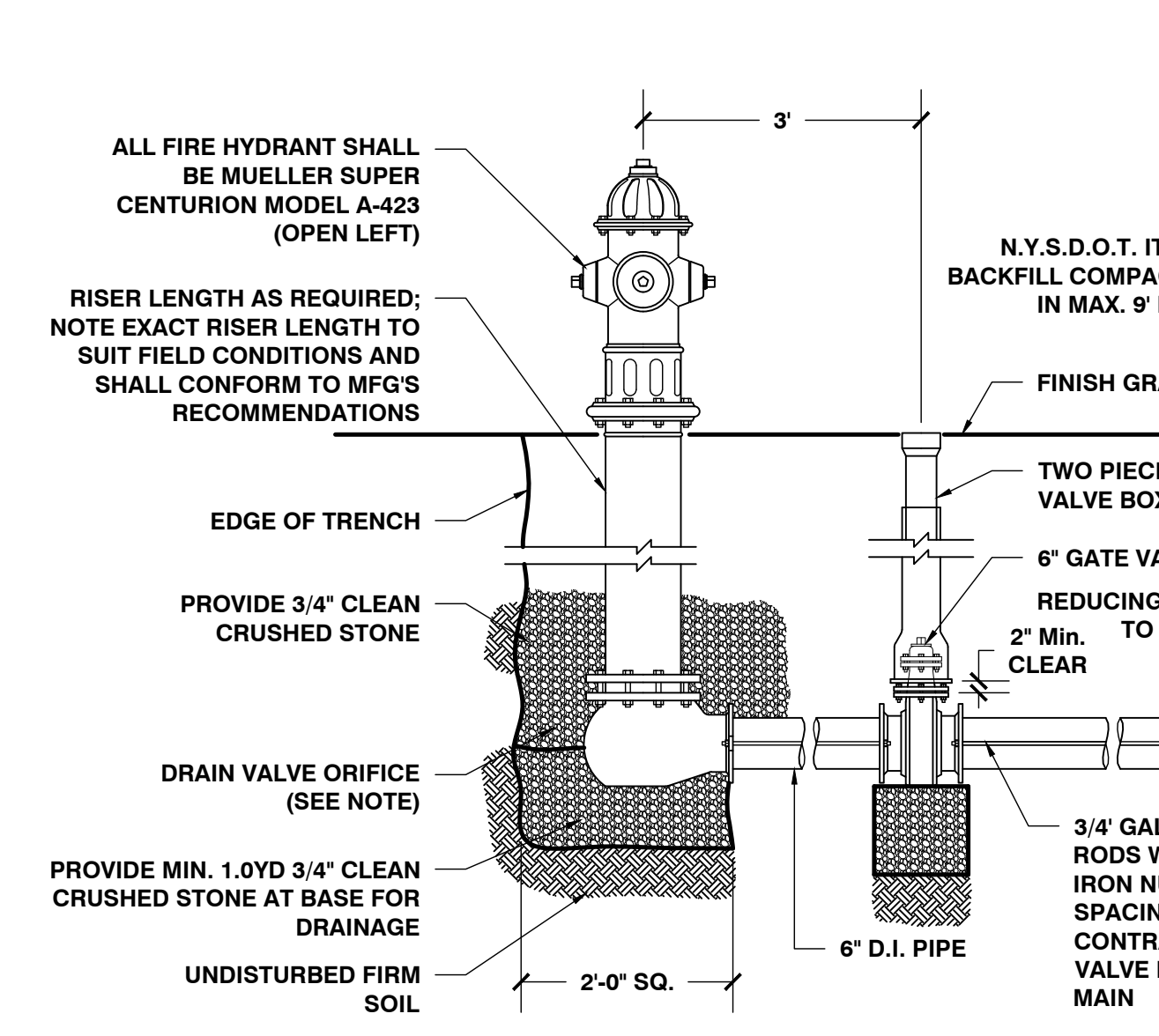
2 WATER & SEWER SEPARATION
NOT TO SCALE



- NOTES:
1. THE BACKFILL SHALL BE FREE FROM ORGANICS, BOULDERS, FROZEN SOILS OR OTHER DELETERIOUS MATERIAL.
 2. ALL WATER MAIN SHALL BE CLASS 52 DUCTILE IRON PIPE WITH PUSH-ON BRONZE WEDGES PER JOINT.
 3. THE CONTRACTOR SHALL PROVIDE A METAL WARNING TAPE 2' BELOW FINISHED GRADE. THE TAPE SHALL BE BLUE WITH "WARNING WATER LINE BELOW" WRITTEN IN BLACK LETTERING ALONG ITS ENTIRE LENGTH.

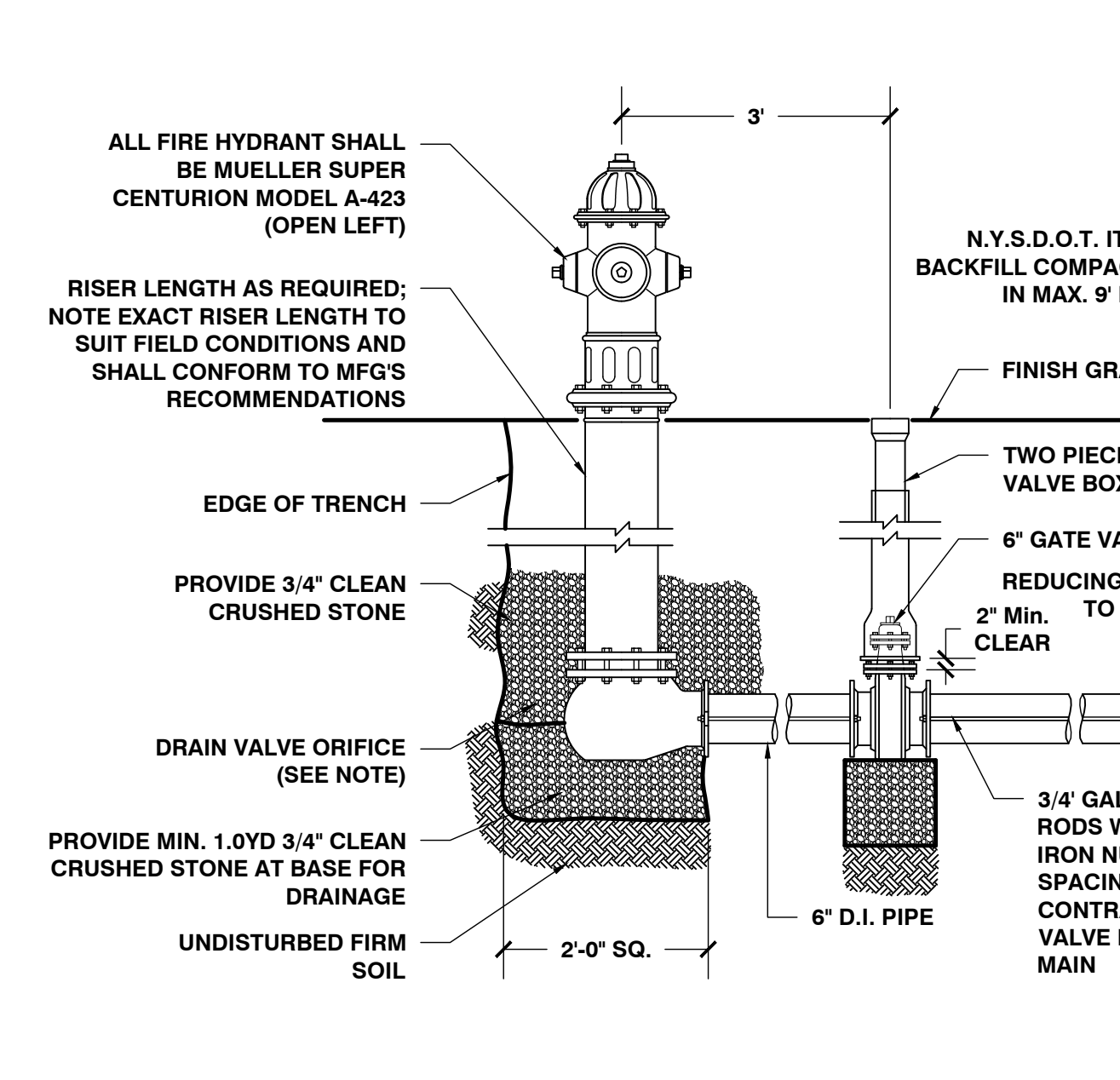
4 WATER MAIN TRENCH DETAIL
NOT TO SCALE

3 TYPICAL WATER SERVICE LINE DETAIL
NOT TO SCALE



- NOTES:
1. INSTALLATION OF CORPORATION STOPS SHALL BE MADE AT THE 12:00 O'CLOCK POSITION.
 2. SERVICE LINE SHALL HAVE NO JOINTS BETWEEN THE WATER MAIN AND CURB BOX.
 3. SERVICE TAPS SHALL CONFORM TO A.W.W.A. STANDARDS.
 4. BACKFILLING SHALL CONFORM TO A.W.W.A. STANDARDS.
 5. SERVICE LINES SHALL BE 3/4" Ø K-COPPER, CONFORMING TO A.S.T.M. 888 OR AS OTHERWISE NOTED.
 6. A GOOSE NECK SHALL BE PROVIDED.
 7. CURB BOXES SHALL HAVE FOOTINGS AND FOOT PIECES.
 8. VALVES AND FITTINGS SHALL CONFORM TO A.W.W.A. C800.
 9. SERVICE LINES TO BE DISINFECTED IN ACCORDANCE WITH A.W.W.A. 651.
 10. SERVICE LINES SHALL BE VISIBLY TESTED FOR LEAKS PRIOR TO BACKFILLING ENTIRE PIPE. ALL FITTINGS SHALL BE CHECKED.
 11. A WATER METER CONFORMING TO A.W.W.A. STANDARDS SHALL BE INSTALLED.
 12. NO FITTINGS SHALL BE INSTALLED BETWEEN THE CORPORATION COCK AND THE CURB VALVE.
 13. ALL FITTINGS AND VALVES TO BE COMPRESSION FITTINGS.
 14. ANY WATER LINE OVER 100' IN LENGTH SHALL BE INCREASED TO 1.0" Ø TYPE "K" COPPER LINE.
 15. THE HOMEOWNER IS RESPONSIBLE FOR THE EXPENSES TO PROVIDE WATER SERVICE TO THE PROPOSED PARCELS.
 16. AFTER INSTALLATION, THE PROPERTY OWNERS' ARE RESPONSIBLE FROM THE CURB BOX TO THE HOUSE.

5 FIRE HYDRANT INSTALLATION DETAILS
NOT TO SCALE



- NOTES:
1. HYDRANT SHALL BE DRY-BARREL HYDRANT, TYPE MUELLER SUPER CENTURION, IN ACCORDANCE WITH AWWA C502. HYDRANTS SHALL HAVE A MAIN VALVE SIZE OPENING OF FIVE INCHES NOMINAL, ONE FOUR-AND-ONE-HALF INCH NST PUMPER NOZZLE, TWO TWO-AND-ONE-HALF INCH NST HOSE NOZZLES, A ONE-AND-ONE-HALF INCH PENTAGON OPERATING NUT AND A SIX-INCH MECHANICAL JOINT INLET SHOW CONNECTION WITH ACCESSORIES. THE HYDRANT DIRECTION OF OPENING SHALL BE LEFT (COUNTERCLOCKWISE).
 2. ALL TEES, VALVES AND FITTING TO INCLUDE RESTRAINT IN THE FORM OF MEGA-LUG RETAINER GLANDS AND RODS.
 3. HYDRANT SPACING MAY RANGE FROM 350' TO A MAXIMUM OF 600'
 4. HYDRANTS SHALL BE LOCATED 6' FROM THE EDGE OF THE ROADWAY

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE	
Date:	04-20-22
Revised:	02-15-22
Project No:	09-21-20
Scale:	2020.132
License No. 083970	

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PROJECT
Delavergne Ave Sub.
Town of Poughkeepsie Dutchess County, New York

WATER SYSTEM DETAILS

SCALE	DRAWN BY	DRAWING NO.
AS NOTED	BJS	C560
DATE	CHECKED BY	
6-17-20	BJS	

Sec. 4.1 Forms of Chlorine for Disinfection

The forms of chlorine that may be used in the water main disinfection operations are liquid chlorine (gas), sodium hypochlorite solution, and calcium hypochlorite granules or tablets.

4.1.1 Liquid chlorine (gas).

Liquid chlorine (gas) conforming to ANSI/ AWWA B301 contains 100 percent available chlorine and is packaged in steel containers usually of 100-lb, 150-lb, or 1-ton (45.4-kg, 68.0-kg, or 907.2-kg) net chlorine weight. Liquid chlorine (gas) shall be used only (1) in combination with appropriate gas flow chlorinators and ejectors to provide a controlled high-concentration chlorine feed to the water to be chlorinated, (2) under the direct supervision of someone familiar with the biological, chemical, and physical properties of liquid chlorine (gas) and who is trained and equipped to handle any emergency that may arise; and (3) when appropriate safety practices are observed to protect working personnel and the public. Makershelf equipment is not acceptable when liquid chlorine (gas) cylinders are used.

4.1.2 Sodium hypochlorite.

Sodium hypochlorite conforming to ANSI/ AWWA B300 is available in liquid form in glass, rubber-lined, or plastic containers typically ranging in size from 1 qt (0.95 L) to 5 gal (18.92 L). Containers of 30 gal (113.6 L) or larger may be available in some areas. Sodium hypochlorite contains approximately 5 percent to 15 percent available chlorine, and the storage conditions and time must be controlled to minimize its deterioration. (Available chlorine is expressed as a percent of weight when the concentration is 5 percent or less, and usually as a percent of volume for higher concentrations. Percent \times 10 = grams of available chlorine per liter of hypochlorite.)

4.1.3 Calcium hypochlorite.

Calcium hypochlorite conforming to ANSI/ AWWA B300 is available in granular form or in 5-gal tablets and must contain approximately 65 percent available chlorine by weight. The material should be stored in a cool, dry, and dark environment to minimize its deterioration. Caution: Tablets dissolve in approximately 7 hr and must be given adequate contact time. Do not use calcium hypochlorite intended for swimming pool disinfection, as this material has been sequestered and is extremely difficult to eliminate from the pipe after the desired contact time has been achieved.

Sec. 4.2 General Considerations for All Methods of Chlorination

4.2.1 General.

Four methods of chlorination are explained in this section: tablet, continuous feed, slug, and spray. The tablet method gives an initial chlorine dose of 25 mg/L; the continuous-feed method gives a 24-hr chlorine residual of not less than 10 mg/L; the slug method gives a 3-hr exposure of not less than 50 mg/L free chlorine; and the spray method gives a 30-min exposure of not less than 200 mg/L free chlorine. Caution should be used with highly chlorinated water when conducting hydrostatic pressure testing and with high-volume flushing of water.

4.2.2 Flushing.

Potable water shall be used for disinfection, hydrostatic pressure testing, and flushing. Drainage should take place away from the construction or work area. Adequate drainage must be provided during flushing. If applicable, the valve(s) isolating the main from existing system should be locked out and tagged out to prevent unintentional release of the elevated chlorine residual water used for disinfection.

4.2.3 De-chlorination.

When de-chlorination is required, it is recommended that any high-velocity flushing be completed prior to disinfection. De-chlorination equipment may not be capable of handling high flows with high levels of chlorine.

Sec. 4.3 Tablet/Granule Method of Chlorination

(Tablet/Granule method not acceptable for chlorination by local Health Department)

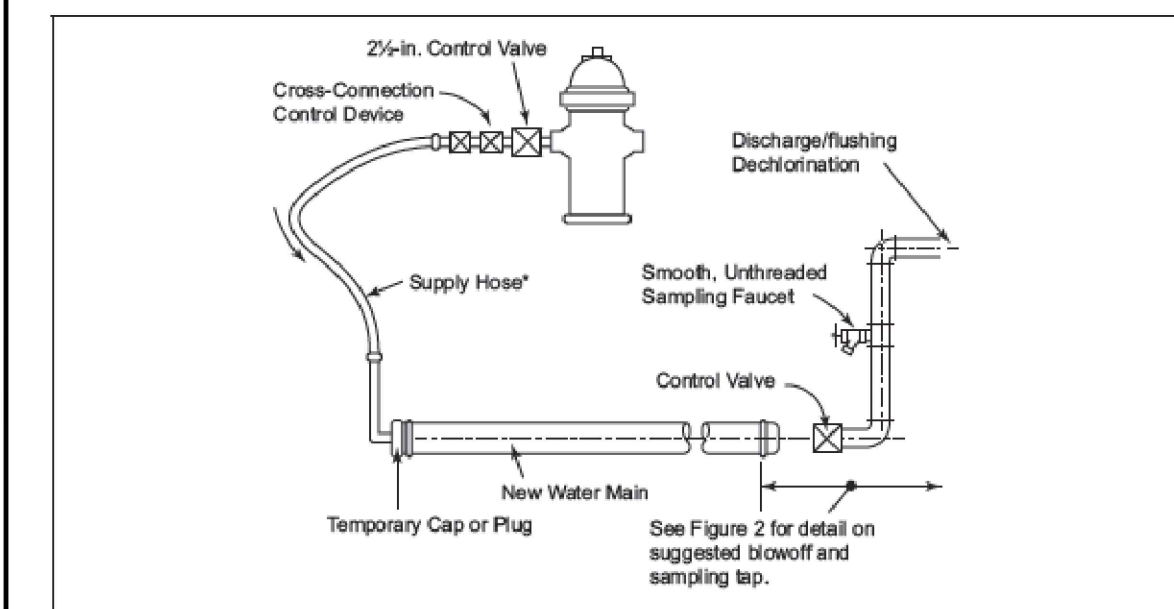
Sec. 4.4 Continuous-Feed Method of Chlorination

4.4.1 Continuous-feed method.

The continuous-feed method consists of completely filling the main with potable water, removing air pockets, then flushing the completed main to remove particulates, and refilling the main with potable water that has been chlorinated to 25 mg/L. After a 24-hr holding period in the main there shall be a free chlorine residual of not less than 10 mg/L.

4.4.2 Preliminary flushing.

Before the main is chlorinated, it shall be filled with potable water to eliminate air pockets and flushed to remove particulates. The flushing velocity in the main shall not be less than 3.0 ft/sec (0.91 m/sec) unless the purchaser determines that conditions do not permit the required flow to be discharged to waste. Table 3 shows the rates of flow required to produce a velocity of 3.0 ft/sec (0.91 m/sec) in commonly used sizes of pipe. (Note: flushing is no substitute for preventive measures during construction. Certain contaminants, such as caked deposits, resist flushing at any feasible velocity, and pigging of the main, or other suitable method acceptable to the purchaser, may be required.) Where such flow rates are not possible, flushing at the maximum expected flow rate for the line for 2-3 volumes may be acceptable. For larger mains, pigging (or other suitable method acceptable to the purchaser) is an option in place of high velocity flushing.



NOTE: Figure 1 applies to pipes with diameters 4 in. (100 mm) through 12 in. (300 mm). Larger sizes must be handled on a case-by-case basis.
*Clean potable-water hose only. Size and number of taps per Table 3. This hose must be removed during the hydrostatic pressure test.

Figure 1 Suggested temporary flushing/testing connection

Table 3 Required flow and openings (either taps or hydrants) to flush pipelines at 3.0 ft/sec (0.91 m/sec) (40 psi [276 kPa] residual pressure in water main)*

Pipe Diameter	Flow Required to Produce 3.0 ft/sec (approx.) Velocity in Main		Size of Tap Used, in. (mm)		Number of Hydrant Outlets
	gpm	(L/sec)	1 (25)	1 1/2 (38)	
4 (100)	120	(7.4)	1	—	1
6 (150)	260	(16.7)	—	1	1
8 (200)	470	(29.7)	—	2	1
10 (250)	730	(46.3)	—	3	2
12 (300)	1,060	(66.7)	—	3	2
16 (400)	1,880	(118.6)	—	5	2

*With a 40-psi (276-kPa) pressure in the main with the hydrant flowing to atmosphere, a 2 1/2-in. (64-mm) hydrant outlet will discharge approximately 1,000 gpm (63.1 L/sec), and a 4 1/2-in. (114-mm) hydrant outlet will discharge approximately 2,500 gpm (160 L/sec).

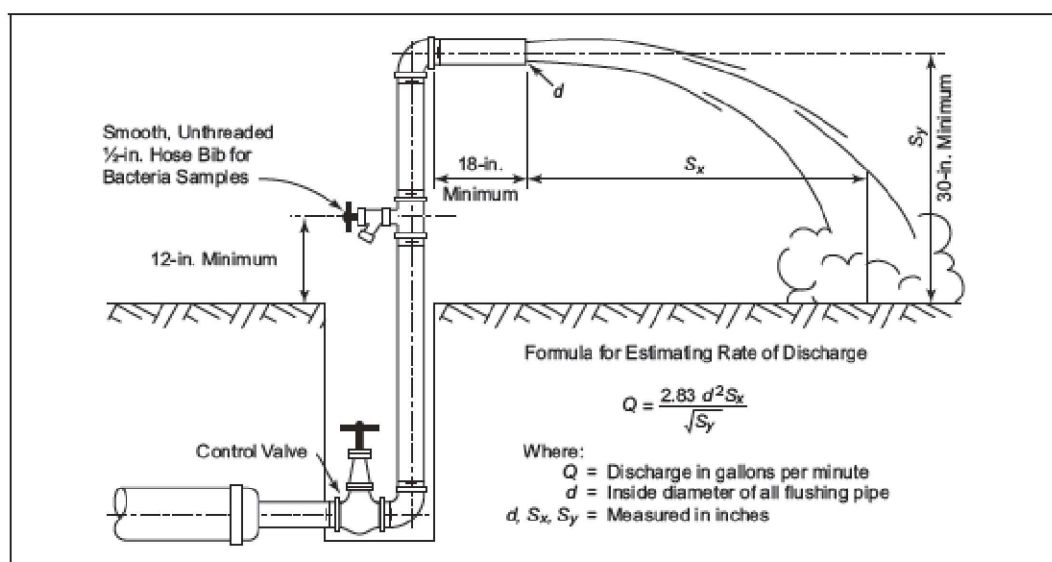
†Number of taps on pipe based on 3.0-ft/sec discharge through 5 ft (1.5 m) of galvanized iron (GI) pipe with one 90° elbow.

1 DISINFECTION OF WATER MAINS
AWWA C651-14 SECTION 4

For 24-in. (600-mm) or larger diameter mains, an acceptable alternative to flushing is to broom-sweep the main, carefully removing sweepings prior to filling and chlorinating the main. Warning: OSHA requirements for confined space need to be addressed before entering a pipeline.

4.4.3 Procedure for chlorinating the main.

- Potable water may be supplied from a temporary backflow-protected connection to the existing distribution system or other supply source approved by the purchaser. The cross-connection control device shall be consistent with the degree of hazard for backflow protection of the active distribution system (see Figure 1). The flow shall be at a constant, measured rate into the newly installed water main. In the absence of a meter, the rate may be approximated using a Pitot gauge in the discharge, measuring the time to fill a container of known volume, or measuring the trajectory of the discharge and using the formula shown in Figure 2. The main should undergo hydrostatic testing prior to disinfection.
- At a point not more than 10 ft (3 m) downstream from the beginning of the new main, water entering the new main shall receive a dose of chlorine fed at a constant rate such that the water will have not less than 25 mg/L free chlorine. To ensure that an appropriate concentration is achieved, the free chlorine concentration shall be measured at regular time intervals in accordance with the procedures described in Standard Methods for the Examination of Water and Wastewater or AWWA Manual M12, or using appropriate chlorine test kit (see appendix A). Table 4 gives the amount of chlorine required for each 100 ft (30.5 m) of pipe for various pipe diameters. Solutions with a minimum 1 percent chlorine concentration may be prepared with sodium hypochlorite or calcium hypochlorite. The latter solution requires 1 lb (454 g) of calcium hypochlorite in 8 gal (30.3 L) of water.



NOTE: This figure applies to pipes up to and including 8-in. (200-mm) diameter.
Figure 2 Suggested combination blowoff and sampling tap

Table 4 Chlorine required to produce an initial 25-mg/L concentration in 100 ft (30.5 m) of pipe by diameter

Pipe Diameter	100% Chlorine	1% Chlorine Solution
in. (mm)	lb (g)	gal (L)
4 (100)	0.013 (5.9)	0.16 (0.6)
6 (150)	0.030 (13.6)	0.36 (1.4)
8 (200)	0.054 (24.5)	0.65 (2.5)
10 (250)	0.085 (38.6)	1.02 (3.9)
12 (300)	0.120 (54.4)	1.44 (5.4)
16 (400)	0.217 (98.4)	2.60 (9.8)

- Chlorine application shall not cease until the entire main is filled with chlorinated water. The chlorinated water shall be retained in the main for at least 24 hr, during which time valves and hydrants in the treated section shall be operated to ensure disinfection of the appurtenances. At the end of this 24-hr period, the treated water in all portions of the main shall have a residual of not less than 10 mg/L of free chlorine.
- Direct-feed chlorinators, which operate solely from gas pressure in a chlorine cylinder, shall not be used for the application of liquid chlorine (gas). (The danger of using direct-feed chlorinators is that water pressure in the main can exceed gas pressure in the chlorine cylinder. This allows backflow of water into the cylinder, resulting in severe cylinder corrosion and the escape of chlorine gas.) The preferred equipment for applying liquid chlorine (gas) is a solution-feed, vacuum-operated chlorinator and a booster pump. The vacuum-operated chlorinator mixes the chlorine gas in solution water; the booster pump then injects the chlorine solution into the main to be disinfected. Hypochlorite solutions may be applied to the water main with a chemical-feed pump designed for feeding chlorine solutions. Feed lines shall be made of material capable of withstanding the corrosion caused by the concentrated chlorine solutions and the maximum pressures that may be created by the pumps. All connections shall be checked for tightness before the solution is applied to the main.

Sec. 4.5 Slug Method of Chlorination

4.5.1 Slug method.

The slug method consists of completely filling the main to eliminate air pockets; flushing the main to remove particulates; then slowly flowing through the main a slug of water dosed with chlorine to a concentration of 100 mg/L. The slow rate of flow ensures that all parts of the main and its appurtenances will be exposed to the highly chlorinated water for a period of not less than 3 hr.

4.5.2 Preliminary flushing. Same as Sec. 4.4.2.

4.5.3 Procedure for chlorinating the main.

- Potable water may be supplied from a temporary backflow-protected connection to the existing distribution system or other supply source approved by the purchaser. The cross-connection control device shall be consistent with the degree of hazard for backflow protection of the active distribution system (see Figure 1). The flow shall be at a constant, measured rate into the newly installed water main. In the absence of a meter, the rate may be approximated using a Pitot gauge in the discharge, measuring the time to fill a container of known volume, or measuring the trajectory of the discharge and using the formula shown in Figure 2. The main should undergo hydrostatic testing prior to disinfection.
- At a point not more than 10 ft (3 m) downstream from the beginning of the new main, water entering the new main shall receive a dose of chlorine fed at a constant rate such that the water will have not less than 100 mg/L free chlorine. To ensure that this concentration is achieved, the free chlorine concentration shall be measured at regular time intervals sufficient to guide the completion of the successful loading of the target chlorine concentration. The chlorine shall be applied continuously and for a sufficient period to develop a solid column, or slug, of chlorinated water that will, as it moves through the main, expose all interior surfaces to a concentration of approximately 100 mg/L for at least 3 hr.
- The free chlorine residual shall be measured in the slug as it moves through the main. If at any time it drops below 50 mg/L, the flow shall be stopped; chlorination equipment shall be relocated at the head of the slug; and, as flow resumes, chlorine shall be applied to restore the free chlorine in the slug to not less than 100 mg/L.
- As chlorinated water flows past fittings and valves, related valves and hydrants shall be operated so as to disinfect appurtenances and pipe branches.

Sec. 4.6 Spray Disinfection for Large Transmission Lines

For very large transmission mains (where personnel or equipment may safely enter the pipe), spray disinfection may be an appropriate and efficient means of achieving disinfection. For this method, refer to ANSI/AWWA C652, Sec. 4.3.2 (Disinfection of Water Storage Facilities; Chlorination Method 2). In general, once pipe is cleaned, spray a 200-mg/L free chlorine solution on all surfaces. After 30 min, fill line and sample as described in Sec. 5.1.

Sec. 4.7 Basic Disinfection Procedure for New Mains

The basic disinfection procedure consists of

- Inspecting materials to be used to ensure their integrity.
- Preventing contaminating materials from entering the water main during storage, construction, or repair and noting potential contamination at the construction site.
- Removing, by flushing or other means, those materials that may have entered the water main or appurtenances.
- Preventing contamination of existing mains from cross-connection during flushing, pressure testing, and disinfection.
- Pressure testing the water main to ensure the main meets the purchaser's allowable leakage rate. Hydrostatic pressure tests should be conducted with potable water.
- Chlorinating and adequately documenting the process used for disinfection.
- Flushing the chlorinated water from the main. Refer to ANSI/AWWA C655 Field De-chlorination for de-chlorination procedures, if de-chlorination is required.
- Determining the bacteriological quality of water samples collected from the pipe by laboratory test after disinfection.
- Final connecting of the newly disinfected water main to the active distribution system without sacrificing sanitary practices and conditions.

Sec. 4.8 Preventive and Corrective Measures During New Construction

4.8.1 General.

Heavy particulates generally contain bacteria and prevent even very high chlorine concentrations from contacting and killing these organisms. Therefore, the procedures of this section must be observed to ensure that a water main and its appurtenances have been thoroughly cleaned for the final disinfection by chlorination. Also, any connection of a new water main to the active distribution system before the receipt of satisfactory bacteriological samples may constitute a cross-connection. Therefore, the new main must be isolated until bacteriological tests described in Section 5 of this standard are satisfactorily completed.

4.8.2 Keeping pipe clean and dry.

The interiors of pipes, fittings, and valves shall be protected from contamination.

4.8.2.1 Openings.

Openings in the pipeline shall be closed with water-tight plugs when pipe laying is stopped at the close of the day's work or for other reasons, such as rest breaks or meal periods. Rodent-proof plugs may be used when watertight plugs are not practicable and when thorough cleaning will be performed by flushing or other means.

4.8.2.2 Stringing pipe.

Pipe delivered for construction shall be strung to minimize the entrance of foreign material.

4.8.2.3 Delays.

Delay in placement of delivered pipe invites contamination. The more closely the rate of delivery is correlated to the rate of pipe laying, the lower the risk of contamination.

4.8.3 Joints.

Joints of pipe in the trench shall be completed before work is stopped. If water accumulates in the trench, the plugs shall remain in place until the trench is free of standing water and mud that may enter the pipe.

4.8.4 Packing materials.

Yarning or packing material shall consist of molded or tubular rubber rings, rope of treated paper, or other approved materials. Materials such as jute or hemp shall not be used. Packing material shall be handled in a manner that avoids contamination.

4.8.5 Sealing materials.

Noncontaminated material or any material capable of supporting growth of microorganisms shall be used for sealing joints. Sealing material or gaskets shall be handled in a manner that avoids contamination. The lubricant used in the installation of sealing gaskets shall be suitable for use in potable water meeting the requirements of NSF/ANSI 61 and shall not contribute odors. It shall be delivered to the job in closed containers and shall be kept clean and applied with dedicated clean applicators.

4.8.6 Cleaning and swabbing.

If dirt enters the pipe, it shall be removed and the interior pipe surface swabbed with a disinfecting solution. If the disinfecting solution is not available, the interior of the pipe shall be cleaned using mechanical means, such as a hydraulically propelled foam pig (or other suitable device acceptable to the purchaser) in conjunction with the application of a minimum 1 percent free chlorine disinfecting solution. The cleaning method used shall not force mud or debris into the interior pipe-joint spaces and shall be acceptable to the purchaser.

4.8.7 Wet-trench construction.

If it is not possible to keep the pipe and fit-tings dry during installation, a scour flush at 3.0 ft/sec (0.91 m/sec) or greater for a minimum of three pipe volumes (see Table 3) followed by slug or continuous-feed chlorination and bacteria testing before release is required. For larger mains, pigging or other suitable method acceptable to the purchaser is an option in place of high-velocity flushing.

4.8.8 Flooding by storm or accident during construction.

If the main is flooded during construction, it shall be cleared of the floodwater by draining and flushing with potable water until the main is clean. The section exposed to the floodwater shall then be filled with a chlorinated potable water that, at the end of a 24-hr holding period, will have a free chlorine residual of not less than 25 mg/L. The chlorinated water may then be drained or flushed from the main. If chemical contamination occurs, such as a hydraulic oil leak or petroleum product spill, the pipe sections exposed to the contamination should be replaced and not reused for potable water applications. After construction is completed, the main shall be disinfected using the continuous-feed, slug, or spray methods.

4.8.9 Backflow protection (optional).

As an optional procedure (if required by the purchaser), the new water main shall be kept isolated from the active distribution system using a physical separation (see Figure 1) until satisfactory bacteriological testing has been completed and the disinfection water flushed out. Water required to fill the new main for hydrostatic pressure testing, disinfection, and flushing shall be supplied through a temporary connection between the distribution system and the new main or other supply source approved by the purchaser. The temporary connection shall include an appropriate cross-connection control device consistent with the degree of hazard (a double check valve assembly or a reduced pressure zone assembly) and shall be disconnected (physically separated) from the new main during the hydrostatic pressure test. It will be necessary to reestablish the temporary connection after completion of the hydrostatic pressure test to flush out the disinfectant water prior to final connection of the new main to the distribution system. Note: Exposure to high levels of chlorine or high pH can cause severe irritation to customers. Also, the chlorinated water can be high in disinfection by-products.

Sec. 4.9 Final Flushing for New Mains

4.9.1 Clearing the main of heavily chlorinated water.

After the applicable retention period, heavily chlorinated water should not remain in prolonged contact with pipe. In order to prevent damage to the pipe lining or to prevent corrosion damage to the pipe itself, the heavily chlorinated water shall be flushed from the main fittings, valves, and branches until chlorine measurements show that the concentration in the water leaving the main is no higher than that generally prevailing in the distribution system or that is acceptable for domestic use.

4.9.2 Disposing of heavily chlorinated water.

The environment to which the chlorinated water is to be discharged shall be inspected. If there is any possibility that the chlorinated discharge will cause damage to the environment, a neutralizing chemical shall be applied to the water to be wasted to thoroughly neutralize the residual chlorine (see ANSI/AWWA C655 for neutralizing chemicals). Where necessary, federal, state, local, or provincial regulatory agencies should be contacted to determine special provisions for the disposal of heavily chlorinated water.

Sec. 4.10 Final Connections to Existing Mains

Water mains and appurtenances must be completely installed, flushed, disinfected, and satisfactory bacteriological sample results received prior to permanent connections being made to the active distribution system. Sanitary construction practices must be followed during installation of the final connection so that there is no contamination of the new or existing water main with foreign material or groundwater.

4.10.1 Connections equal to or less than one pipe length (generally \leq 20 ft [6 m]).

The new pipe, fittings, and valve(s) required for the connection may be spray disinfected or swabbed with a minimum 1 percent solution of chlorine just before being installed, if the total length of the connection from the end of a new main to the existing main is equal to or less than 20 ft (6 m).

4.10.2 Connections greater than one pipe length (generally >20 ft [6 m]).

The pipe required for the connection must be set up aboveground, disinfected, and bacteriological samples taken, as described in Section 5, if the total length of the connection from the end of a new main to the existing main is greater than 20 ft (6 m). After satisfactory bacteriological sample results have been received for the pre-disinfected pipe, the pipe can be used in connecting the new main to the active distribution system. Between the time the satisfactory bacteriological sample results are received and the time that the connection piping is installed, the ends of the piping must be sealed with plastic wraps, watertight plugs, or caps.

WARNING: The testing methods described in this section are specific for water-pressure testing. These procedures should not be applied for air-pressure testing because of the serious safety hazards involved.

5.2.1 Pressure test.

5.2.1.1 Test restrictions.

Test pressure shall not be less than 1.25 times the working pressure at the highest point along the test section and not less than 1.5 times the stated working pressure at the lowest elevation of the test section. Test pressure shall not exceed pipe or thrust-restraint design pressures. The hydrostatic test shall be of at least a 2-h duration. Test pressure shall not vary by more than \pm 5 psi (34.5 kPa) for the duration of the test. Valves shall not be operated in either direction at a differential pressure exceeding the rated valve working pressure. A test pressure greater than the rated valve pressure can result in trapped test pressure between the gates of a double-disc gate valve. For tests at these pressures, the test setup should include a provision, independent of the valve, to reduce the line pressure to the rated valve pressure on completion of the test. The valve can then be opened enough to equalize the trapped pressure with the line pressure, or the valve can be fully opened if desired. The test pressure shall not exceed the rated pressure of the valves when the pressure boundary of the test section includes closed, resilient-seated gate valves or butterfly valves.

5.2.1.2 Pressurization.

After the pipe has been laid, all newly laid pipe or any valved section thereof shall be subjected to a hydrostatic pressure of at least 1.5 times the working pressure at the point of testing. Each valved section of pipe shall be slowly filled with water, and the specified test pressure (based on the elevation of the lowest point of the line or section under test and corrected to the elevation of the test gauge) shall be applied using a pump connected to the pipe. Valves shall not be operated in either the opened or closed direction at differential pressures above the rated pressure. The system should be allowed to stabilize at the test pressure before conducting the hydrostatic test.

5.2.1.3 Air removal.

Before applying the specified test pressure, air shall be expelled completely from the section of piping under test. If permanent air vents are not located at all high points, corporation cocks shall be installed at these points to expel the air as the line is filled with water. After the air has been expelled, the corporation cocks shall be closed and the test pressure applied. At the conclusion of the pressure test, the corporation cocks shall be removed and the pipe plugged or left in place as required by the specifications.

5.2.1.4 Examination.

Any exposed pipe, fittings, valves, hydrants, and joints shall be examined carefully during the test. Any damage or defective pipe, fittings, valves, hydrants, or joints that are discovered following the pressure test shall be repaired or replaced with reliable material, and the test shall be repeated until satisfactory results are obtained.

5.2.1.5 Testing allowance defined.

Testing allowance shall be defined as the quantity of makeup water that must be supplied into the newly laid pipe or any valved section thereof to maintain pressure within 5 psi of the specified test pressure after the pipe has been filled with water and the air has been expelled. Testing allowance shall not be measured by a drop in pressure in a test section over a period of time.

5.2.1.6 Testing allowance.

No pipe installation will be accepted if the amount of makeup water is greater than that determined by the following formula:

$$L = \frac{SD \cdot P}{148,000}$$

Where: L = testing allowance (makeup water), in gallons per hour

S = length of pipe tested, in feet

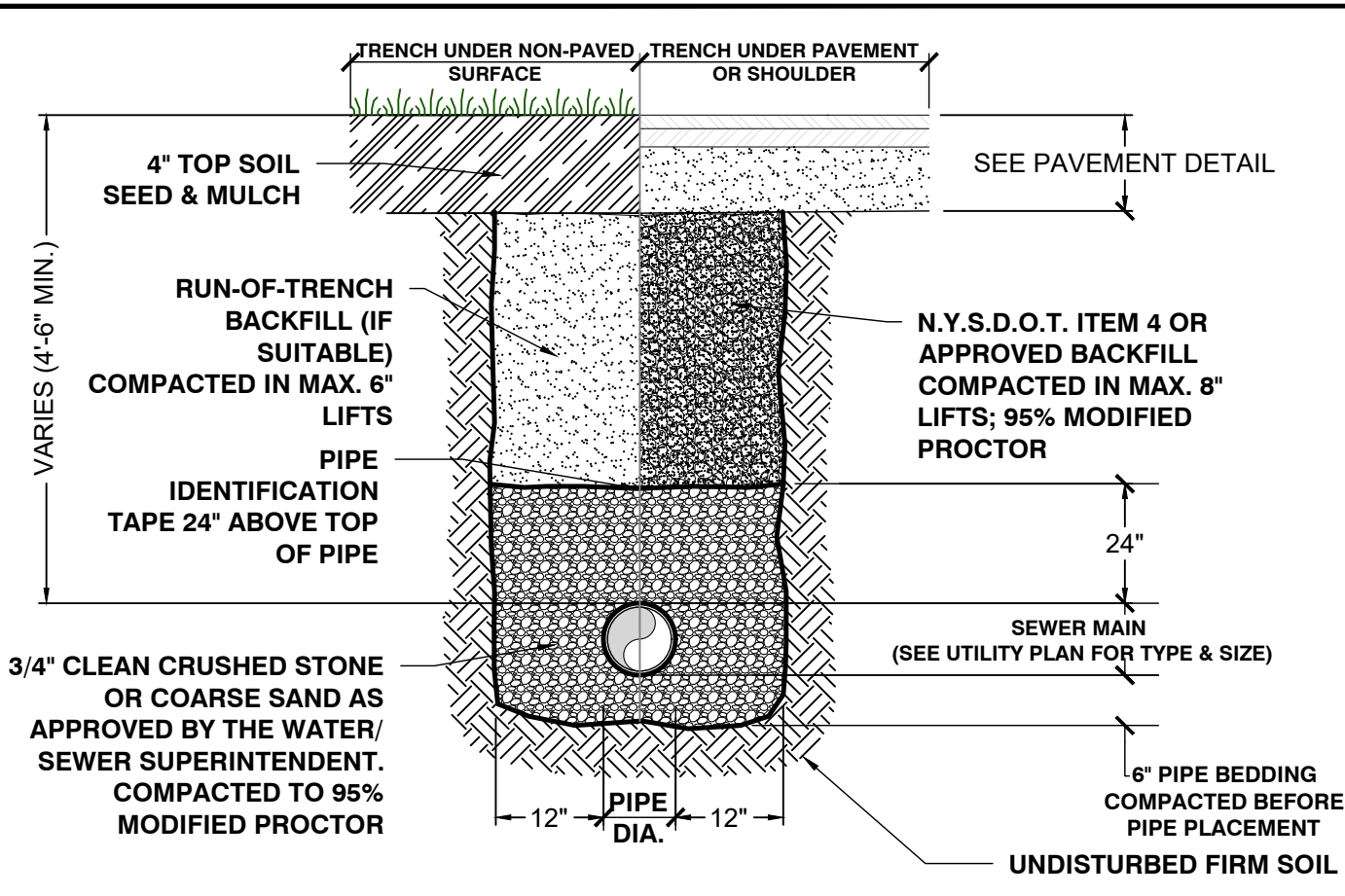
D = nominal diameter of the pipe, in inches

P = average test pressure during the hydrostatic test, in pounds per square inch (gauge)

These formulas are based on a testing allowance of 11.65 gpd/mi. of nominal diameter at a pressure of 150 psi

5.2.1.6.1 Testing allowance at various pressures is shown in Table 6A.

Test Pressure (psi)	4	6	8	10	12	14	16	18	20	24	30	36	42	48	54	60	64	
400	0.43	0.57	0.86	1.16	1.43	1.72	2.01	2.29	2.58	2.87	3.44	4.30	5.16	6.02	6.88	7.74	8.60	9.17
450	0.41	0.54	0.81	1.08	1.35	1.62	1.89	2.16	2.43	2.70	3.24	4.08	4.92	5.76	6.60	7.44	8.11	8.66
500	0.38	0.51	0.76	1.01	1.26	1.52	1.77	2.02	2.28	2.53	3.03	3.79	4.55	5.31	6.07	6.83	7.38	7.89
550	0.36	0.47	0.70	0.94	1.17	1.40	1.64	1.87	2.11	2.34	2.81	3.51	4.21	4.92	5.62	6.32	7.02	7.49
600	0.34	0.45	0.67	0.90	1.12	1.34	1.57	1.79	2.02	2.24	2.69	3.36	4.03	4.71	5.39	6.06	6.72	7.17
650	0.32	0.43	0.64	0.86	1.07	1.28	1.50	1.71	1.92	2.14	2.56	3.21	3.86	4.49	5.13	5.77	6.41	6.84



- NOTES:
- EACH LIFT SHALL BE COMPACTED TO 95% STANDARD PROCTOR PRIOR TO THE PLACEMENT OF THE NEXT LIFT.
 - BACKFILLING AROUND PIPES SHALL BE DONE UNIFORMLY ON EACH SIDE OF THE PIPE.
 - ALL SITE UTILITIES ARE TO BE INSTALLED BY A QUALIFIED CONTRACTOR & INSPECTED BY THE DESIGN ENGINEER, AND/OR THE TOWN SEWER/WATER SUPERINTENDENT, PRIOR TO BACKFILLING.
 - THOROUGHLY CLEAN ALL PIPES PRIOR TO ACCEPTANCE TESTING.
 - IN THE EVENT THAT THE CONDUIT IS BEING INSTALLED IN WET CONDITIONS, THE CONTRACTOR SHALL LINE THE TRENCH WITH FILTER FABRIC & BED THE PIPE IN 3/4" CRUSHED STONE INSIDE THE FILTER FABRIC AT THE DISCRETION OF THE SUPERINTENDENT OF SEWERS.
 - BACKFILL MATERIAL SHALL BE FREE FROM METALS, BOULDER, FROZEN SOILS OR OTHER DELETERIOUS MATERIAL.
 - THE CONTRACTOR SHALL PROVIDE A METAL WARNING TAPE 2" BELOW FINISHED GRADE. THE TAPE SHALL BE GREEN WITH "WARNING BURIED SEWER LINE BELOW" (OR SIMILAR) WRITTEN IN BLACK LETTERING ALONG ITS ENTIRE LENGTH.

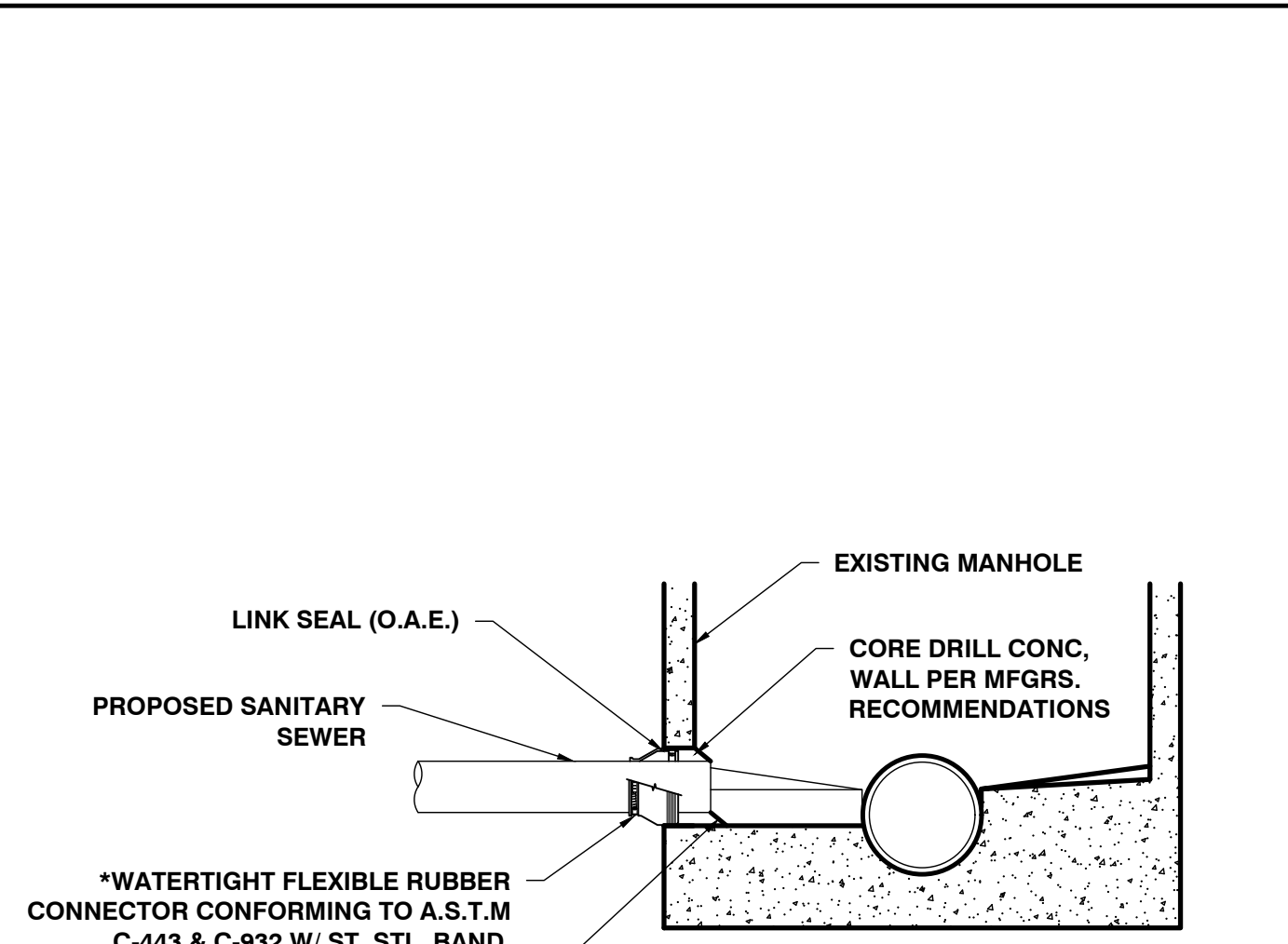
1 SEWER TRENCH DETAIL
NOT TO SCALE

- NOTES:
- PIPE CONNECTION TO BE STANDARD "LOCKJOINT" BOOT 5" OFF BASE OF MANHOLE (SEE DETAIL).
 - CONCRETE STRENGTH OF MANHOLE COMPONENTS TO BE 4000 PSI @ 28 DAYS IN ACCORDANCE WITH ASTM C-478-86.
 - STEEL REINFORCEMENT OF MANHOLE COMPONENTS TO MEET ASTM A615-A497 REQUIREMENTS.
 - LOADING OF MANHOLE COMPONENTS TO MEET H-20 REQUIREMENTS.
 - CONCRETE USED IN MANHOLE COMPONENTS TO CONTAIN 6% AIR ENTRAINMENT.
 - 4" MAXIMUM FROM MANHOLE TO PIPE JOINT.
 - MANHOLE FRAMES, COVERS & STEPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM A-48 CLASS 30B STANDARDS FOR GRAY IRON.
 - ALL SANITARY SEWER MANHOLE COVERS SHALL BE NOMINAL 26" DIAMETER CAST IRON AND SHALL READ "SANITARY SEWER". FRAMES SHALL BE 8-INCHES IN HEIGHT AND COVER SHALL BE SYRACUSE CASTING NO. 1009 OR AN APPROVED EQUAL.
 - ALL SITE SANITARY SEWER UTILITIES ARE TO BE INSTALLED BY A QUALIFIED CONTRACTOR, IN ACCORDANCE WITH GOOD PRACTICE AND INSPECTED BY A LICENSED PROFESSIONAL ENGINEER, IN ACCORDANCE WITH THE DUTCHESS COUNTY SANITARY CODE.
 - ALL NEW SANITARY SEWER UTILITIES ARE TO BE EITHER HYDROSTATICALLY OR VACUUM TESTED IN ACCORDANCE WITH ASTM C1244-93(2000) "TEST METHOD FOR SHEET, CONCRETE SEWER MANHOLES BY NEGATIVE PRESSURE". SEE STANDARD ON THIS.
 - ALL SANITARY SEWER SERVICE LATERALS THAT TIE INTO MANHOLES SHALL BE DIRECTED INTO THE TROUGH OF THE MANHOLE. NO LATERALS SHALL DISCHARGE ONTO THE BENCH. ANY LATERALS 2" OR GREATER ABOVE THE TROUGH SHALL BE DONE USING A DROP MANHOLE.

4 PRE CAST CONCRETE MANHOLE
NOT TO SCALE

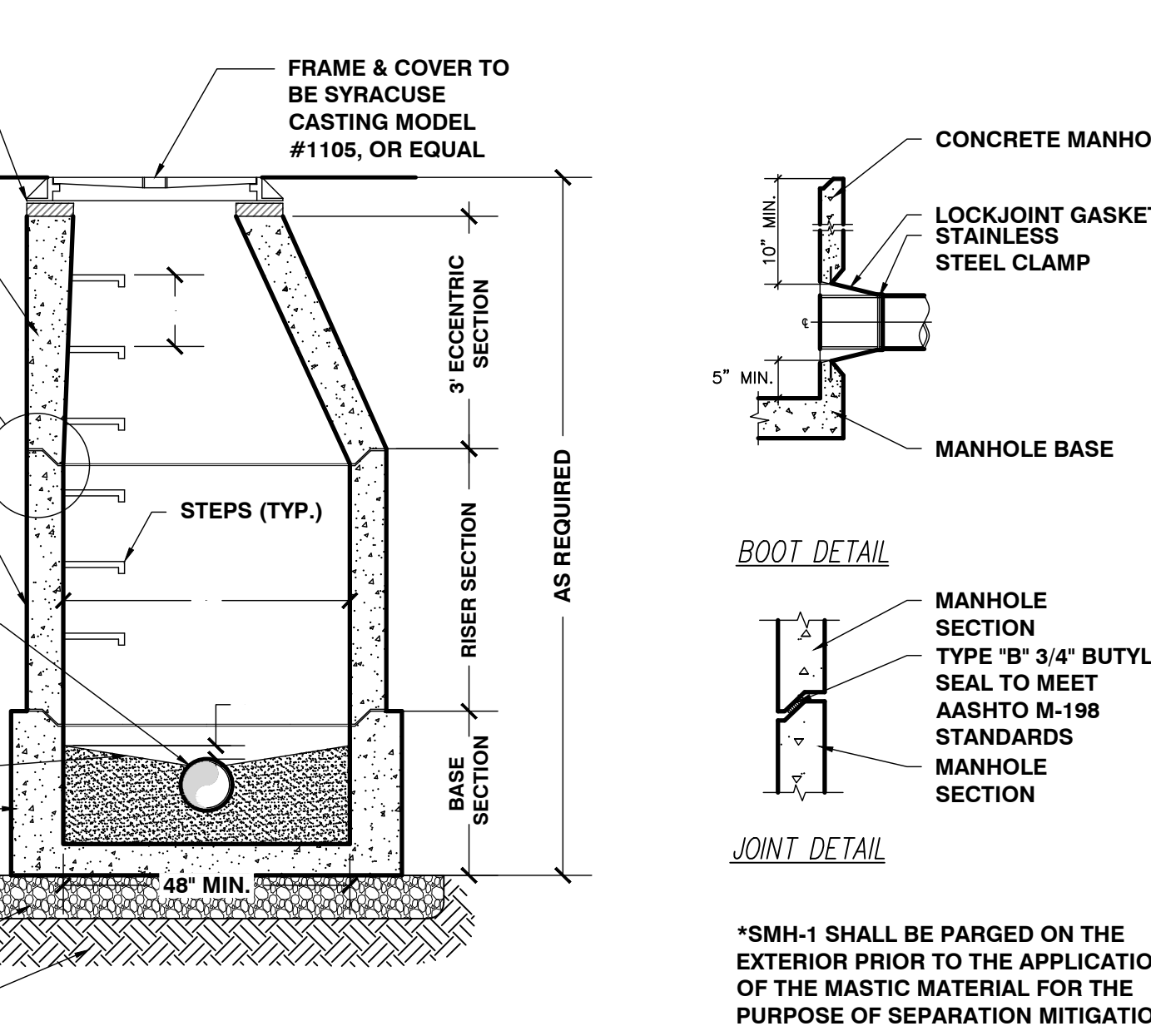
- SECTION 8.0 - TEST PROCEDURES:
- ISOLATE THE SECTION OF SEWER LINE TO BE TESTED BY INFLATABLE STOPPERS OR OTHER SUITABLE TEST PLUGS.
 - PLUG OR CAP THE ENDS OF ALL BRANCHES, LATERALS, TEES, WYES, AND STUBS TO BE INCLUDED IN THE TEST TO PREVENT AIR LEAKAGE. ALL PLUGS OR CAPS SHALL BE SECURED TO CONTROL BLOW-OUT. ONE OF THE PLUGS OR CAPS SHOULD HAVE AN INLET TAP, OR OTHER PROVISION FOR CONNECTING A HOSE TO PORTABLE AIR CONTROL SOURCE.
 - CONNECT THE AIR HOSE TO THE INLET TAP AND PORTABLE AIR CONTROL SOURCE. THE AIR EQUIPMENT SHALL CONSIST OF NECESSARY VALVES AND GAGES TO CONTROL AN OIL-FREE AIR SOURCE AND THE RATE AT WHICH THE AIR FLOWS INTO THE TEST SECTION TO ENABLE MONITORING OF THE AIR PRESSURE WITHIN THE TEST SECTION.
 - ADD AIR SLOWLY TO THE TEST SECTION UNTIL THE PRESSURE INSIDE THE PIPE REACHES 4.0 PSIG. 8.1.4 AFTER THE PRESSURE 4.0 PSIG IS OBTAINED, REGULATE THE AIR SUPPLY SO THAT THE PRESSURE IS MAINTAINED BETWEEN 3.5 TO 4.0 PSIG FOR AT LEAST 2 MINUTES DEPENDING ON AIR/GROUND TEMPERATURE CONDITIONS. THE AIR TEMPERATURE SHOULD STABILIZE IN EQUILIBRIUM WITH THE TEMPERATURE OF THE PIPE WALLS. THE PRESSURE WILL NORMALLY DROP SLIGHTLY UNTIL EQUILIBRIUM IS OBTAINED, HOWEVER A MINIMUM OF 3.5 PSIG IS REQUIRED.
 - DETERMINE THE RATE OF AIR LOSS BY EITHER THE CONSTANT PRESSURE METHOD OR THE TIME-PRESSURE DROP METHOD.
 - CONSTANT PRESSURE METHOD: ADD AIR UNTIL THE INTERNAL AIR PRESSURE OF THE SEWER LINE IS RAISED TO 4.0 PSIG AND THE TEST PIPE SECTION IS STABILIZED AS IN 8.1. RELEASE THE PRESSURE TO 3.5 PSIG TO RUN THE CONSTANT PRESSURE TEST. THE AIR-FLOW RATE IN STANDARD CUBIC FEET PER MINUTE IS READ DIRECTLY BY A ROTAMETER. CONVERT THIS AIR-FLOW RATE TO ACTUAL CUBIC FEET PER MINUTE OF AIR LEAKING FROM THE TEST SECTION BY USING THE ABSOLUTE PRESSURE AND TEMPERATURE IN THE TEST SECTION. THE REQUIREMENTS FOR AIR LOSS UNDER THE CONSTANT PRESSURE METHOD SHALL BE CONSIDERED SATISFIED IF THE AIR LOSS DOES NOT EXCEED THE SPECIFIED LEAKAGE RATE IN CUBIC FEET PER MINUTE PER SQUARE FOOT OF INTERNAL PIPE SURFACE AREA.
 - TIME-PRESSURE DROP METHOD: AIR IS SLOWLY INTRODUCED INTO THE SECTION OF PIPE TO BE TESTED, UNTIL THE AIR PRESSURE IS RAISED TO APPROXIMATELY 4.0 PSIG AND THE TEST PIPE SECTION IS STABILIZED AS IN 8.1. DISCONNECT THE AIR SUPPLY AND DECREASE THE PRESSURE TO 3.5 PSI BEFORE STARTING THE TEST. DETERMINE THE TIME REQUIRED FOR THE PRESSURE TO DROP FROM 3.5 PSI TO 2.5 PSI, AND COMPARE THIS INTERVAL TO THE REQUIRED TIME TO DECIDE IF THE RATE OF AIR LOSS IS WITHIN THE ALLOWABLE. MINIMUM HOLDING TIMES REQUIRED BY PIPE DIAMETER ARE SHOWN IN TABLE 1 AND TABLE 2.
 - UPON COMPLETION OF THE TEST, OPEN THE BLEEDER VALVE AND ALLOW ALL AIR TO ESCAPE. PLUGS SHOULD NOT BE REMOVED UNTIL ALL AIR PRESSURE IN THE TEST SECTION HAS BEEN REDUCED TO ATMOSPHERIC PRESSURE.
 - TEST TIME CALCULATIONS:
 - TEST TIME REQUIRED FOR TEST SECTION SHALL BE ACCEPTED IF AIR LOSS IS MORE THAN A SPECIFIED LEAKAGE RATE (IN CUBIC FEET PER MINUTE PER SQUARE FOOT) DETERMINED BY THE APPROVING AUTHORITY.
 - CALCULATE ALL TEST TIMES BY THE FOLLOWING FORMULA:

6 LOW PRESSURE AIR TESTING SPECIFICATION FOR GRAVITY SEWER MAIN
NOT TO SCALE



- NOTES:
- FLEXIBLE RUBBER CONNECTION WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE TOWN SEWER SUPERINTENDENT.
 - PROPOSED SANITARY SEWER PIPE SHALL NOT EXTEND MORE THAN 3" BEYOND THE INSIDE SURFACE OF THE CONCRETE MANHOLE STRUCTURE.

2 EXISTING MANHOLE PENETRATION DETAIL
NOT TO SCALE



3 TYPICAL SANITARY SEWER LATERAL DETAIL
NOT TO SCALE

- SECTION 7.0 - PROCEDURE:
- THE TEST HEAD SHALL BE PLACED AT THE TOP OF THE MANHOLE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - A VACUUM OF 10 IN. OF MERCURY SHALL BE DRAWN ON THE MANHOLE. THE VALVE ON THE VACUUM LINE OF THE TEST HEAD CLOSED, AND THE VACUUM PUMP SHUT OFF. THE TIME SHALL BE MEASURED FOR THE VACUUM DROP TO 9 IN. OF MERCURY.
 - THE MANHOLE SHALL PASS IF THE TIME FOR THE VACUUM READING TO DROP FROM 10 IN. OF MERCURY TO 9 IN. OF MERCURY EXCEEDS THE VALUES LISTED IN THE TABLE BELOW:

5 TEST METHOD FOR CONCRETE SEWER MANHOLE VACUUM METHOD

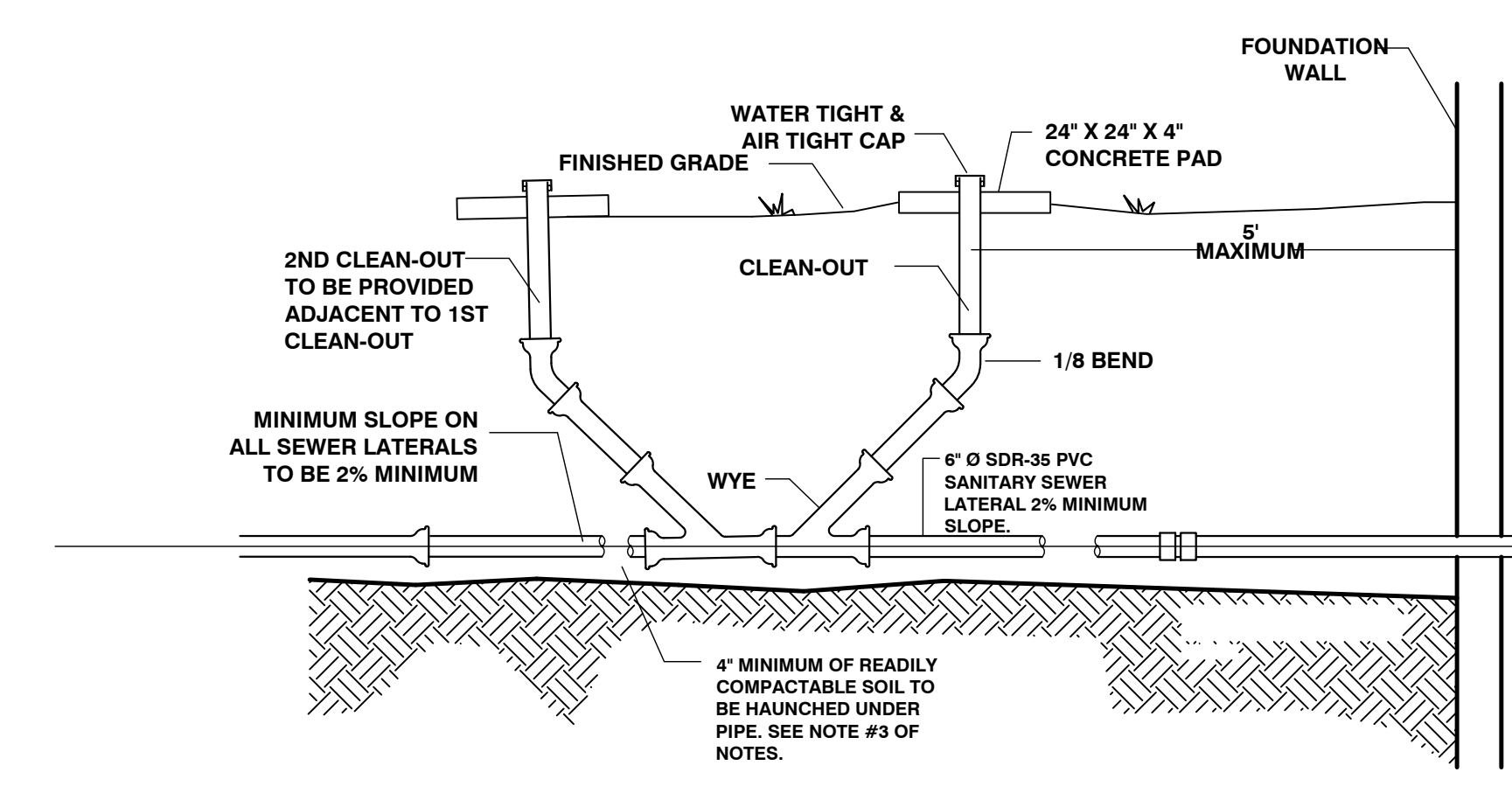
TABLE 1 - MINIMUM SPECIFIED TIME REQUIRED FOR A 1.0 PSIG PRESSURE DROP FROM A STARTING PRESSURE OF 3.5 PSIG TO A FINAL PRESSURE OF 2.5 PSIG USING A LEAKAGE RATE OF 0.0015 FT³/MIN./FT² OF INTERNAL SURFACE.

PIPE DIAMETER, INCHES	MINIMUM TIME, MINS.	LENGTH FOR MINIMUM TIME, FT.	SPECIFICATION TIME FOR LENGTH (L) SHOWN, MINUTES								
			100 FT	150 FT	200 FT	250 FT	300 FT	350 FT	400 FT	450 FT	
4	3:46	597	0.380 L	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46
6	5:40	398	0.854 L	5:40	5:40	5:40	5:40	5:40	5:40	5:40	5:40
8	7:34	298	1.820 L	7:34	7:34	7:34	7:34	7:36	8:52	10:08	11:24
10	9:26	239	2.374 L	9:26	9:26	9:26	9:53	11:52	13:51	15:49	17:48
12	11:20	199	3.418 L	11:20	11:20	11:24	14:15	17:05	19:56	22:47	25:38
15	14:10	159	5.342 L	14:10	14:10	17:48	22:15	26:42	31:09	35:36	40:04
18	17:00	133	7.692 L	17:00	19:13	25:38	32:03	38:27	44:52	51:16	57:41
21	19:50	114	10.470 L	19:50	26:10	34:54	43:37	52:21	61:00	69:48	78:31
24	22:40	99	13.674 L	22:47	34:11	45:34	56:58	68:22	79:46	91:10	102:33
27	25:30	88	17.306 L	28:51	43:16	57:41	72:07	86:32	100:57	115:22	129:48
30	28:20	80	21.366 L	35:37	53:25	71:13	89:02	106:50	124:38	142:26	160:15
33	31:10	72	25.852 L	43:05	64:38	86:10	107:43	129:16	150:43	172:21	193:53
36	34:00	66	30.768 L	51:17	76:55	102:34	128:12	153:50	179:29	205:07	230:46

TABLE 2 - MINIMUM SPECIFIED TIME REQUIRED FOR A 0.5 PSIG PRESSURE DROP FROM A STARTING PRESSURE OF 4.0 PSIG TO A FINAL PRESSURE OF 3.5 PSIG USING A LEAKAGE RATE OF 0.0015 FT³/MIN./FT² OF INTERNAL SURFACE.

PIPE DIAMETER, INCHES	MINIMUM TIME, MINS.	LENGTH FOR MINIMUM TIME, FT.	SPECIFICATION TIME FOR LENGTH (L) SHOWN, MINUTES								
			100 FT	150 FT	200 FT	250 FT	300 FT	350 FT	400 FT	450 FT	
4	1:53	597	0.190 L	1:53	1:53	1:53	1:53	1:53	1:53	1:53	1:53
6	2:50	398	0.427 L	2:50	2:50	2:50	2:50	2:50	2:51	2:51	2:51
8	3:47	298	0.760 L	3:47	3:47	3:47	3:47	3:48	4:26	5:04	5:42
10	4:43	239	1.187 L	4:43	4:43	4:43	4:57	5:56	6:55	7:54	8:54
12	5:40	199	1.798 L	5:40	5:40	5:42	7:08	8:53	9:58	11:24	12:50
15	7:05	159	2.671 L	7:05	7:05	8:54	11:08	13:21	15:35	17:48	20:02
18	8:30	133	3.846 L	8:30	9:37	12:49	16:01	19:14	22:26	25:38	28:51
21	9:55	114	5.235 L	9:55	13:05	17:27	21:49	26:11	30:32	35:54	39:16
24	11:20	99	6.837 L	11:24	17:57	22:48	28:30	34:11	39:53	45:35	51:17
27	12:45	88	8.653 L	14:25	21:38	28:51	36:04	43:16	50:30	57:42	64:54
30	14:10	80	10.683 L	17:48	26:43	35:37	44:31	53:25	62:19	71:13	80:07
33	15:35	72	12.928 L	21:33	32:19	43:56	55:52	64:38	75:24	86:10	96:57

- NOTE:
- A 10' MINIMUM SEPARATION DISTANCE SHALL BE MAINTAINED BETWEEN THE SEWER LATERAL AND THE WATER SERVICE LINE.
 - THE SEWER LATERAL PIPING SHALL BE SDR-35 PVC AT 2% MIN. SLOPE. ALL JOINTS TO BE "BELL & SPIGOT" TYPE.
 - THE MATERIAL IMMEDIATELY SURROUNDING THE PIPE TO BE READILY COMPACTABLE SOIL (SAND, LOAMY SAND OR LOAMY CLAY), FREE OF FROZEN LUMPS, DEBRIS, OR STONES LARGER THAN 3/4". THE PIPE SHALL BE BACK-FILLED IN 6" MAXIMUM LIFTS TO A FINAL COMPACTION OF 85%.
 - A METAL DETECTION TAPE SHALL BE INSTALLED OVER THE SEWER LATERAL TO FACILITATE FUTURE LOCATION.
 - ALL SITE SANITARY SEWER UTILITIES ARE TO BE INSTALLED BY A TOWN LICENSED PLUMBER OR QUALIFIED CONTRACTOR, IN ACCORDANCE WITH THE TOWN PLUMBING CODE & INSPECTED BY THE SEWER DEPARTMENT PRIOR TO BACKFILLING.
 - DOUBLE CLEAN-OUTS TO BE INSTALLED AS DEPICTED WITH APPROPRIATE ANGLE FITTINGS AND BENDS.
 - EMBEDMENT OF LATERALS SHALL BE THE SAME AS THE MAINS.



3 TYPICAL SANITARY SEWER LATERAL DETAIL
NOT TO SCALE

SECTION 7.0 - PROCEDURE:

- THE TEST HEAD SHALL BE PLACED AT THE TOP OF THE MANHOLE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- A VACUUM OF 10 IN. OF MERCURY SHALL BE DRAWN ON THE MANHOLE. THE VALVE ON THE VACUUM LINE OF THE TEST HEAD CLOSED, AND THE VACUUM PUMP SHUT OFF. THE TIME SHALL BE MEASURED FOR THE VACUUM DROP TO 9 IN. OF MERCURY.
- THE MANHOLE SHALL PASS IF THE TIME FOR THE VACUUM READING TO DROP FROM 10 IN. OF MERCURY TO 9 IN. OF MERCURY EXCEEDS THE VALUES LISTED IN THE TABLE BELOW:

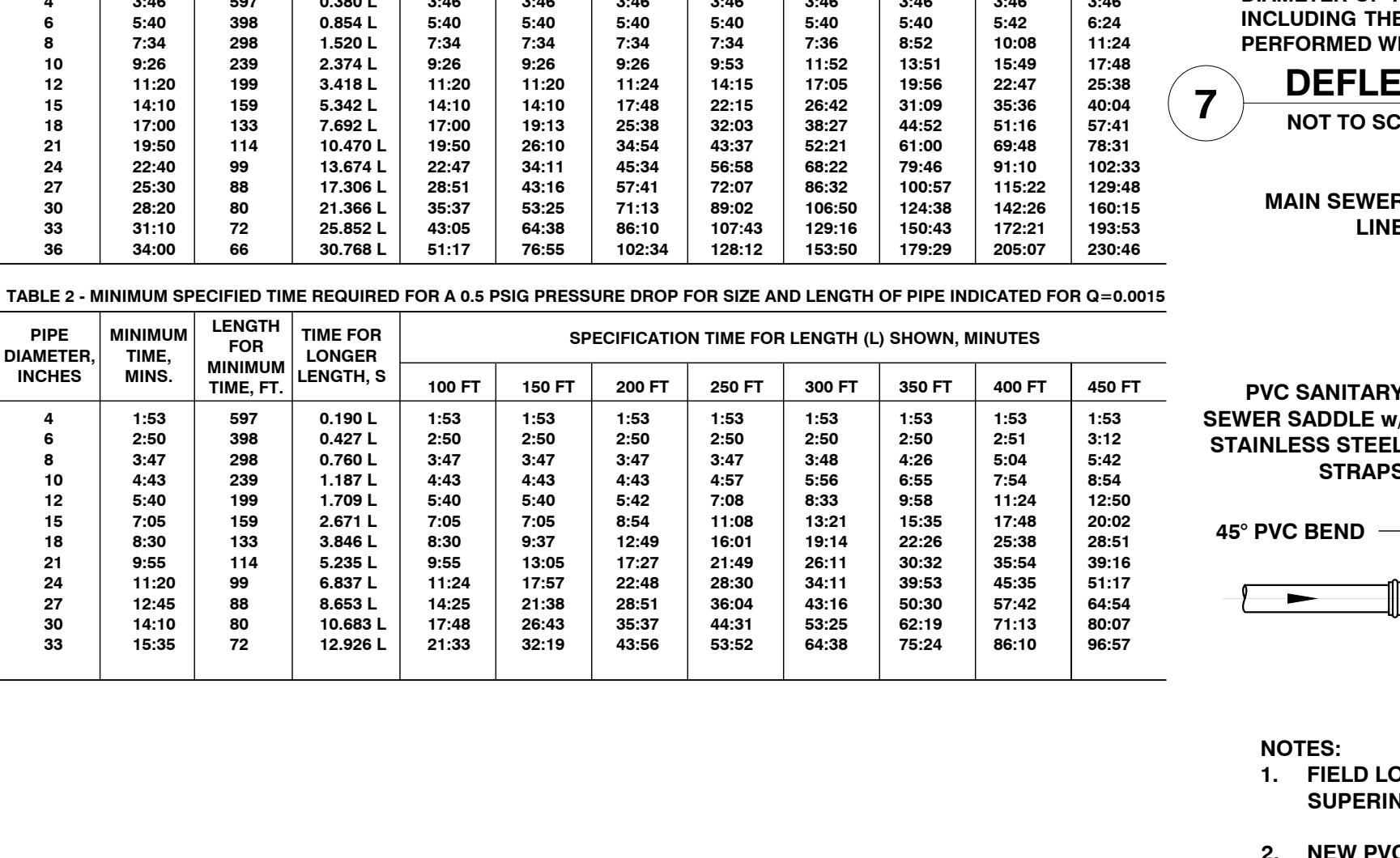
5 TEST METHOD FOR CONCRETE SEWER MANHOLE VACUUM METHOD

TABLE 1 - MINIMUM SPECIFIED TIME REQUIRED FOR A 1.0 PSIG PRESSURE DROP FROM A STARTING PRESSURE OF 3.5 PSIG TO A FINAL PRESSURE OF 2.5 PSIG USING A LEAKAGE RATE OF 0.0015 FT³/MIN./FT² OF INTERNAL SURFACE.

PIPE DIAMETER, INCHES	MINIMUM TIME, MINS.	LENGTH FOR MINIMUM TIME, FT.	SPECIFICATION TIME FOR LENGTH (L) SHOWN, MINUTES								
			100 FT	150 FT	200 FT	250 FT	300 FT	350 FT	400 FT	450 FT	
4	3:46	597	0.380 L	3:46	3:46	3:46	3:46	3:46	3:46	3:46	3:46
6	5:40	398	0.854 L	5:40	5:40	5:40	5:40	5:40	5:40	5:40	5:40
8	7:34	298	1.820 L	7:34	7:34	7:34	7:34	7:36	8:52	10:08	11:24
10	9:26	239	2.374 L	9:26	9:26	9:26	9:53	11:52	13:51	15:49	17:48
12	11:20	199	3.418 L	11:20	11:20	11:24	14:15	17:05	19:56	22:47	25:38
15	14:10	159	5.342 L	14:10	14:10	17:48	22:15	26:42	31:09	35:36	40:04
18	17:00	133	7.692 L	17:00	19:13	25:38	32:03	38:27	44:52	51:16	57:41
21	19:50	114	10.470 L	19:50	26:10	34:54	43:37	52:21	61:00	69:48	78:31
24	22:40	99	13.674 L	22:47	34:11	45:34	56:58	68:22	79:46	91:10	102:33
27	25:30	88	17.306 L	28:51	43:16	57:41	72:07	86:32	100:57	115:22	129:48
30	28:20	80	21.366 L	35:37	53:25	71:13	89:02	106:50	124:38	142:26	160:15
33	31:10	72	25.852 L	43:05	64:38	86:10	107:43	129:16	150:43	172:21	193:53
36	34:00	66	30.768 L	51:17	76:55	102:34	128:12	153:50	179:29	205:07	230:46

TABLE 2 - MINIMUM SPECIFIED TIME REQUIRED FOR A 0.5 PSIG PRESSURE DROP FROM A STARTING PRESSURE OF 4.0 PSIG TO A FINAL PRESSURE OF 3.5 PSIG USING A LEAKAGE RATE OF 0.0015 FT³/MIN./FT² OF INTERNAL SURFACE.

PIPE DIAMETER, INCHES	MINIMUM TIME, MINS.	LENGTH FOR MINIMUM TIME, FT.	SPECIFICATION TIME FOR LENGTH (L) SHOWN, MINUTES								
			100 FT	150 FT	200 FT	250 FT	300 FT	350 FT	400 FT	450 FT	
4	1:53	597	0.190 L	1:53	1:53	1:53	1:53	1:53	1:53	1:53	1:53
6	2:50	398	0.427 L	2:50	2:50	2:50	2:50	2:50	2:51	2:51	2:51
8	3:47	298	0.760 L	3:47	3:47	3:47	3:47	3:48	4:26	5:04	5:42
10	4:43	239	1.187 L	4:43	4:43	4:43	4:57	5:56	6:55	7:54	8:54
12	5:40	199	1.798 L	5:40	5:40	5:42	7:08	8:53	9:58	11:24	12:50
15	7:05	159	2.671 L	7:05	7:05	8:54	11:08	13:21	15:35	17:48	20:02
18	8:30	133	3.846 L	8:30	9:37	12:49	16:01	19:14	22:26	25:38	28:51
21	9:55	114	5.235 L	9:55	13:05	17:27	21:49	26:11	30:32	35:54	39:16
24	11:20	99	6.837 L	11:24	17:57	22:48	28:30	34:11	39:53	45:35	51:17
27	12:45	88	8.653 L	14:25	21:38	28:51	36:04	43:16	50:30	57:42	64:54
30	14:10	80	10.683 L	17:48	26:43	35:37	44:31	53:25	62:19	71:13	80:07
33	15:35	72	12.928 L	21:33	32:19	43:56	55:52	64:38	75:24	86:10	96:57



7 DEFLECTION TESTING
NOT TO SCALE

- NOTES:
- FIELD LOCATION AND ALIGNMENT OF NEW SADDLE TO BE APPROVED BY THE TOWN SEWER SUPERINTENDENT PRIOR TO CUTTING EXISTING SANITARY SEWER MAIN.
 - NEW PVC SADDLE ON EXISTING SANITARY SEWER MAIN IN ACCORDANCE WITH SADDLE MANUFACTURER'S REQUIREMENT, TOWN OF WAPPINGERS FALLS SEWER CODE AND TEN STATE STANDARDS

8 SANITARY SEWER LATERAL CUT-IN DETAIL
NOT TO SCALE

TOWN OF POUGHKEEPSIE PLANNING BOARD SANITARY AND SEWER NOTES

- RESTAURANT OR FOOD SERVICE WILL REQUIRE A GREASE TRAP AND ODOR CONTROL MEASURES TO BE INCORPORATED USING THE APPROPRIATE NYS DEC 1989 FORMULAE FOR REVIEW AND APPROVAL BY THE TOWN AND DUTCHESS COUNTY DEPARTMENT OF HEALTH.
- DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPES. THE TESTS SHALL BE CONDUCTED AFTER FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 5 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- SANITARY SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF POUGHKEEPSIE. ALL SANITARY SEWER SYSTEM COMPONENTS SHALL BE INSTALLED BY OR UNDER THE SUPERVISION OF A TOWN OF POUGHKEEPSIE LICENSED PLUMBER IN ACCORDANCE WITH THE TOWN PLUMBING CODE.
- MAJOR EARTHWORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY SANITARY SEWER MAINS AND APPURTENANCES. ALL CONNECTING SEWER LINES SHALL BE FLUSHED BEFORE TESTED.
- MAXIMUM ALLOWABLE INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER DAY FOR THE SANITARY SEWER. IF AN AIR TEST IS USED, THE TEST, AS A MINIMUM, SHALL CONFORM TO THE PROCEDURE DESCRIBED IN THE ASTM-F-1417 (1992) ENTITLED "STANDARD PRACTICE FOR INSTALLATION ACCEPTANCE OF GRAVITY SEWER LINES USING LOW AIR PRESSURE" (RE-APPROVED 1998). SANITARY MANHOLES SHALL BE VISUALLY INSPECTED AND TESTED FOR LEAKAGE BY EXFILTRATION OR VACUUM. VACUUM TESTING OF MANHOLES SHALL COMPLY WITH THE METHOD OUTLINES IN THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION TECHNICAL INFORMATION PAMPHLET (TIP) NO. 15 (REVISED).
- SANITARY SEWER MAINS ARE TO BE POLYVINYL CHLORIDE (PVC) AND SANITARY LATERALS SHALL BE PVC, SDR-35, UNLESS OTHERWISE NOTED.
- FINAL SEWER COLLECTION SYSTEM LAYOUT IS SUBJECT TO REVIEW, REVISION AND APPROVAL BY THE TOWN OF POUGHKEEPSIE SEWER DEPARTMENT.
- ALL SANITARY PIPE AND/OR MANHOLES SHALL BE A MINIMUM OF TEN (10) HORIZONTAL FEET FROM THE WATER MAIN. SANITARY PIPE SHALL HAVE A MINIMUM 18" SEPARATION FROM ANY WATER MAIN OR WATER SERVICE LINE. IF FOR SOME REASON THIS SEPARATION CANNOT BE ACHIEVED, SANITARY SEWER PIPE IN THE AREA SHALL BE SDR-26 PRESSURE RATED PIPE, AND ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER. ALL SANITARY SEWER CONSTRUCTION SHALL BE TO SPECIFICATIONS OF THE TOWN OF POUGHKEEPSIE SEWER DEPARTMENT.
- SANITARY TESTING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE PROJECT ENGINEER, AND, CERTIFICATES OF COMPLIANCE WITH THE INSTALLATION SPECIFICATIONS, TEST STANDARDS, APPROVED PLANS OR APPROVED AMENDMENTS SHALL BE PROVIDED TO THE APPROPRIATE SEWER AUTHORITY AS A CONDITION OF APPROVAL FOR OPERATION.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE TOWN SEWER SUPERINTENDENT PRIOR TO BACKFILLING. PIPE BEDDING AND PIPE ZONE MATERIAL SHALL BE COMPOSED OF CRUSHED STONE OR GRAVEL, FREE OF SOFT NONDURABLE PARTICLES WITH THE FOLLOWING GRADATION REQUIREMENTS:

LANDSCAPE NOTES:

NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING FOR PROPOSED UTILITY LINES

THE OWNER IS RESPONSIBLE FOR MAINTAINING THE SITE LANDSCAPING AS SHOWN ON THE APPROVED SITE PLAN THROUGHOUT THE DURATION OF USE.

THE LANDSCAPE CONTRACTOR SHALL CAREFULLY CORRELATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.

THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.

THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.

THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE. ALL LANDSCAPED AREAS MULCHED UNLESS OTHERWISE NOTED.

WARRANTY:
ALL PLANT MATERIAL (LAWNS, TREES, SHRUBS, ETC.) AND PLANTING SUPPLIES (EDGING, BARK, MULCH, ETC.) SHALL BE WARRANTED FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE DATE OF COMPLETION OF THE LANDSCAPING INSTALLATION. ALL REPLACEMENT STOCK SHALL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. ANY DAMAGE DUE TO REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR. AT THE END OF THE WARRANTY PERIOD, INSPECTIONS SHALL BE MADE JOINTLY BY LANDSCAPE ARCHITECT, OWNER, TENANT AND LANDSCAPE CONTRACTOR. ALL PLANT AND LAWN AREAS NOT IN A HEALTHY GROWING CONDITION SHALL BE REMOVED AND REPLACED WITH PLANTS AND TURF COVER OF A LIKE KIND AND SIZE BEFORE THE CLOSE OF THE NEXT PLANTING SEASON.

SPECIES AND VARIETY AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY AND AS DEFINED WITHIN THE CURRENT EDITION OF INTERNATIONAL CODE OF NOMENCLATURE FOR CULTIVATED PLANTS, ISSUED BY THE INTERNATIONAL UNION OF BIOLOGICAL SCIENCES. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT TENANT'S LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.

PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALD, WINDBURN, ABRASION, AND HARMFUL INSECTS AND INSECT EGGS; AND SHALL HAVE HEALTHY, NORMAL, UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS AND STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED SHALL BE USED. PLANTS BUDDING INTO LEAF OR HAVING SOFT GROWTH SHALL BE SPRAYED WITH AN ANTI-DESICCANT AT THE NURSERY BEFORE DIGGING.

ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK. BARE ROOT STOCK OF ANY KIND IS UNACCEPTABLE.

SEED:

EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEEDED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS. GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:

KENTUCKY BLUEGRASS	40%
CREeping RED FESCUE	40%
RYE GRASS	20%

GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSDOT STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD No. 1.

SEEDED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.

SEED SHALL BE A BLEND OF CERTIFIED LAWN GRASS AND/OR GROUND COVER PLANT SEEDS COMMON TO THE SITE LOCATION. PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH ESTABLISHED TOLERANCES FOR GERMINATION AND PURITY IN

ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE LATEST EDITION OF THE FEDERAL SEED ACT, SEED SHALL BE MIXED BY THE DEALER AND SHALL BE DELIVERED TO THE SITE IN SEALED CONTAINERS WHICH SHALL BEAR THE DEALER'S GUARANTEED ANALYSIS.

MULCHES FOR PLANTINGS:
SHREDDED BARK MULCH, MEDIUM SIZE, FROM HARDWOOD TREES. NO PIECES OVER TWO INCHES (2") IN GREATEST DIMENSION. FREE FROM SAWDUST, STONES, DEBRIS, AND DELETERIOUS MATERIALS.

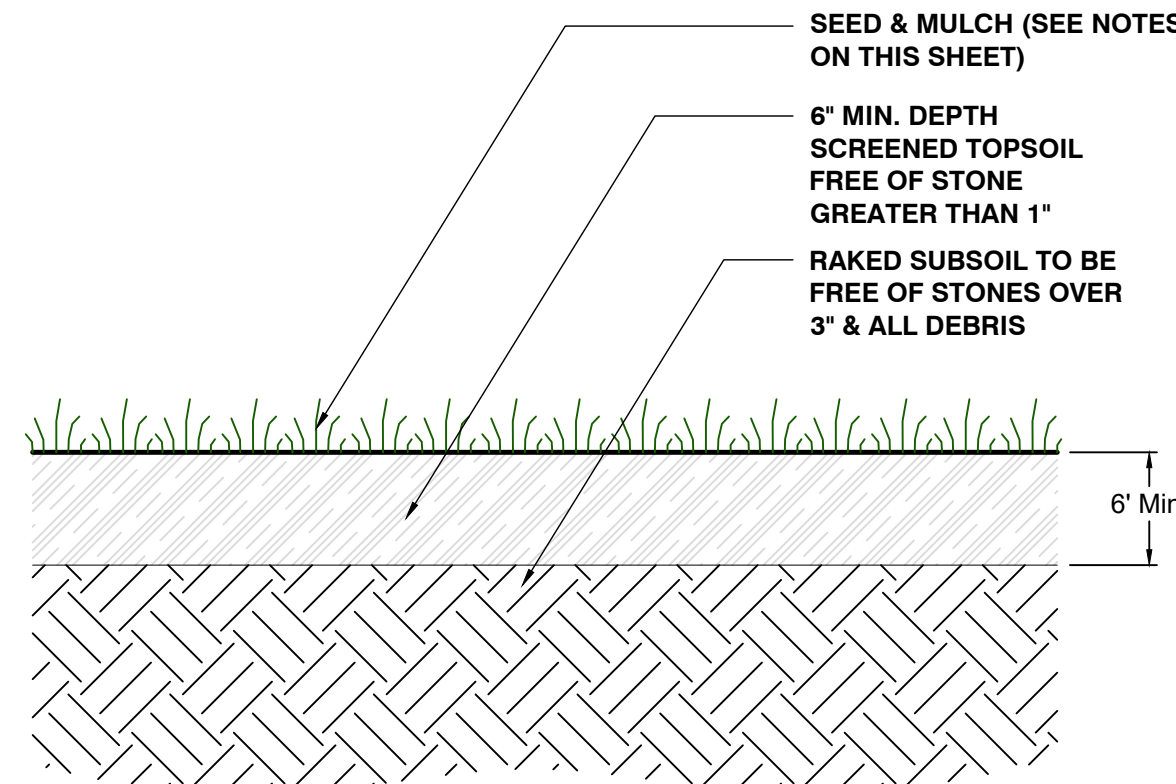
ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON. ALL AREAS OF SITE NOT OCCUPIED BY BUILDINGS OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE SEEDED.

NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.

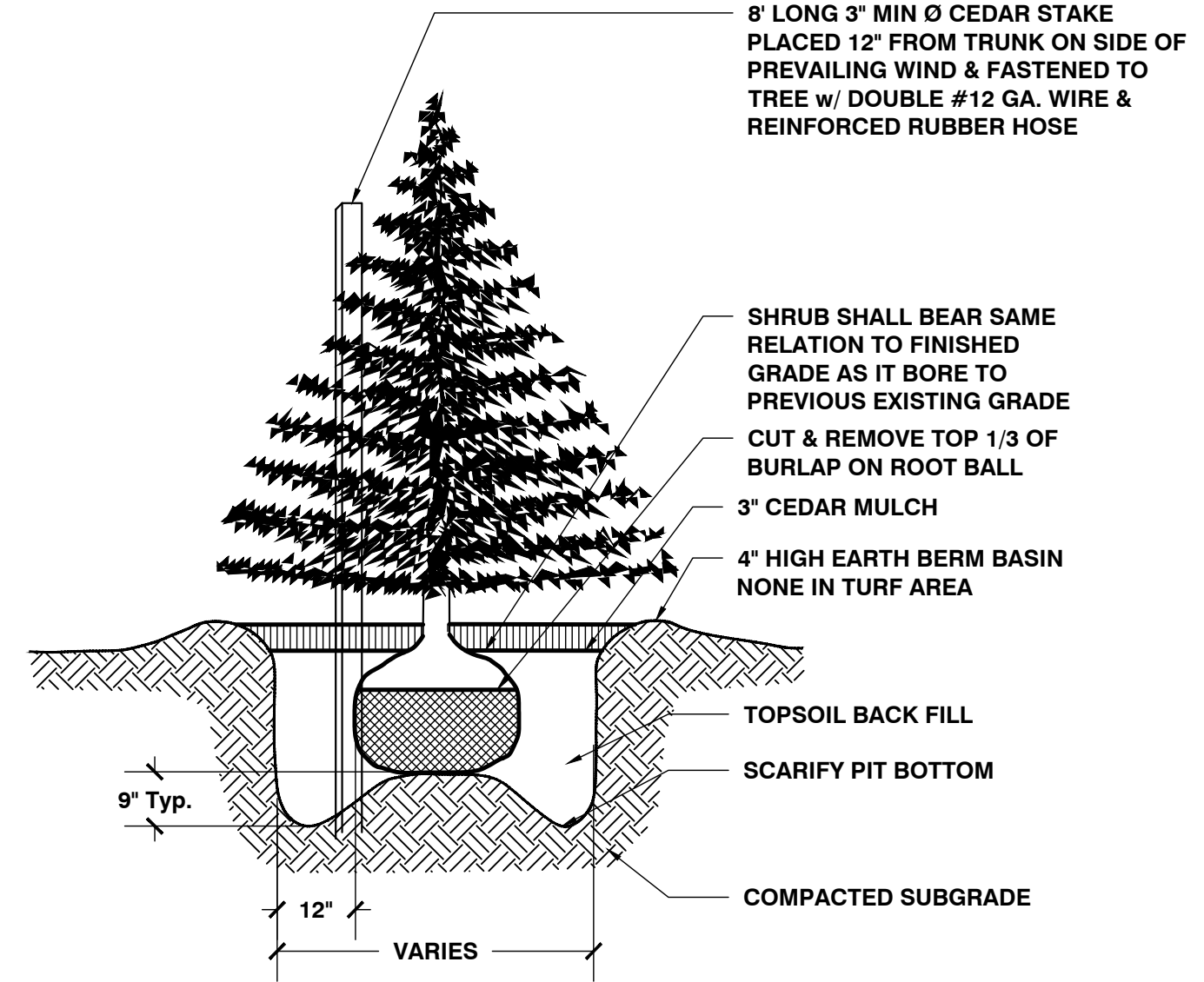
LONGTERM PLANTING MAINTENANCE NOTES
THE OWNER/OPERATOR SHALL BE RESPONSIBLE FOR THE LONG-TERM MONITORING AND MAINTENANCE OF THE PLANTINGS WITHIN THE THE SITE IN PERPETUITY AND TO THE SATISFACTION OF THE TOWN.

THE COVERAGE OF THE SEEDED AREAS SHALL BE UNIFORM WITH NO BARE AREAS LARGER THAN ONE-HALF SQUARE FEET.

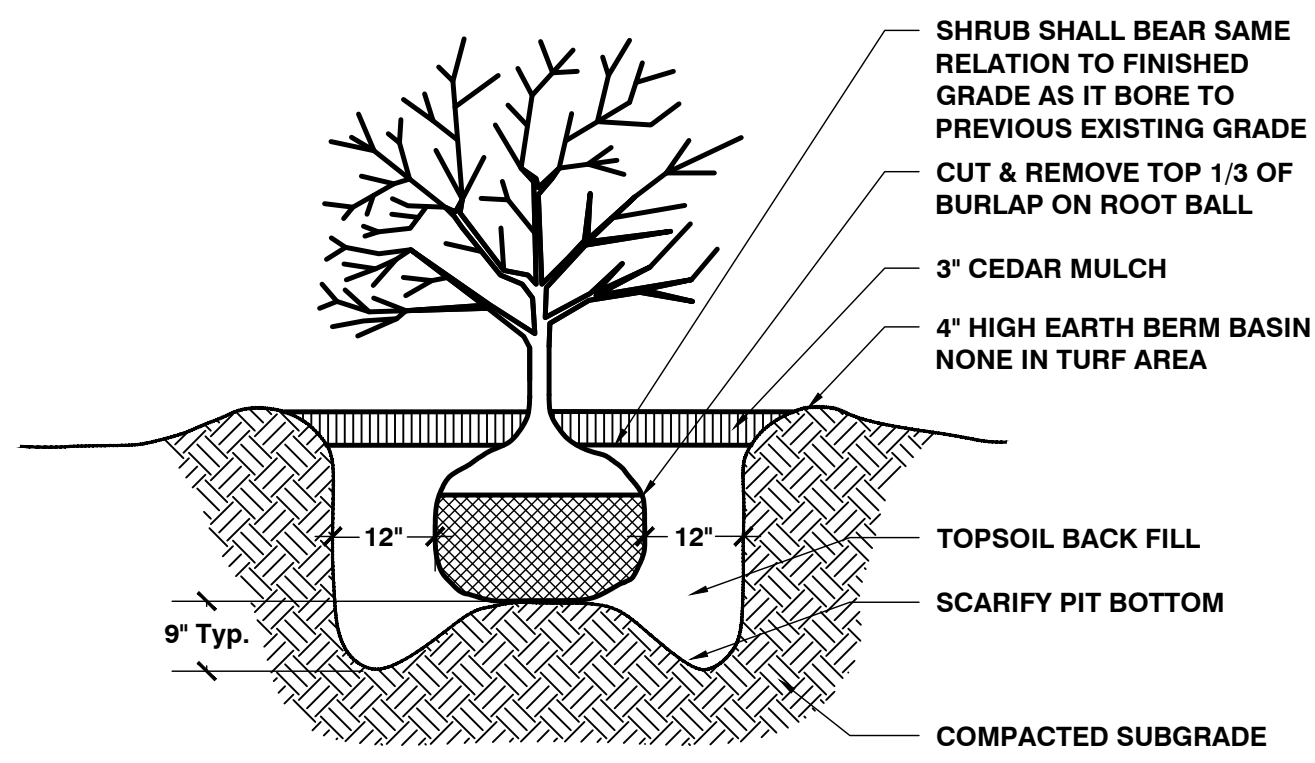
THE ACCEPTABLE DENSITY OF COVERAGE SHALL BE A MINIMUM OF EIGHTY-FIVE PERCENT (85%) OF LANDSCAPE QUANTITY PLANTS SHOWN ON THE APPROVED PLANTING PLAN. IF LESS THAN EIGHTY-FIVE (85%) OF A PARTICULAR PLANT SPECIES SURVIVES, REPLACEMENT WITH SAME AND/OR ALTERNATIVE PLANT SPECIES ACCEPTABLE TO THE TOWN PLANNING BOARD SHALL OCCUR, SERVING THE INTENDED FUNCTION OF THE ORIGINALLY PROPOSED PLANTINGS.



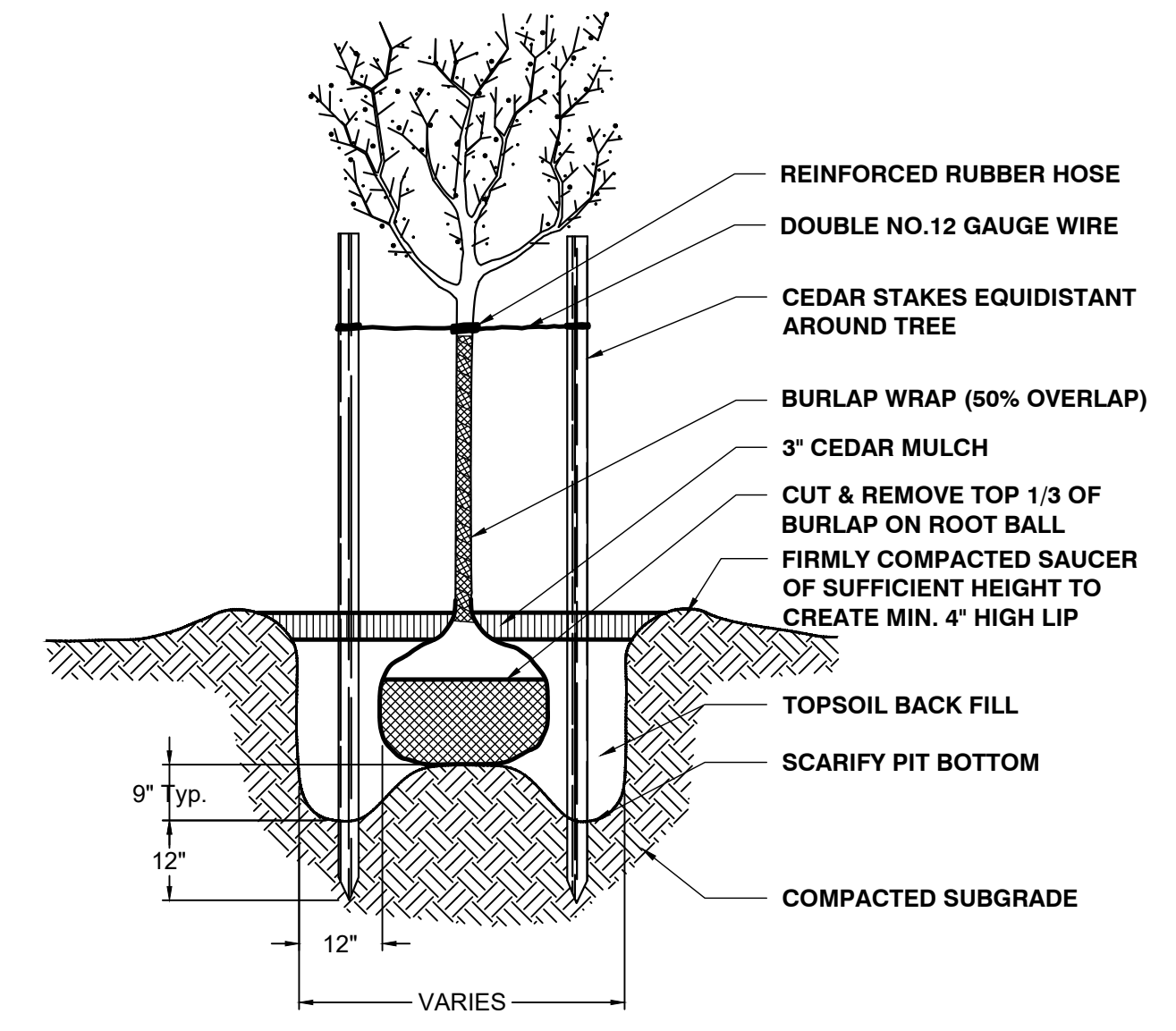
2 SOIL RESTORATION DETAIL
NOT TO SCALE



3 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

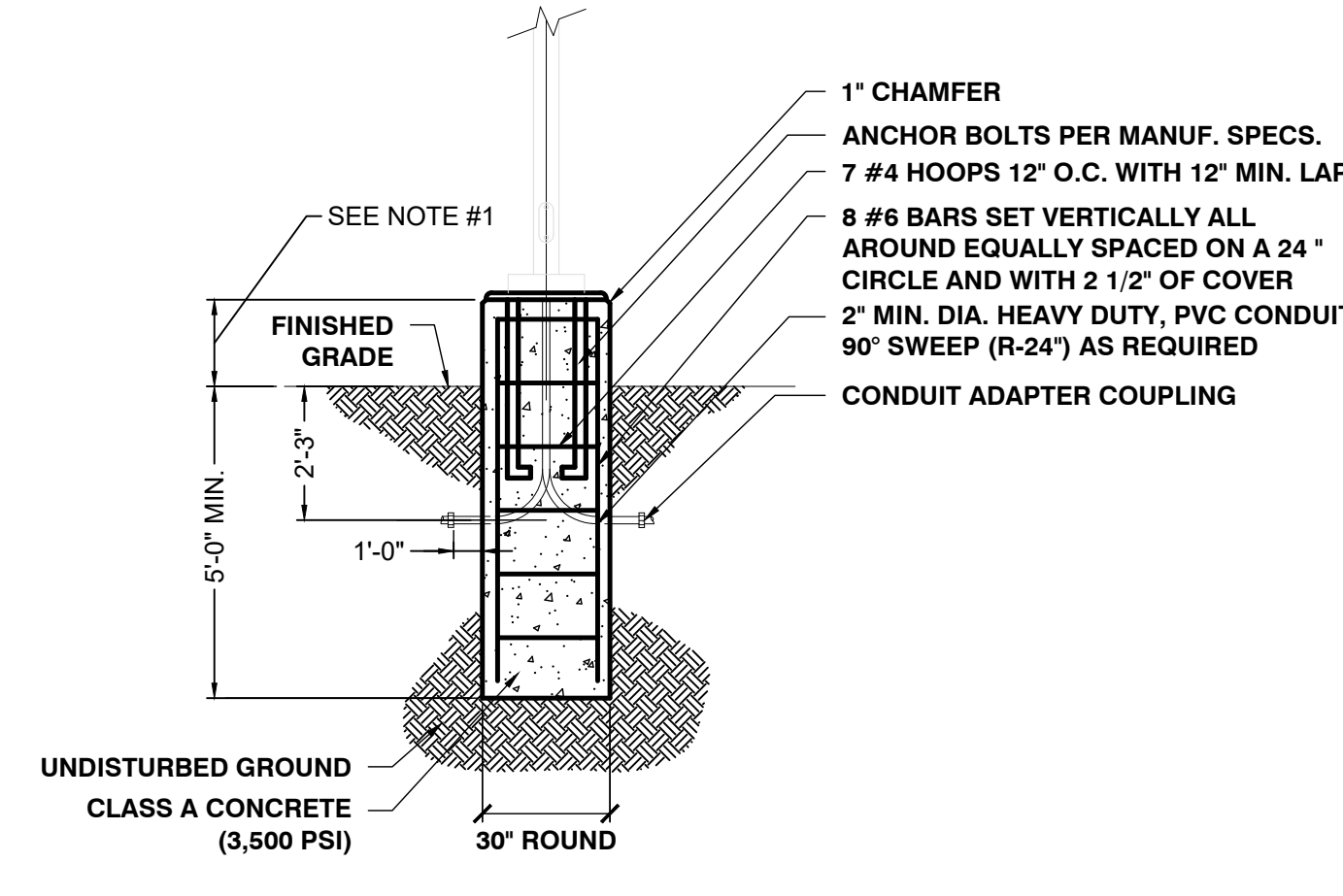


4 SHRUB PLANTING DETAIL
NOT TO SCALE



5 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

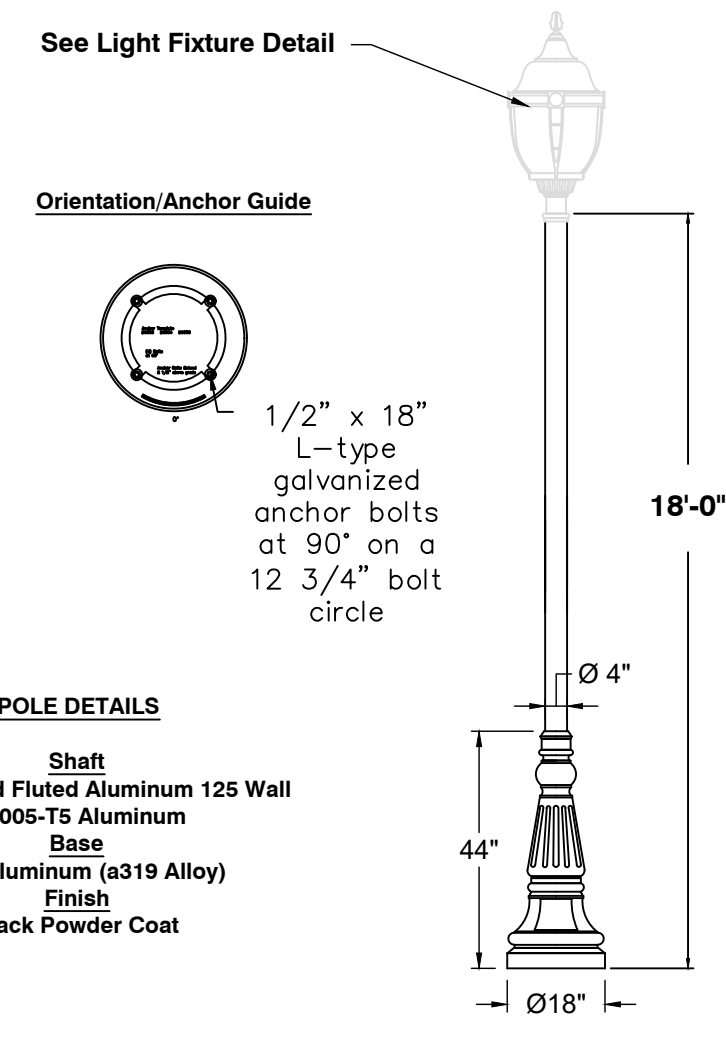
NOTES:
1. IF CONTAINERS ARE USED CAREFULLY REMOVE TOP 1/3 OF CONTAINER (IF CONTAINER IS NON-ORGANIC, REMOVE COMPLETELY); CUT VARIOUS SLITS IN ORGANIC CONTAINER TO FACILITATE ROOT PENETRATION (OR REMOVE CONTAINER BOTTOM).
2. DO NOT ALLOW ANY PORTION OF CONTAINER TO REMAIN EXPOSED.
3. WATER THOROUGHLY SUBSEQUENT TO INSTALLATION.



NOTE:

- PROVIDE 24\"/>

7 LIGHT POLE BASE DETAIL
NOT TO SCALE



POLE DETAILS
Shaft
04\"/>

WFCL2
Utility Washington Series Luminaire
Full Cutoff LED2

Catalog Number	
Notes	Type

Mechanical

- Heavy grade A360-cast aluminum (<1% copper)
- Tool-less access with a spring-loaded latch
- Hidden hinge door allowing the door to swing open and remain open
- Optional internal or external NEMA twist lock photocontrol receptacle. Housing contains a tempered glass window to allow light to reach the cell for internal versions
- Mount to slip-fitter that will accept 3\"/>

Electrical

- All surge protection meets ANSI/IEEE C62.41.2 10kV/10kA.
- Standard SPD meets 10kV/5kA per ANSI C136.2-2015.
- 200V option meets 20kV/10kA per ANSI C136.2-2015.
- Quick disconnect connectors for ease of installation and maintenance.
- Three pole terminal block is standard, with optional prewired leads for ease of installation
- LED drivers meet maximum total harmonic distortion (THD) of 20%, >0.50 Power Factor and are RoHS compliant. Minimum operating temperature is -40C. Electronic driver has an estimated minimum life of 100,000 hours at 25°C.

Optical

- IP65 rated optical compartment
- LED circuit board located in the top cover
- Asymmetric or Symmetric full cutoff distributions
- 2700K, 3000K, 4000K, and 5000K CCT
- 70CRI Standard

Control Options

- Field Adjustable Output (AO) module - On-board device that adjusts the light output and input wattage to meet site specific requirements. The AO module is preset at the factory to position number 8 (see chart).
- Wireless remote control for monitoring performance and/or maintenance of the system - ROAM
- Factory Programmed Driver (FPD) - Customize lumen output prior to manufacturing and still enables control leads so other options can also be used
- Long Life Photocontrols (PLL) - 20 Year Life
- 3 and 7 pin photocontrol receptacles internally (P3, P7) or externally (P3E, P7E) mounted
- Part-night dimming (PND) enables luminaires to monitor and adjust 50% lumens based on season and geographic location, 8-day rolling average

Testing/Compliance

- UL 1598 - Wet Locations Safety Listing
- Suitable for ambient temperatures -40°C to 40°C
- DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check with the DLC Qualified Products List at www.designlights.org/QPL for updated list

Manufacturing

- Manufactured in Crawfordsville, Indiana, AURA compliant
- 100% electrical testing on all luminaires before shipment
- Ten (10) years minimum experience in manufacturing LED based products

Warranty

5-year limited warranty. Complete warranty terms located at: www.aaculitybrands.com/CustomerResource/Items_and_ConItems.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

DIMENSIONAL DATA

Maximum Weight - 57 lbs
Maximum Effective Projected Area - 1.72 sq. ft.

HoloPhane | 3825 Columbus Rd., Granville, OH 43023 | Phone: 866-HOLOPHANE | www.holophane.com
Acuity Brands | © 2018-2019 Acuity Brands Lighting, Inc. All rights reserved. Rev. 09/03/19 Specifications are subject to change without notice.

6 LIGHTING CUT SHEET
NOT TO SCALE

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSONS TO ALTER THESE PLANS, SPECIFICATIONS, OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR.

Brian J. Stokosa, PE	
04-20-22	
02-15-22	
09-21-20	
2020.132	License No. 083970

DAY STOKOSA
ENGINEERING P.C.

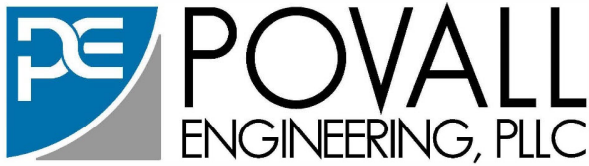
3 Van Wyck Lane
Suite 2
Wappingers Falls, New York 12590
(845) 223-3202

PROJECT
Delavergne Ave Sub.
Town of Poughkeepsie Dutchess County, New York

LANDSCAPING & LIGHTING DETAILS

SCALE	DRAWN BY	DATE	CHECKED BY	DATE
AS NOTED	BJS	6-17-20	BJS	

C580



p: (845) 897-8205
f: (845) 897-0042

3 Nancy Court, Suite 4
Wappingers Falls, NY 12590

www.PovallEngineering.com

William H. Povall III, P.E.
Professional Engineer: NY

April 28, 2022

Chairman Tom Morris and Planning Board Members
Village of Wappingers Falls Planning Board
2582 South Avenue
Wappingers Falls, NY 12590

RE: Subdivision Plan for 2731 W Main Street
Tax Grid Nos. 134601-6158-13240434 – 0.37 ac.
Village of Wappingers Falls

Dear Chairman Morris and Planning Board Members:

On behalf of the owner/applicant, Dylan Aguado, we are submitting the attached application for adding a second 2-family residence on a 0.37-acre parcel located at the above referenced address in the VM, Village Mixed Zoning District. Currently there is one (1) existing two-family apartment building/house located on the parcel. The owner/applicant is proposing to construct a new two-family apartment building/house on the parcel. The existing two-family apartment building/house will remain. The proposed apartment building/house will connect to the existing water and sewer services in the existing structure. The existing driveway will be relocated between the two buildings/houses to improve shared access. Additional parking is proposed on the parcel to accommodate the new two-family apartment building/house.

In support of this application, please find enclosed the following:

- Seven (7) copies of the Application for Planning Board Review
- Seven (7) copies of the Owner's Consent Form and affidavits
- Seven (7) copies of the Project Narrative dated April 28, 2022
- Seven (7) copies of the Short EAF
- Seven (7) copies of the Site Plan dated April 28, 2022
- Seven (7) copies of the Map of Survey dated January 8, 2022
- One (1) check in the amount of \$1,510.00 (\$0.25 x 6,040 sq. ft. of planned parcel use) for the application fee
- One (1) check in the amount of \$750.00 for escrow

We respectfully request to be placed on the next available Planning Board agenda. Please contact this office, should you have any questions or require any additional information. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. H. Povall III', with a long horizontal flourish extending to the right.

William H. Povall, III, P.E.

cc: Dylan Aguado



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: _____

Date of Meeting: _____

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website www.wappingersfallsny.gov.

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

Items to be submitted for review: (Only items pertaining to project)

Five (5)

PDF Emailed to Building Dept. and ~~Ten (10)~~ Five (5) hard copy sets of construction (site) elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)

Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)

Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)

Application fee

Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

(Separate Application)



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: _____ Date of Meeting : _____

Property Identification:

Address: W 2731 Main Street

Zoning District: VM - Village Mixed Existing site area: 0.374 Ac.

Owner Information:

Name : Dylan Aguado

Address : 9 Lenny Court

City: Wappingers Falls State: NY Zip: 12590

Contact Numbers: (H) _____ (C) 845-705-5049

(E-mail) aguado.landscaping@aol.com

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name : same as owner

Address: _____

City: _____ State: _____ Zip: _____

Contact Numbers: (H) _____ (C) _____

E-mail Address: _____

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: William H. Povall, III, P.E.

Title: President

Architect Engineer

Company: Povall Engineering, PLLC

Address: 3 Nancy Court, Suite 4

Telephone # : 845-897-8205

E-mail Address: whp@povallengineering.com



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
 (Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): Two-family dwelling

Proposed square footage: 1,860 sq. ft.

Project Description : *(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

The owner/applicant is proposing to construct a new two-family apartment building/house on the parcel. The existing two-family apartment building/house will remain. The proposed apartment building/house will connect to the existing water and sewer services in the existing structure. The existing driveway will be relocated between the two buildings/houses to improve shared access. Additional parking is proposed on the parcel to accommodate the new two-family apartment building/house.

Items to be submitted for review: (Only items pertaining to project)

Five (5)

- ~~Ten (10)~~ sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.

Jy a
 Signature of Applicant Signed

4/22/22
 Date

Office use only:

[] FEE : _____ **Receipt No. :** _____ **Cash / Check #** _____ **Date:** _____

Revised by : _____ **Revision date :** _____
 Zoning Administrator/Code Enforcement Officer



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: Dylan Aguado

Address of property owner: 9 Lenny Court

City: Wappingers Falls State: NY Zip: 12590

Phone number of property owner: (Include home, work, mobile number and e-mail address):

(H) _____ (C) 845-705-5049

(W) _____ (Email) aguado.landscaping@aol.com

Address of site where work is being conducted: W 2731 Main Street, Village of Wappingers Falls

Description of work: The owner/applicant is proposing to construct a new two-family apartment building/house on the parcel. The existing two-family apartment building/house will remain. The proposed apartment building/house will connect to the existing water and sewer in the existing structure. The existing driveway will be relocated between the two apartment buildings/houses to improve shared access. Additional parking is proposed on the parcel to accommodate the new two-family apartment building/house.

Name of person doing work: William H. Povall, III, P.E.

Address of person doing work: 3 Nancy Court, Suite 4

City: Wappingers Falls State: NY Zip: 12590

Phone number of person doing work (Include home, work, mobile numbers and e-mail address):

(H) _____ (C) 845-797-5003

(W) 845-897-8205 (Email) whp@povallengineering.com

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.


Signature of Property Owner

4/22/22
Date Signed

PART "A"
OWNER AFFIDAVIT

State of New York }
County of Dutchess } ss:

Dylan Aguado being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize Povall Engineering, PLLC, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

[Signature]
Applicant/Owner

Applicant/Owner

Sworn to before me this 22 day of

April, 2022.

[Signature]
Notary Public

WENDY PRZETAKIEWICZ
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PR6295033
Qualified in Dutchess County
My Commission Expires December 23, 2025

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of New York }
County of Dutchess } ss:

Dylan Aguado being duly sworn, deposes and says:

1. That I/we are the owner/applicant named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 9 Lenny Court, Wappingers Falls, NY in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

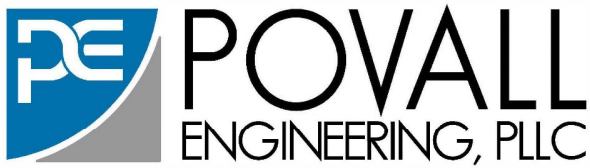
[Signature]
Applicant/Agent

Applicant/Agent

Sworn to before me this 22 day of
April, 2022.

[Signature]
Notary Public

WENDY PRZETAKIEWICZ
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PR6295033
Qualified in Dutchess County
My Commission Expires December 23, 2025



p: (845) 897-8205
f: (845) 897-0042

www.PovallEngineering.com

3 Nancy Court, Suite 4
Wappingers Falls, NY 12590

William H. Povall III, P.E.
Professional Engineer: NY

PROJECT NARRATIVE

Dated: April 28, 2022

Site Plan for 2731 W. Main Street

2731 W. Main Street - Tax Grid No. 134601-6158-13-240434
Village of Wappingers Falls, Dutchess County, NY

INTRODUCTION

The above referenced parcel is located on the western side of Main Street (N.Y.S. Route 9D) in the Village of Wappingers Falls. The owner/applicant, Dylan Aguado, is proposing to construct a new two-family apartment building/house on the parcel. The existing apartment building/house will remain.

USE

The parcel lies in the Village Mixed (VM) zoning district which identifies two-family residential dwellings and multi-family dwellings as permitted uses. The existing site contains one (1) two-family residential dwelling structure. The proposed project will provide a second two-family residential dwelling structure consistent with the permitted use in the VM zone.

ARCHITECTURE:

The existing 2-family apartment building/house and detached garage will remain with no renovations proposed. The new 2-family apartment building/house will be constructed with similar architectural features. The new house will provide a similar pitched roof with similar finishes and colors.

ACCESS/PARKING

Typically, one (1) curb cut is permitted per residential parcel by the Village of Wappingers Falls and the New York State Department of Transportation (NYSDOT). Therefore, to provide improved access to both the existing and new apartment buildings/houses, the driveway access will be relocated between the 2 structures. This will provide direct access to all parking. The existing driveway to be relocated will be removed and seeded as lawn area.

As per the Village of Wappingers Falls Zoning requirements, the minimum number of required parking spaces for the two apartment buildings containing 4 apartment units is 4 parking spaces (1 per unit). A total of 8 parking spaces have been proposed to provide 2 spaces for each unit to accommodate a second car and/or guest parking per unit.

LANDSCAPING

The area where the new apartment building is proposed is predominantly lawn area. One larger size tree will be required to be removed. As can be seen on the Site Plan, seven (7) deciduous trees are proposed.

LIGHTING:

Exterior lighting will be mounted on the building, providing minimal coverage on the driveway and parking area. All proposed lighting will be LED and be fully shielded in compliance with the Village of Wappingers Falls lighting requirements.

WATER SUPPLY & SEWAGE DISPOSAL

The existing apartment building/house is connected to the existing municipal water main located in West Main Street. The proposed apartment house will be connected to the existing water service line located in the existing apartment house downstream on the water meter. The water service line will be run underground between the two structures.

The existing apartment building/house is also connected to the existing municipal sewer main located in West Main Street. The proposed apartment building will be connected to the existing sewer service located in front of the existing building for wastewater disposal. A new manhole will be installed at the connection point to provide proper conveyance and access for maintenance.

STORMWATER:

Currently, the majority of the site stormwater runoff sheet flows through the lawn area to the rear of the parcel to the west. Minimal additional stormwater runoff will be generated by the proposed project. Stormwater runoff will continue to sheet flow to the rear of the parcel through the lawn area consistent with present runoff patterns.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project: Site Plan for 2731 West Main Street				
Project Location (describe, and attach a location map): 2731 West Main Street, Village of Wappingers Falls. Location map on attached Site Plan.				
Brief Description of Proposed Action: The owner/applicant is proposing to construct a new two-family apartment building/house on the parcel. The existing two-family apartment building/house will remain. The proposed apartment building/house will connect to the existing water and sewer services in the existing structure. The existing driveway will be relocated between the two buildings/houses to improve shared access. Additional parking is proposed to accommodate the new two-family apartment building/house.				
Name of Applicant or Sponsor: Dylan Aguado		Telephone: 845-705-5049 E-Mail: aguado.landscaping@aol.com		
Address: 9 Lenny Court				
City/PO: Wappingers Falls		State: NY	Zip Code: 12590	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.37 acres		
b. Total acreage to be physically disturbed?		0.23 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.37 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: <u>Name: Wappinger Lake, Reason: Protection of natural resource, Agency: Vlg of Wappingers Falls, Date: 6-29-98</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

Project:

Date:

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project: _____

Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

 Name of Lead Agency

 Date

 Print or Type Name of Responsible Officer in Lead Agency

 Title of Responsible Officer

 Signature of Responsible Officer in Lead Agency

 Signature of Preparer (if different from Responsible Officer)

N/F
MACINA
DOC No. 02 2020 1491
TAX GRID No. 134601-6158-13-223434

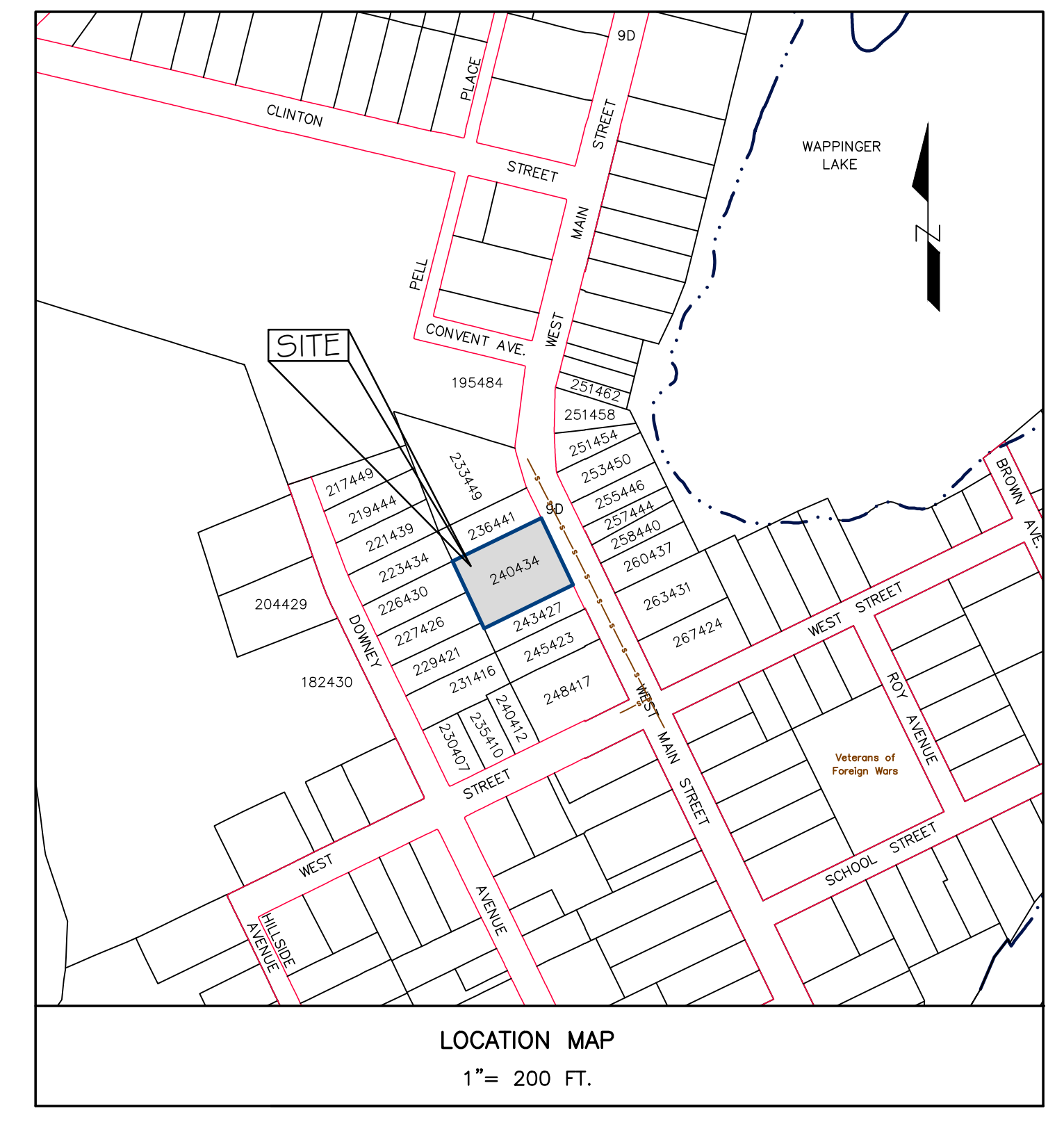
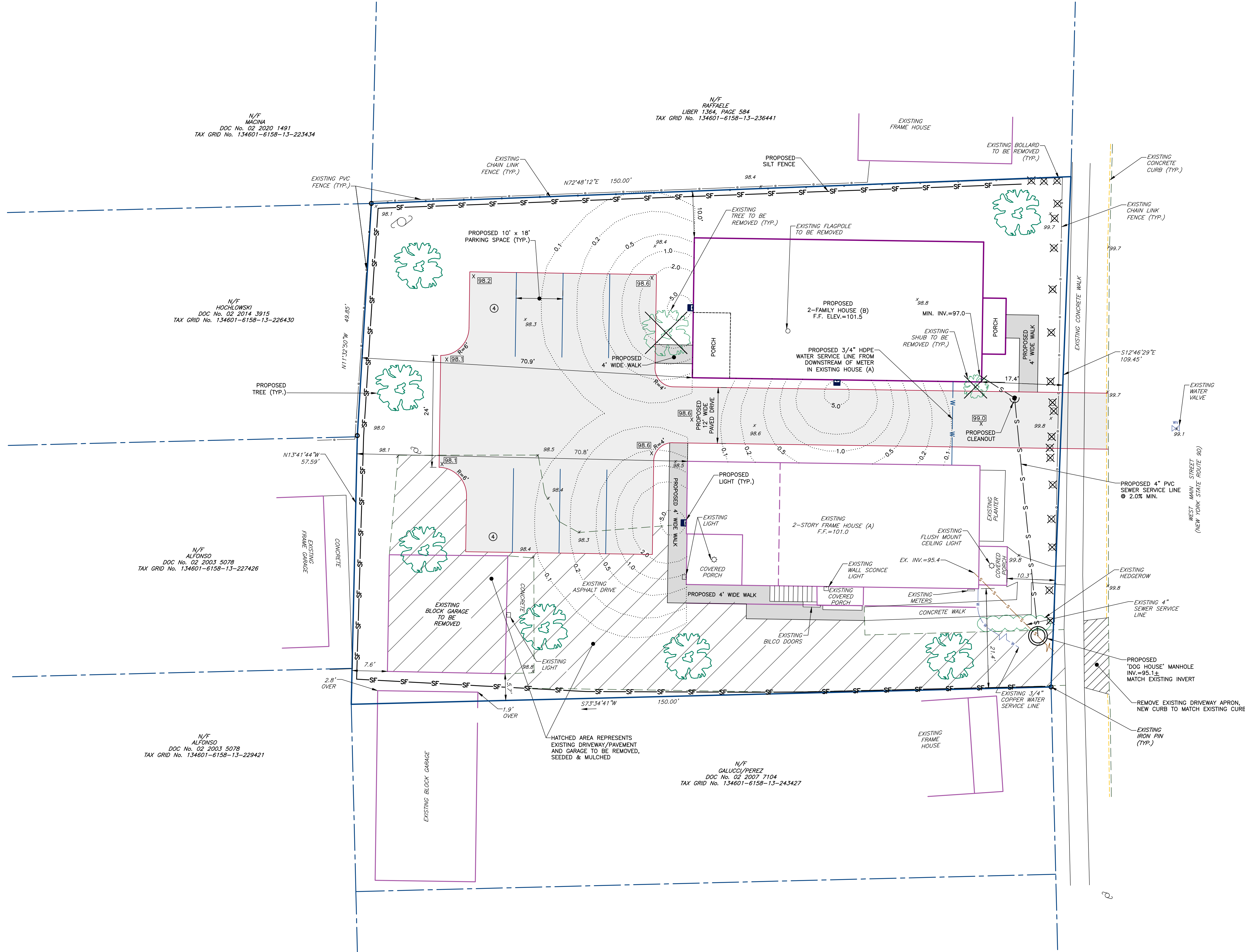
N/F
HOCKLANSKI
DOC No. 02 2014 3915
TAX GRID No. 134601-6158-13-226430

N/F
ALFONSO
DOC No. 02 2003 5078
TAX GRID No. 134601-6158-13-227426

N/F
ALFONSO
DOC No. 02 2003 5078
TAX GRID No. 134601-6158-13-229421

N/F
RASCAGLE
LIBER 1364, PAGE 584
TAX GRID No. 134601-6158-13-236441

N/F
GALUCCI/PEREZ
DOC No. 02 2007 7104
TAX GRID No. 134601-6158-13-243427



- GENERAL NOTES**
- ALTERATION OF THIS PLAN BY ANY PERSON OTHER THAN A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 2209-2 OF THE NEW YORK STATE EDUCATION LAWS. ANY ALTERATIONS OF THIS PLAN BY A NYS LICENSED PROFESSIONAL ENGINEER SHALL BE SO NOTED AND DATED AND BE ACCOMPANIED BY THE SEAL AND SIGNATURE OF SUCH PROFESSIONAL ENGINEER.
 - EXISTING SURVEY FROM A MAP ENTITLED "MAP OF SURVEY OF LANDS OF AGUADO, 2731 WEST MAIN STREET (NY 90)", DATED JANUARY 8, 2022, PREPARED BY JOHN J. POST JR., L.S.
 - LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PARKING SCHEDULE

REQUIRED PARKING:	
VM VILLAGE MIX USE DISTRICT:	DWELLING: TWO FAMILY = 1 SPACE PER UNIT: 4 UNITS = 4 SPACES
TOTAL EXISTING PARKING SPACES:	= 4 SPACES
TOTAL PROPOSED PARKING SPACES:	= 4 SPACES
TOTAL PARKING SPACES PROVIDED:	= 8 SPACES

SCHEDULE OF BULK REGULATIONS

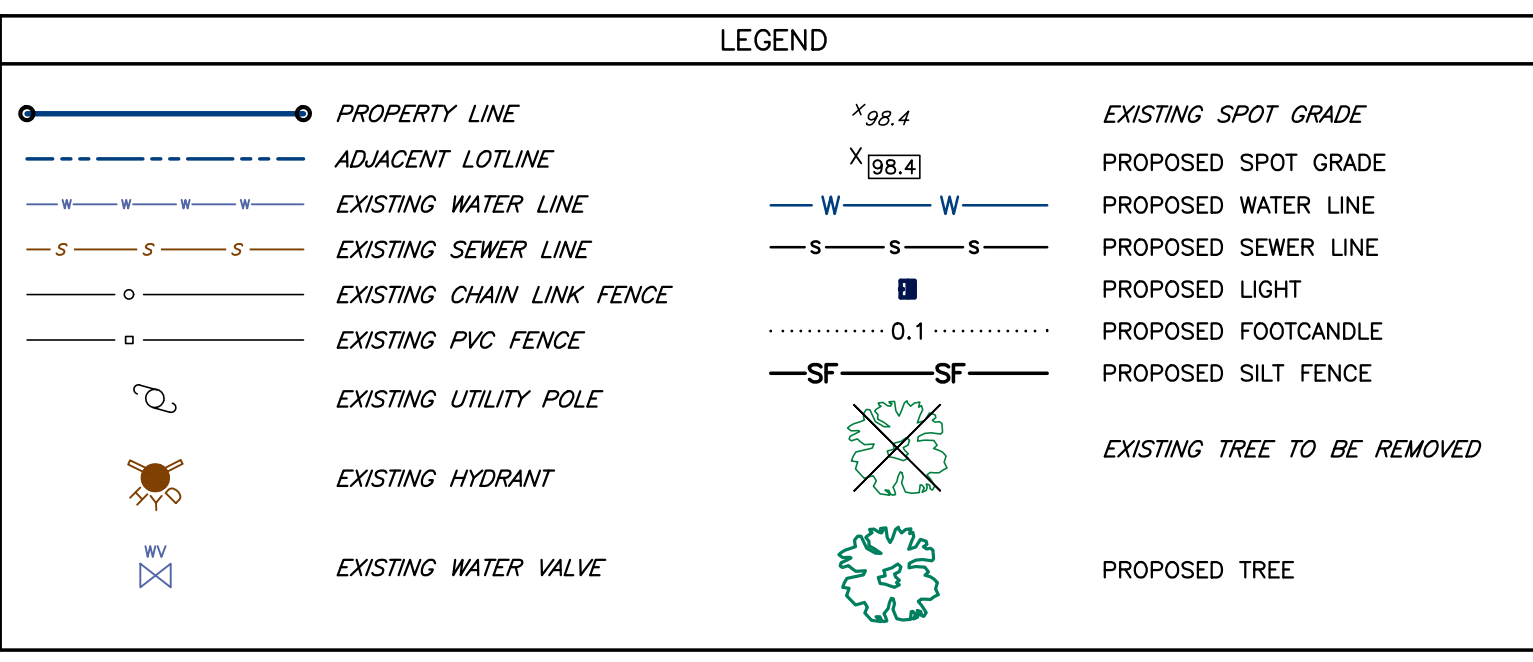
VM DISTRICT	REQUIRED	EXISTING	PROPOSED
PRINCIPAL BUILDING HEIGHT	3 STORIES MAX/2 STORIES MIN.	2 stories	2 stories
ACCESSORY BUILDING HEIGHT	2 STORIES MAX.	1 story	1 story
MINIMUM LOT WIDTH	25 FT.	108.4 ft.	108.4 ft.
MAXIMUM LOT COVERAGE	75% MAX.	37%	48%
MINIMUM GREENSPACE	10% MIN.	63%	52%
FRONT SETBACK (PRINCIPAL)	10 FT. MIN.	10.3 ft.	10.3 ft.
FRONT SETBACK (SECONDARY)	10 FT. MIN.	N/A	N/A
SIDE SETBACK	0 FT. MIN.	21.4 ft.	10.0 ft.
REAR SETBACK	10 FT. MIN.	70.8 ft.	70.8 ft.
ACCESSORY BUILDING			
PRINCIPAL FRONTAGE	30 FT.	117.0 ft.	N/A
SECONDARY FRONTAGE	5 FT. MIN. OR 3 FT. AT CORNER	N/A	N/A
SIDE SETBACK	5 FT. MIN.	9.7 ft.	N/A

OWNER/APPLICANT:
DYLAN AGUADO
9 LENNY COURT
WAPPINGERS FALLS, NY 12590

PROPERTY INFORMATION:
2731 WEST MAIN STREET
TAX MAP NO.: 134601-6158-13-240434
DOC. No. 22021 450

ZONING DESIGNATION:
VM - VILLAGE MIXED DISTRICT

PROPERTY ACREAGE:
TOTAL AREA = 0.374± ACRES

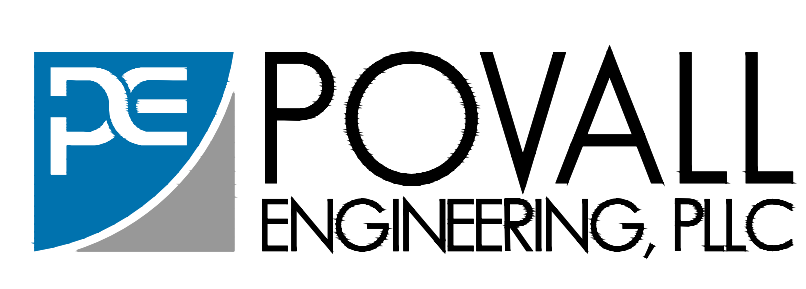


REVISIONS

DATE:	DESCRIPTION:

OWNER'S CONSENT NOTE:
THE UNDERSIGNED OWNER OF THE PROPERTY HEREON STATES THAT HE/SHE IS FAMILIAR WITH THIS MAP, ITS CONTENTS, AND ITS LEGENDS AND HEREBY CONSENTS TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

OWNER _____ DATE _____



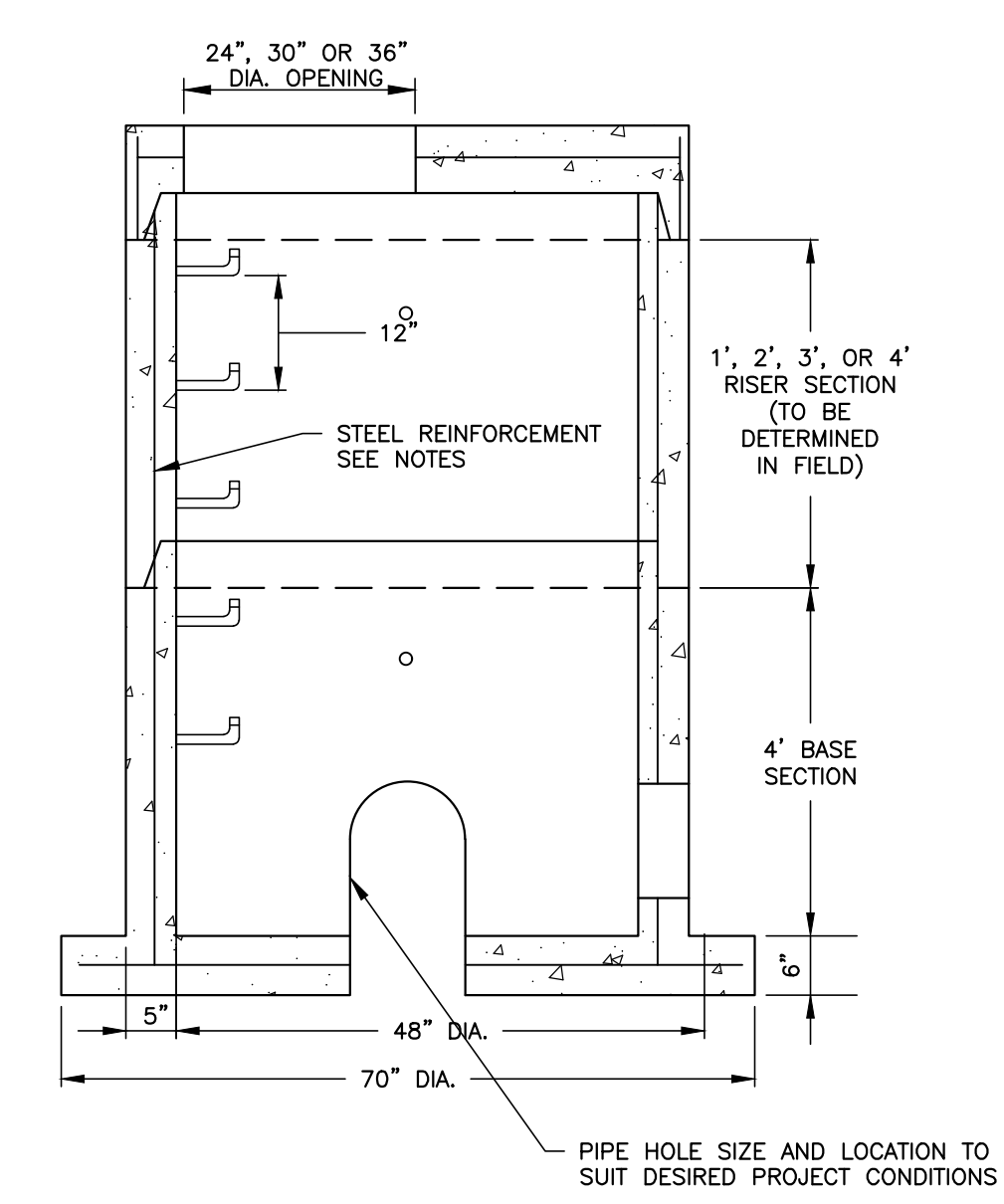
WILLIAM H. POVALL III, P.E.
N.Y.S.P.E. LICENSE #075020
3 NANCY COURT, SUITE 4
WAPPINGERS FALLS, NY 12590
TEL.: (845) 897-9205
FAX: (845) 897-0042

SITE PLAN FOR
2731 WEST MAIN STREET
VILLAGE OF WAPPINGERS FALLS
DUTCHESS COUNTY, NEW YORK

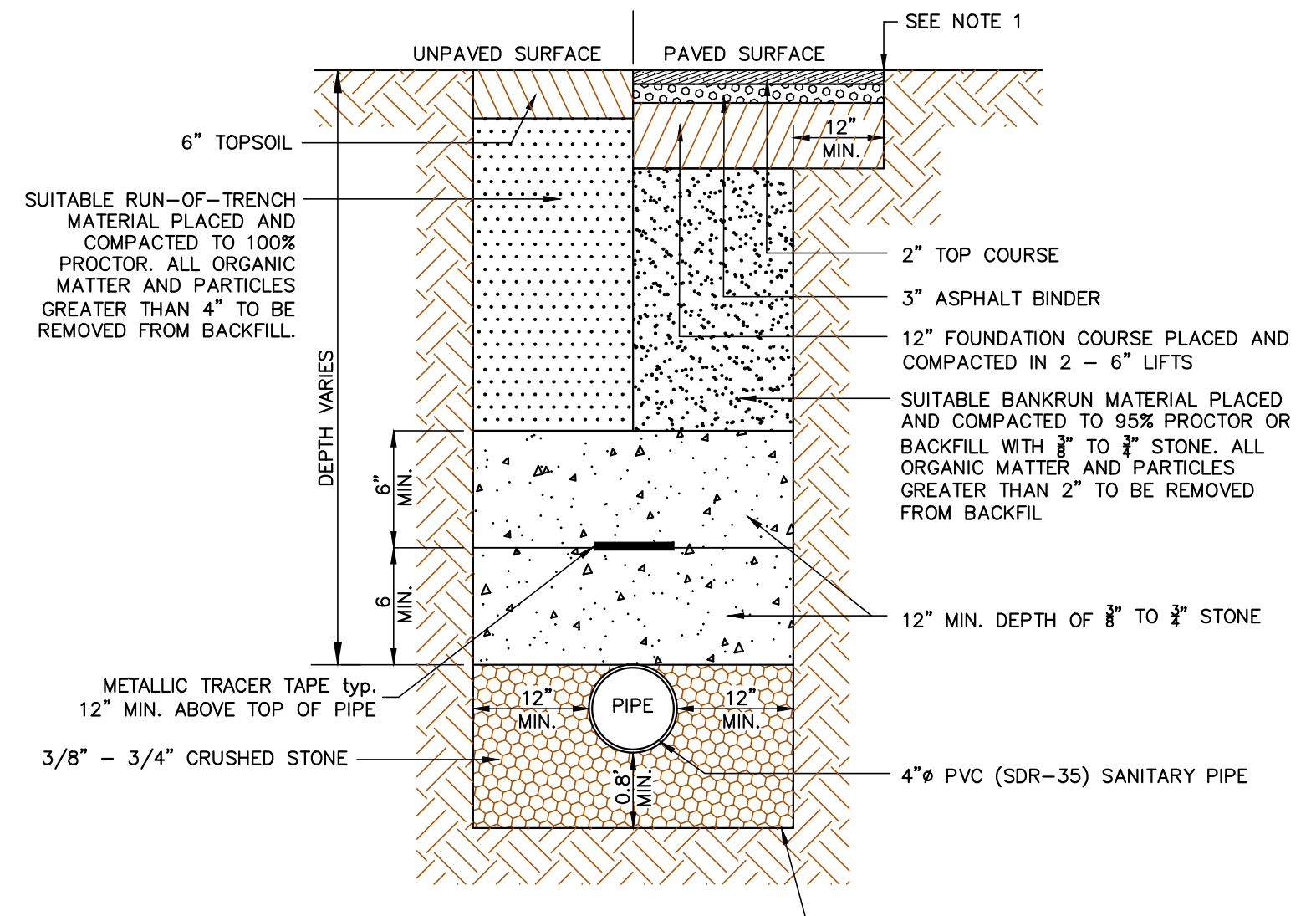
JOB #: 2202
DATE: 04-28-22
SCALE: 1"=10'
SP-1
SHEET 1 OF 2

RESIDENTIAL TYPE 2 DRIVEWAY NOTES:
 DRIVEWAY ENTRANCE SHALL BE IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARDS FOR RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS 608-03

- ALL AREAS WITHIN THE NYS RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION SHALL BE PERMANENTLY STABILIZED WITH TOPSOIL, SEED, AND MULCH, IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL SPECIFICATIONS, OR AS DIRECTED BY THE NYSDOT REPRESENTATIVE.
- MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- DRIVEWAY MUST BE PAVED FOR A MINIMUM OF 10 FT. BACK FROM THE EDGE OF ROAD.
- DRIVEWAY MUST BE A MINIMUM OF 5 FT. FROM THE PROPERTY LINE.
- THE MINIMUM ACCEPTABLE THICKNESS OF THE DRIVEWAY MATERIAL SHALL BE 3" OF ASPHALT CONCRETE ON A 6" GRAVEL BASE (ITEM 4).
- CENTERLINE OF THE DRIVEWAY MUST BE PERPENDICULAR TO EDGE OF THE STATE HIGHWAY.
- WHERE THERE ARE CONSTRAINT THAT PREVENT THE CONSTRUCTION OF THE DRIVEWAY OPENING USING EITHER OF THE LAYOUT METHODS, THE ENGINEER MAY SPECIFY A SMALL CORNER CURB RADIUS OF 2' (OR A 1/2 BULL NOSE CURB ALONG LOW SPEED HIGHWAYS), PROVIDED THE DRIVEWAY OPENING MEETS THE REQUIREMENT SO OF THE DRIVEWAY TABLES.
- ANY PCC SIDEWALK WHICH CROSSES A DRIVEWAY SHALL HAVE A MINIMUM THICKNESS OF 6" AND INCLUDE STEEL MESH REINFORCEMENT WITH 3" OF TOP COVER.
- TO PREVENT DRIVEWAY GRADES FROM EXCEEDING THE VALUES IN TABLE 2 - MAXIMUM DRIVEWAY SLOPE, IT MAY BE NECESSARY TO DEPRESS THE SIDEWALK ACROSS THE DRIVEWAY. SIDEWALK RAMPS SHALL HAVE THE LEAST RUNNING SLOPE POSSIBLE, WITH A MAXIMUM DESIGN AND LAYOUT SLOPE OF 1.5%. THE RUNNING SLOPE FOR WORK ACCEPTANCE SHALL BE A MAXIMUM OF 8.3% WHERE EXISTING CONDITIONS DO NOT ALLOW THE CONSTRUCTION OF A SIDEWALK RAMP AT 8.3% OR LESS RUNNING SLOPE. THE RAMP LENGTH SHALL NOT BE REQUIRED TO EXCEED 15'-1" FOR DESIGN AND LAYOUT. THE RAMP LENGTH SHALL NOT BE REQUIRED TO EXCEED 15'-0" FOR WORK ACCEPTANCE.
- WHERE DRAINAGE IS CARRIED ALONG THE CURB, CONSTRUCT THE DRIVEWAY ENTRANCE (FLAT DRIVEWAY) OR RUNNING DOWN THE DRIVEWAY (DOWNHILL DRIVEWAY) SLOPE. IF CONDITIONS MAKE THE ADDITION OF A SHORT UPGRADE IMPRACTICAL, USE 1" CURB REVEAL AND CONTINUE CURB ACROSS THE DRIVEWAY OPENING. TYPICALLY, CURB REVEAL WILL NOT BE CONSTRUCTED IN RURAL AREAS. IF CURB REVEAL IS SPECIFIED FOR A SPECIFIC DRIVEWAY, IT WILL BE NOTED IN THE DRIVEWAY TABLE OF THE CONTRACT PLANS IN THE 'COMMENTS' COLUMN.



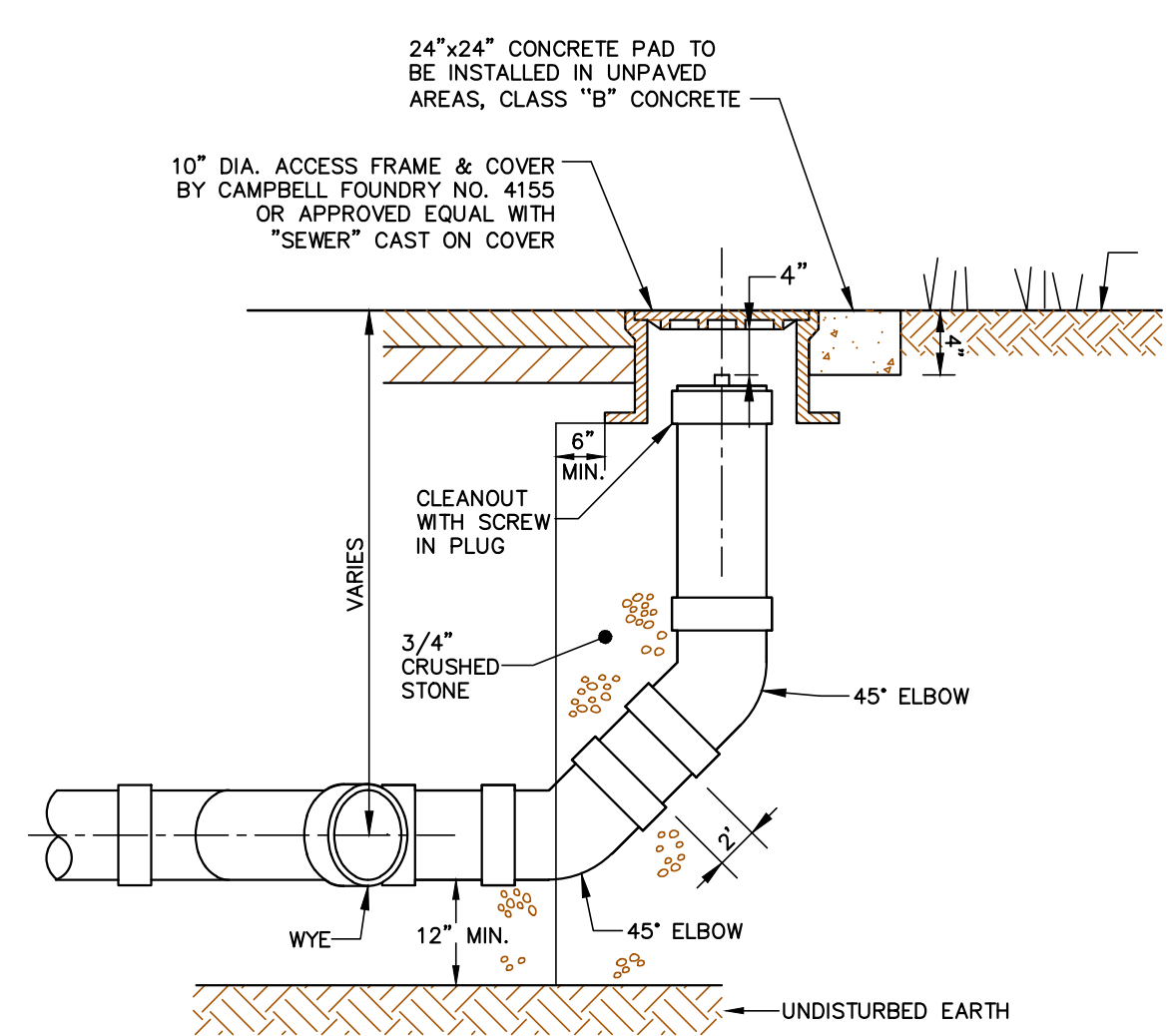
SANITARY SEWER DOGHOUSE MANHOLE DETAIL
 NOT TO SCALE



SANITARY SEWER TRENCH DETAIL
 NOT TO SCALE

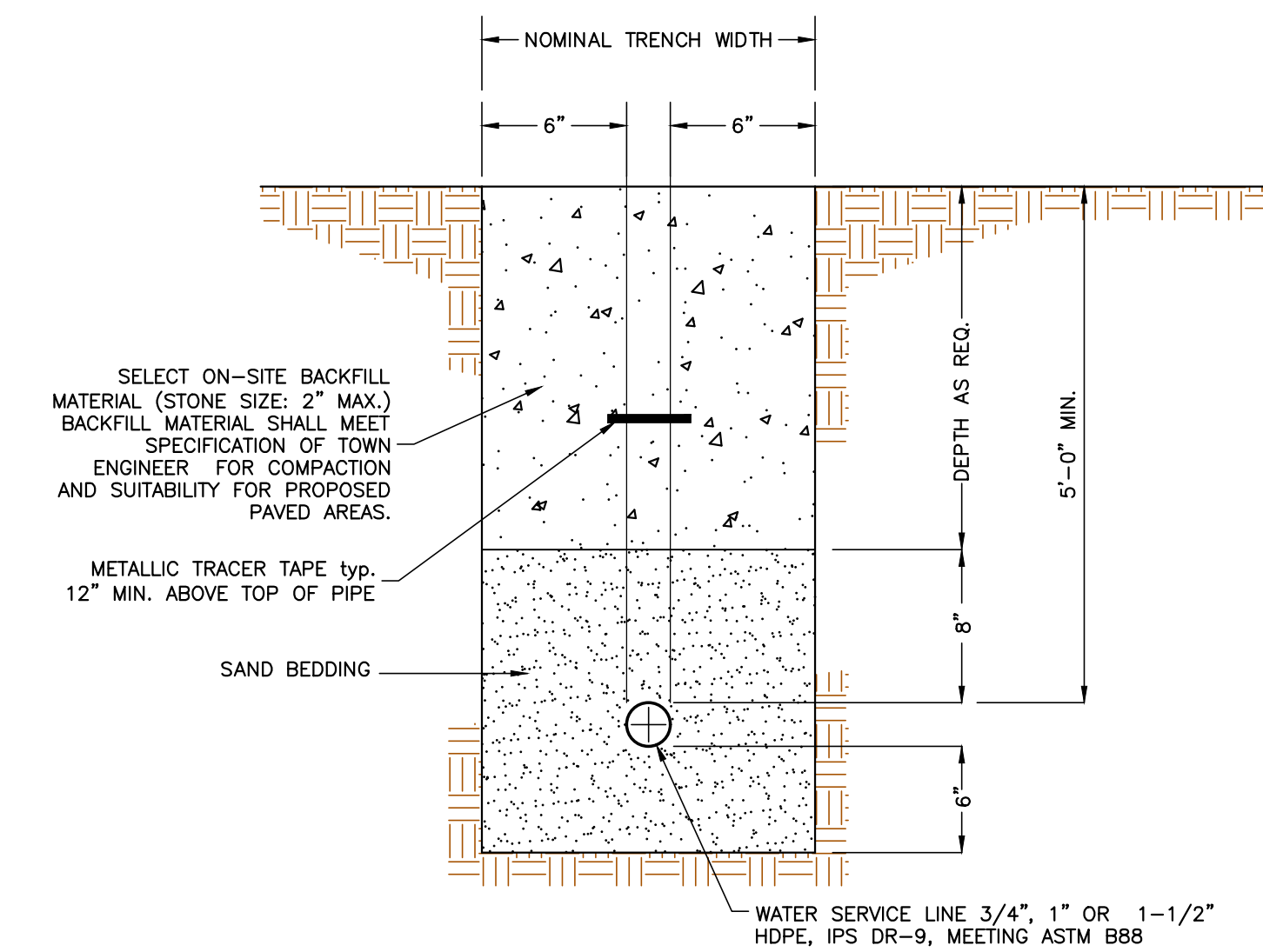
- NOTES:**
- MINIMUM CONCRETE COMPRESSIVE STRENGTH: 4,000PSI @ 28 DAYS.
 - DESIGN LOADING: ASHTO HS-20.
 - MEETS OR EXCEEDS ASTM C478, ASHTO M-199, AND NYSDOT SPECIFICATIONS.
 - STEEL REINFORCEMENT CONFORMS TO ASTM A-185 AREA 0.12 SQ. IN./VERT. FT.
 - TYPE III AIR-ENTRAINED CONCRETE.
 - JOINTS SHALL BE SEALED WITH A BUTYL RUBBER SEALANT CONFORMING TO ASTM C443 AND CORRO. ASHTO M-198 TYPE B, AND/OR FEDERAL SPECIFICATION SS-5-00210 (201-A).
 - STEPS SHALL BE 1 1/2" DIA. STEEL REINFORCED COPOLYMER STEPS CONFORMING TO ASTM C478, ASHTO M-199, AND OSHA REGULATION 29 CFR 1910.27. STEPS SHALL BE CAST IN VERTICAL ALIGNMENT.
 - BASE SECTION IS MONOLITHIC.

- NOTES:**
- SAW CUT 12" MIN. FROM EDGE OF TRENCH IN ALL PAVED AREAS.
 - PAVEMENT SECTION IN AREAS OF NEW CONSTRUCTION SHALL CONFORM TO TYPICAL PAVEMENT SECTION.
 - BACKFILL MATERIAL UNDER PAVED SURFACES SHALL BE RUN-OF-BANK (R.O.B.) GRAVEL AND BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 6 INCHES IN THICKNESS PRIOR TO COMPACTION OR STONE BACK FILL. ALL COMPACTION SHALL BE TO A MINIMUM 95% OF STANDARD PROCTOR MAXIMUM DENSITY. NO STONE GREATER THAN 2 INCHES IN SIZE SHALL BE PLACED IN TRENCH.
 - BACKFILL MATERIAL UNDER UNPAVED SURFACES SHALL BE RUN-OF-TRENCH MATERIAL AND BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 6 INCHES IN THICKNESS PRIOR TO COMPACTION. IF EXCAVATED MATERIAL IS UNSUITABLE FOR BACKFILLING, R.O.B. GRAVEL SHALL BE USED. NO STONE GREATER THAN 4 INCHES IN SIZE SHALL BE PLACED IN TRENCH.
 - WHEN PLACING FILL OR BACKFILL AROUND CULVERTS AND PIPES, LIFTS SHALL BE PLACED TO PROGRESSIVELY BURY THE PIPE OR CULVERT TO EQUAL DEPTHS ON BOTH SIDES.



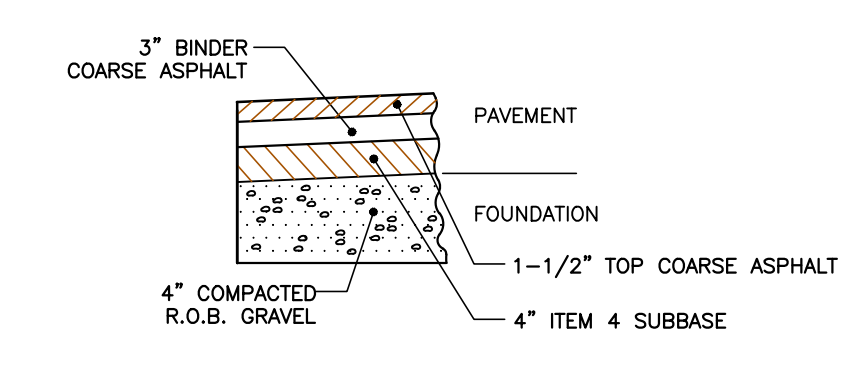
CLEANOUT DETAIL
 NOT TO SCALE

- NOTES:**
- SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034 SDR-35.
 - TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.

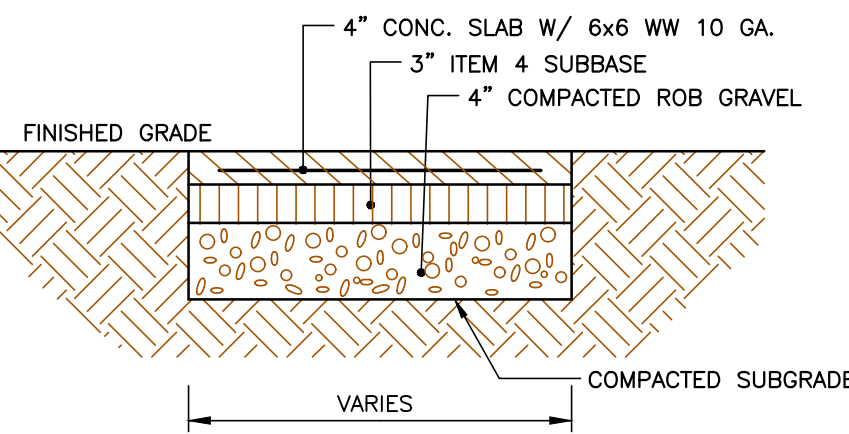


TYPICAL WATER SERVICE TRENCH DETAIL
 NOT TO SCALE

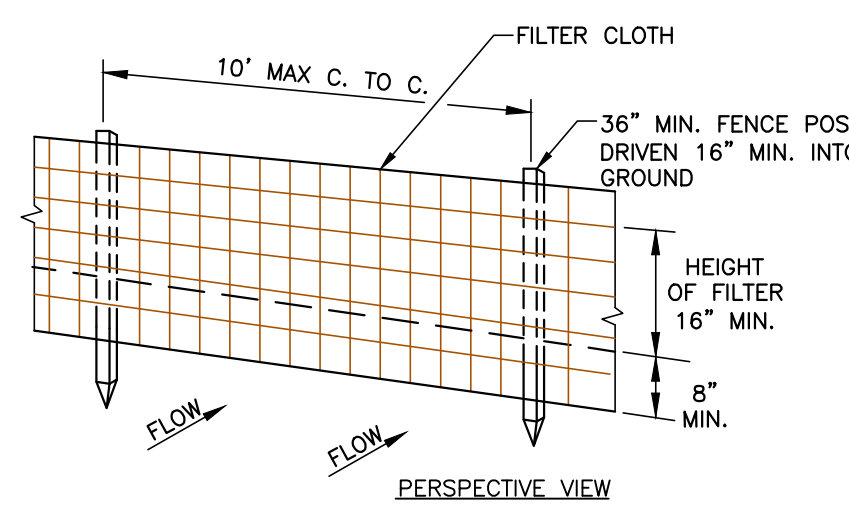
- NOTES:**
- ALL BACKFILL AND PAVEMENT MATERIAL SHALL BE APPROVED BY THE TOWN HIGHWAY SUPERINTENDENT AND/OR TOWN ENGINEER PRIOR TO PLACEMENT. AS FIELD CONDITIONS WARRANT, THE ENGINEER AND/OR HIGHWAY SUPERINTENDENT MAY REQUIRE FOUNDATION STONE, AND/OR RUN-OF-BANK GRAVEL BACKFILL IF UNACCEPTABLE OR INSUFFICIENT TRENCH MATERIAL IS ENCOUNTERED.



PAVED SIDEWALK DETAIL
 NOT TO SCALE



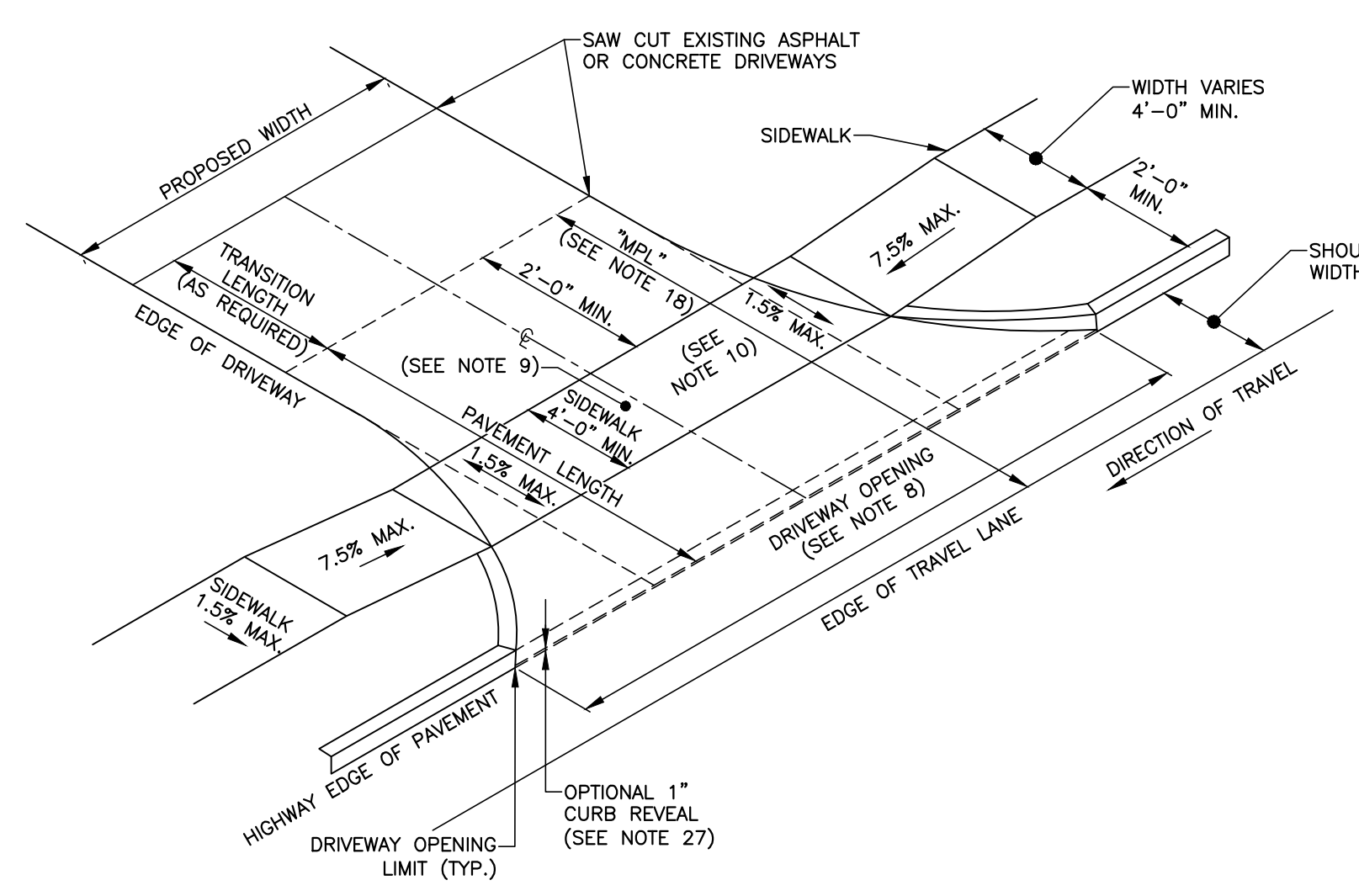
PAVED SIDEWALK DETAIL
 NOT TO SCALE



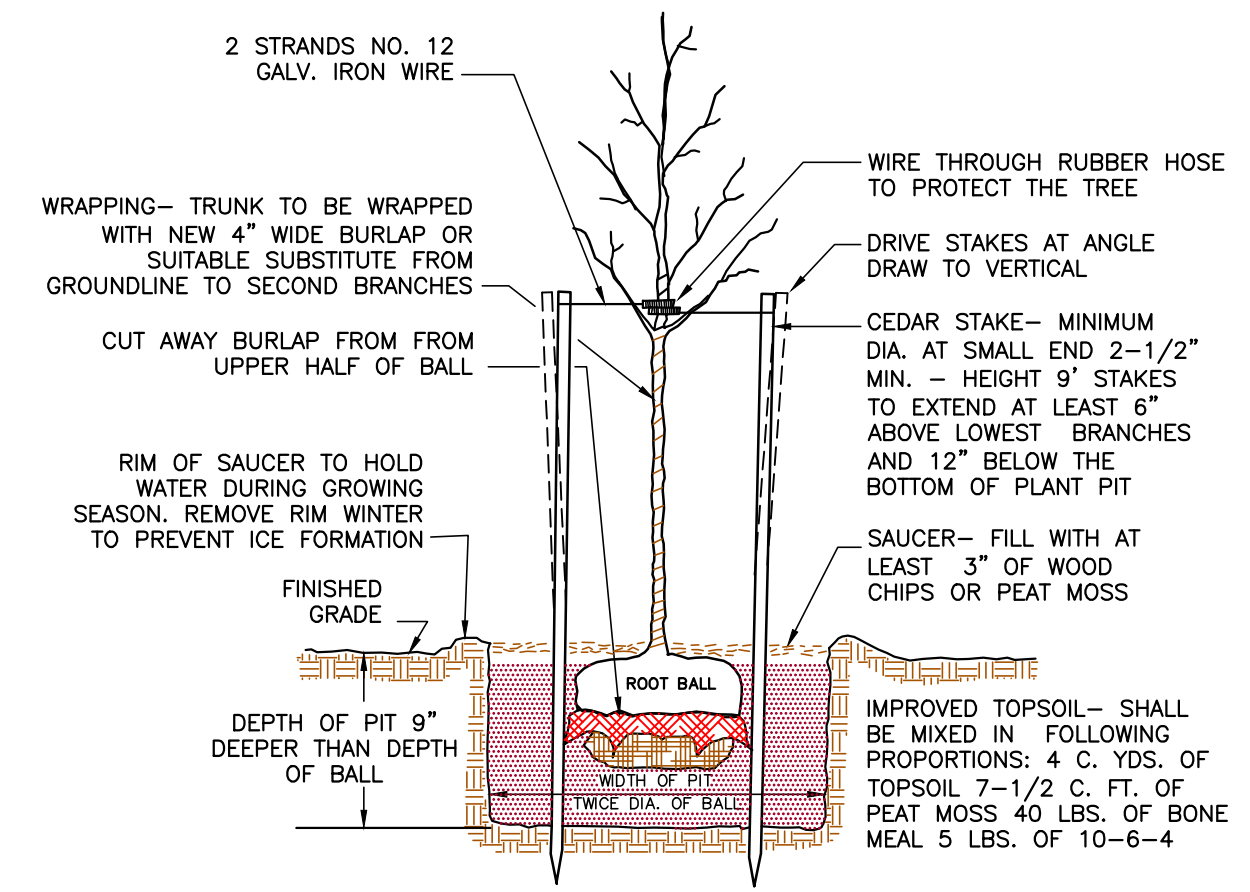
SILT FENCE DETAIL
 NOT TO SCALE

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:**
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

- POSTS:** STEEL EITHER "I" OR "U" TYPE OR 2" HARDWOOD
- FILTER CLOTH:** FILTER X, MIRAFI 100X, STABILINKA 1140N, OR APPROVED EQUAL
- PREFABRICATED UNIT:** GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.



NEW YORK STATE RESIDENTIAL TYPE 2 DRIVEWAY ENTRANCE DETAIL
 NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE

PLANTING SCHEDULE

SYMBOL	QTY.	*COMMON NAME	BOTANICAL NAME	SIZE
🌳	7	RED MAPLE OR RED OAK	ACER RUBRUM QUERCUS RUBRA	3"-3 1/2" MIN. CAL.

* THE TYPE OF TREE SHALL BE OWNER'S CHOICE FROM LISTED TREE TYPE IN SCHEDULE.

WALL MOUNTED LIGHTING DETAIL
 NOT TO SCALE

Dimension/Date	AXCS Small	AXCS Large
A	8" [203mm]	11" [279mm]
B	3" [76mm]	3" [76mm]
C	3" [76mm]	4" [102mm]
D	6" [152mm]	7" [178mm]

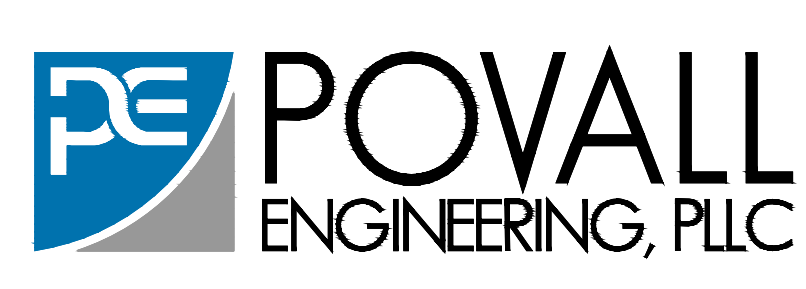
PROPOSED LIGHTING INFORMATION

QUANTITY	MANUFACTURER/MODEL No.	LUMINAIRE SCHEDULE		**COLOR TEMPERATURE	DESCRIPTION
		MOUNTING HEIGHT	WATTS		
2	*LUMARK AXG51A-W	10'	14 W	1800	LUMARK ACXENT WALL MOUNT LUMINAIRE

* OR APPROVED EQUAL
 ** MAXIMUM COLOR TEMPERATURE = 3000K
 *** MOUNTING HEIGHT AS LABELED ON SITE PLAN ON SHEET SP-1

REVISIONS

DATE:	DESCRIPTION:



WILLIAM H. POVALL III, P.E.
 N.Y.S.P.E. LICENSE #075020

3 NANCY COURT, SUITE 4
 WAPPINGERS FALLS, NY 12590

TEL: (845) 897-9205
 FAX: (845) 897-0042

DETAILS FOR
2731 WEST MAIN STREET
 VILLAGE OF WAPPINGERS FALLS DUTCHESS COUNTY, NEW YORK

JOB #: 2202
DATE: 04-28-22
SCALE: N.T.S.
D-1
SHEET 2 OF 2

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, PARAGRAPH 2 OF THE NEW YORK STATE EDUCATION LAW.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID COPY.

GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO PERSON OR PERSONS FOR WHOM THE SURVEY IS PREPARED AND ON THEIR BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SURVEYED IN ACCORDANCE WITH DEEDS OF RECORD, PHYSICAL FEATURES FOUND AT THE TIME OF FIELD SURVEY AND AS IN POSSESSION.

SUBJECT TO ANY RIGHT OF WAYS, EASEMENTS OR OTHERWISE WHICH MAY AFFECT THE PREMISES SHOWN HEREON

SUB-SURFACE STRUCTURES NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN AND THEIR LOCATION AND EXTENT ARE NOT CERTIFIED.

SUBJECT TO THE RIGHTS OF THE PUBLIC IN ANY PORTIONS THEREOF LYING WITHIN THE BOUNDS OF WEST MAIN STREET.

DEED REFERENCE :

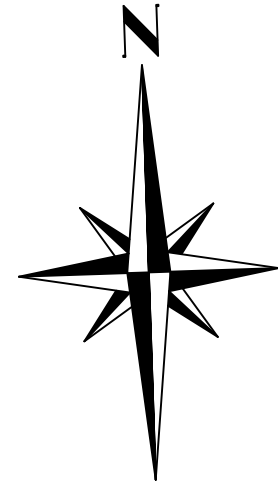
DOC. NO. 02 2021 450

TAX MAP REFERENCE :

VILLAGE OF WAPPINGERS FALLS 134601-6158-13-240434

VERTICAL DATUM:

ASSUMED



NOW OR FORMERLY
RAFFAELE
LIBER 1364 PAGE 584
TAX PARCEL 134601-6158-13-23644

FRAME HOUSE

NOW OR FORMERLY
MACINA
DOC. NO. 02 2020 1491
TAX PARCEL 134601-6158-13-223434

TOTAL AREA
0.374± Acres.
16,278± Sq. Ft.

NOW OR FORMERLY
HOCHLOWSKI
DOC. NO. 02 2014 3915
TAX PARCEL 134601-6158-13-226430

NOW OR FORMERLY
ALFONSO
DOC. NO. 02 2003 5078
TAX PARCEL 134601-6158-13-227426

NOW OR FORMERLY
ALFONSO
DOC. NO. 02 2003 5078
TAX PARCEL 134601-6158-13-229421

NOW OR FORMERLY
GALUCCI/PEREZ
DOC. NO. 02 2007 7104
TAX PARCEL 134601-6158-13-243427

MAP OF SURVEY OF LANDS OF *Aquado*

2731 WEST MAIN STREET (NY 9D)

TOWN OF POUGHKEEPSIE/VILLAGE OF WAPPINGERS FALLS
DUTCHESS COUNTY, N.Y.

SCALE 1" = 20'

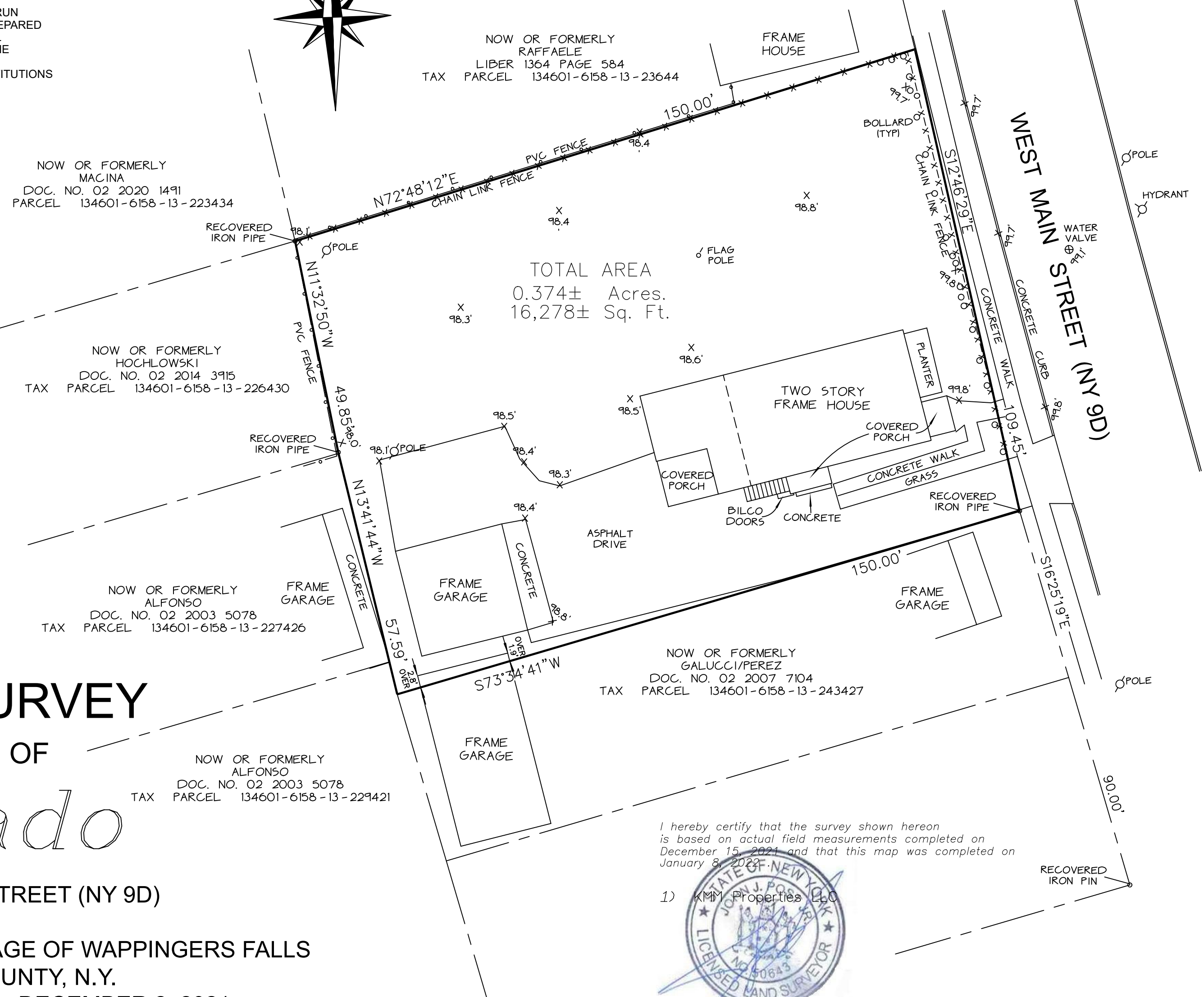
DECEMBER 2, 2021

I hereby certify that the survey shown hereon is based on actual field measurements completed on December 15, 2021 and that this map was completed on January 8, 2022.



1) KPM Properties LLC

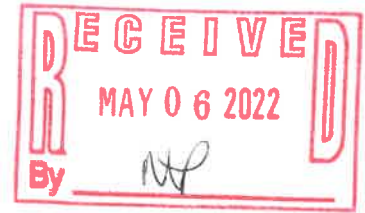
John J. Post, Jr., L.L.S., N.Y.S. Lic. No. 50643





VILLAGE OF WAPPINGERS FALLS
 BUILDING DEPARTMENT
 2582 SOUTH AVENUE
 WAPPINGERS FALLS, NY 12590
 PHONE: (845) 297-5277
 FAX: (845)296-0379

F



**SIGN PERMIT
 APPLICATION**

Name of Applicant Bonavaglia Orthodontics
 Address 7 Moran Ave
Wappingers Falls, NY 12590

Owner of Property Anthony Bonavaglia
 Address 113 Spy Glass Hill Rd
Hopewell Junction, NY 12533

Location of Property 7 Moran Ave Wappingers Falls, NY 12590
 Linear Frontage of building _____ Zoning District commercial/residential

Types of Signs Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:
Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.
Awning, Window, Wall or Projecting signs-the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications Type _____ Placement _____
 Landscaping Yes No Size of Sign 2 ft Height 6 ft 4 inches Width _____
 Single Faced Double Faced Lighted
 Material _____ Wood Metal _____ other Durable

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- ___ Application form (ten sets)
- ___ Sign design drawings (ten sets)
- ___ Color swatch (if any color other than black/white)
- ___ Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Anthony Bonarogiac

Applicant Signature  Date 5/5/22

Owner of Property Signature  Date 5/5/22

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____

[Print](#) | [Close Window](#)

~~Subject: RE: Building Sign~~

~~From: annie@d.bsmiles.com~~

~~Date: Tue, May 03, 2022 3:44 pm~~

~~To: "Tricia Bonavoglia" <tmbonavoglia@yahoo.com>~~

~~Attach: sigimg0~~

~~sigimg0~~

~~sigimg0~~

~~Hey Annie,~~

I have the Hex values for them if that helps:

Blue: #122F43

Yellow: #F7BC3E

Grey: #CBCBBD

 ~~Thank you,~~

~~Dave Mackie~~

~~President/Creative Director~~

~~540-717-7137~~

~~[DLGraphicDesign.com](#)~~

These are the color's that Dave gave me. Let me know if this works!



~~Annie Doyle / Practice Coordinator~~

~~[annie@d.bsmiles.com](#)~~

~~Dr. B Smiles~~

~~Office: (845) 297-4075 / Fax: (845) 297-4076~~

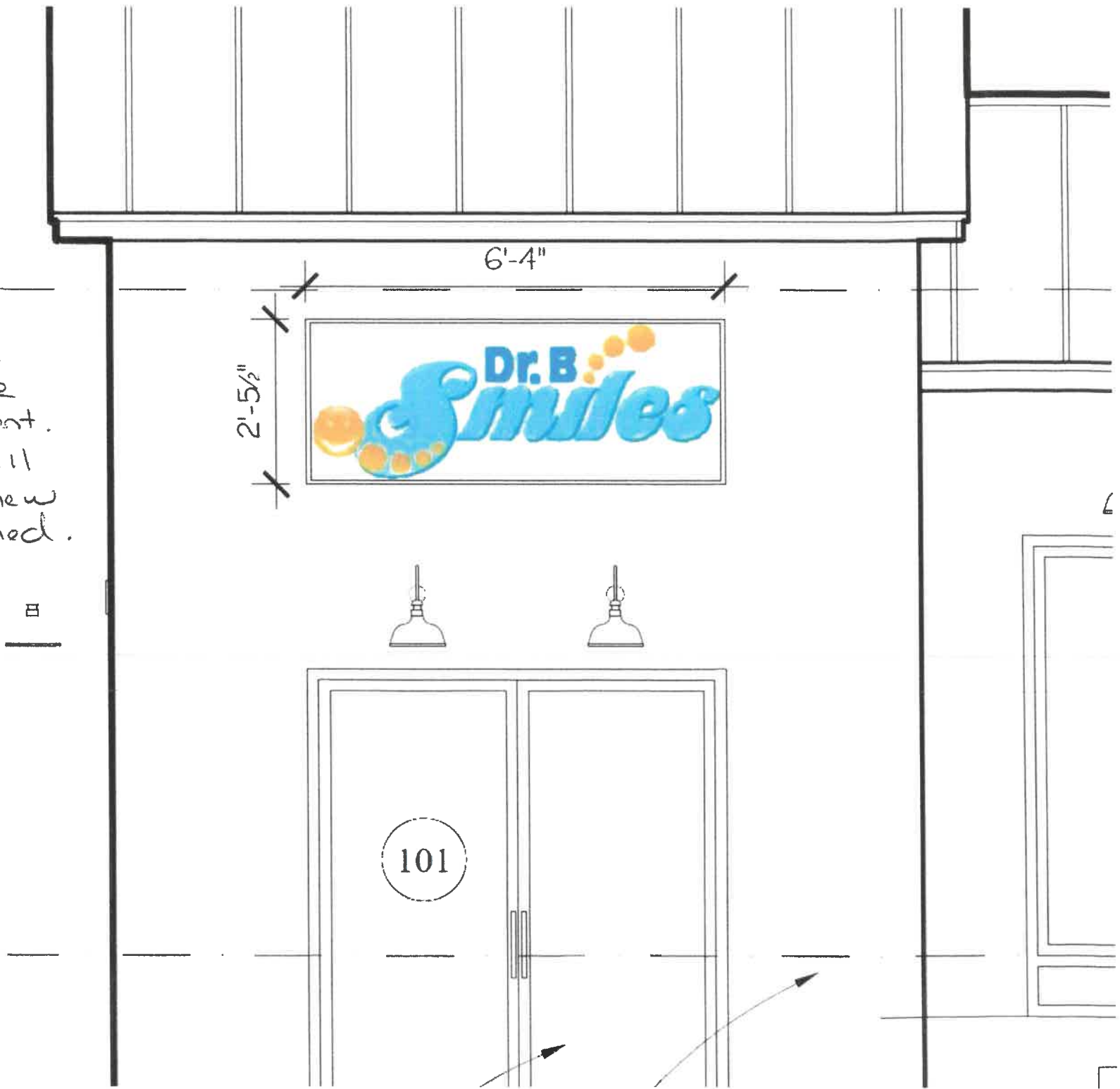
~~7 Moran Ave Wappingers Falls, NY 12590~~

~~[http://www.DrBsmiles.com](#)~~

E-MAIL CONFIDENTIALITY NOTICE

The information contained in this message along with any attachments may contain privileged and confidential information, including patient information protected by federal and state privacy laws. It is intended only for the use of the person(s) named above. If you are not the intended recipient, you are hereby notified that any review, dissemination, distribution, or duplication of this communication is strictly prohibited. If you are not the intended recipient, please contact the sender by reply email and destroy all copies of the original message.

this is the correct size and placement. The logo will be the new one attached.







VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: _____

Date of Meeting: _____

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website www.wappingersfallsny.gov.

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

Items to be submitted for review: (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

(Separate Application)



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: 05/04/2022

Date of Meeting : 06/02/2022

Property Identification:

Address: 1582 Route 9, Wappingers Falls, NY 12590

Zoning District: CMU - Commercial Mixed Use Existing site area: 3.08 Ac.

Owner Information:

Name : Davis Fowler Group, LLC

Address : 3 Nancy Court, Suite 4

City: Wappingers Falls

State: NY

Zip: 12590

Contact Numbers: (H) (Office) 845-897-2664

(C) _____

(E-mail) peadmin@povallengineering.com

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Inspired Dance and Properties

Name : Ashley Cuadrado

Address: 23 Mockingbird Lane

City: Poughkeepsie

State: NY

Zip: 12601

Contact Numbers: (H) 845-464-3485

(C) 845-464-3485

E-mail Address: acuadrado86@gmail.com

Lead Design Professional: (If applicable) N/A

(Indicate the primary design professional associated with this application)

Name: _____

Title: _____

Architect Engineer

Company: _____

Address: _____

Telephone # : _____

E-mail Address: _____



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
(Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): Vacant

Proposed square footage: 2,730 sq. ft.

Project Description : *(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

The applicant will be using the existing space as a dance studio with minor interior improvements.

Items to be submitted for review: (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.

Inspired Dance Arts Inc
Proprietor A. Caschack
Signature of Applicant Signed

05/11/2022
Date

Office use only:

[] FEE : _____ Receipt No. : _____ Cash / Check # _____ Date: _____

Revised by : _____ Revision date : _____
Zoning Administrator/Code Enforcement Officer



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: Davis Fowler Group, LLC

Address of property owner: 3 Nancy Court, Suite 4

City: Wappingers Falls State: NY Zip: 12590

Phone number of property owner: (Include home, work, mobile number and e-mail address):

(H) _____ (C) _____

(W) 845-897-2664 (Email) peadmin@povallengineering.com

Address of site where work is being conducted: 1582 Route 9, Suite R-1

Description of work: The applicant will be using the space as a dance studio with minor interior improvements

Name of person doing work: Inspired Dance Arts Inc. Proprietor
Ashley Cuadrado

Address of person doing work: 23 Mockingbird Lane

City: Poughkeepsie State: NY Zip: 12601

Phone number of person doing work (Include home, work, mobile numbers and e-mail address):

(H) 845-464-3485 (C) 845-464-3485

(W) _____ (Email) acuadrado86@gmail.com

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.


Signature of Property Owner

05-10-22
Date Signed

617.20
Appendix B
Short Environmental Assessment Form

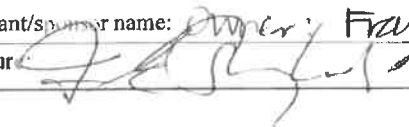
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Inspired Dance Arts Inc. at Dutchess Shopping Plaza			
Project Location (describe, and attach a location map): 1582 Route 9, Suite R-1			
Brief Description of Proposed Action: The applicant will be using the existing space as a dance studio with minor interior improvements.			
Name of Applicant or Sponsor: Ashley Cuadrado		Telephone: 845 464 3485	
		E-Mail: acuadrado88@gmail.com	
Address: 23 Mockingbird Lane			
City/PO: Poughkeepsie		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
certificate of occupancy from the Village			
3.a. Total acreage of the site of the proposed action?		3.08 acres	
b. Total acreage to be physically disturbed?		n/a acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? owner		3.08 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
Urban	Rural (non-agriculture)	Industrial	<input checked="" type="checkbox"/> Commercial
Forest Agriculture Parkland		Aquatic	Residential (suburban)
Other (specify): _____			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?		<input type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input type="checkbox"/>	
9. Does the proposed action <u>meet</u> or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
		<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
		<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
		<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>		
	<input type="checkbox"/>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	NO	YES	
	<input type="checkbox"/>		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural/grassland Early mid-successional Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties?	NO	YES	
	<input type="checkbox"/>		
b. Will storm water discharges be directed to established conveyance systems (off and storm drains)? If Yes, briefly describe: _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Frank Buyakowski</u> Date: <u>5-13-22</u> Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PART "A"
OWNER AFFIDAVIT

State of NEW YORK }
County of Dutchess } ss:

FRANK BUJAKOWSKI being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize Ashley Cuadrado, to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

[Signature]
Applicant/Owner

Applicant/Owner

Sworn to before me this 10 day of
May, 2022.

Wendy Przetakiewicz
Notary Public

WENDY PRZETAKIEWICZ
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PR6295033
Qualified in Dutchess County
My Commission Expires December 23, 2025

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of New York }
County of Dutchess } ss:

Ashley Cuadrado being duly sworn, deposes and says:

1. That I/we are the applicant named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 23 Mockingbird Lane
Foughkeepsie, NY in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Inspired Dance Arts Inc
proprietor A. Cuadrado
Applicant/Agent

Applicant/Agent

Sworn to before me this 11 day of
May, 2022.

Wendy Przetakiewicz
Notary Public

WENDY PRZETAKIEWICZ
NOTARY PUBLIC-STATE OF NEW YORK
No. 01PR6295033
Qualified in Dutchess County
My Commission Expires December 23, 2025





VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Inspired Dance Arts LLC proprietor

Name of Applicant Ashley Cuadrado

Address 23 Mockingbird Lane

Email acuadrado86@gmail.com

Phone 845464-3485

Owner of Property Davis Fowler Group, LLC

Address 3 Nancy Court, Suite 4

Wappingers Falls, NY 12590

Phone 845-897-2664

Location of Property 1582 Route 9, Unit R-1

Linear Frontage of building 47'-0" Zoning District CMU

Types of Signs Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:

Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.

Awning, Window, Wall or Projecting signs-the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications

Type Wall & Multi-tenant Placement Multi-tenant: Freestanding Sign on Route 9
Wall: Over Unit R-1 (Existing sign to be refaced)

Landscaping Yes No Size of Sign 2.5' Height 12' Width

Single Faced Double Faced Lighted

Material Wood Metal other Durable

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- ___ Application form (ten sets)
- ___ Sign design drawings (ten sets)
- ___ Color swatch (if any color other than black/white)
- ___ Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Inspired Dance Arts Inc proprietor A Cuadrado
Applicant Signature A Cuadrado Date: 05-11-22
Owner of Property Signature [Signature] Date: 05-10-22

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____

MAIN SIGN

144 IN.

30 IN.



TWO ROAD DIRECTORY SIGNS

21 1/4 IN



53 3/4 IN