

VILLAGE OF WAPPINGERS FALLS
Offices of Planning/Zoning
2582 South Avenue Wappingers Falls, NY 12590
(845) 297-5277 Fax: (845) 296-0379

AGENDA OF THE PLANNING BOARD

September 1, 2022

The Planning Board of the Village of Wappingers Falls will hold a meeting at the American Legion Hall, 7 Spring Street, Wappingers Falls, on September 1, 2022, beginning at 7 p.m. There are no public hearings scheduled for this meeting.

The agenda is as follows:

ROLL CALL

APPROVAL OF AUGUST 11, 2022 MINUTES

CONTINUED APPLICATION

71 S MESIER AVENUE

71 S Mesier Avenue (Grid #6158-18-329032) – John Delaney and Diane Delaney (Owners and Applicants) – Jason Lichwick (Architect) – Site Plan and Special Use Permit.

This property is located in the Village Residential (VR) zoning district. The applicant is proposing an accessory apartment above an existing detached garage.

CENTER FOR PHYSICAL THERAPY

2 Delavergne Avenue, Grid #6158-10-268607 – Campilii-Snyder Fmly Farm LLC (Owner and Applicant) – Christian Paggi, PE (Engineer) - Site Plan.

This property is located in the Village Mixed (VM) zoning district. The applicant is proposing constructing a pergola addition to the existing structure.

NEW APPLICATIONS

KENNEDY FRIED CHICKEN

2667 E Main Street (Grid #6158-14-302265) – Greenacre Holdings LLC (Owner) – Joe Potocki, Rayex Design Group (Applicant) – Roy A. Fredriksen, Rayex Design Group (Architect) – Site Plan.

This property is located in the Village Commercial (VC) zoning district. The applicant is proposing operating a take-out restaurant. The applicant is also proposing one wall sign and one projecting sign.

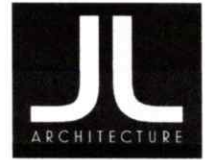
TOP NOTCH AUTOMOTIVE

11 Delavergne Avenue (Grid #6158-09-249591) – 7 Delavergne Ave LLC (Owner) – Robert Taber, Top Notch Automotive (Applicant) – New Sign.

This property is located in the Village Mixed (VM) zoning district. The applicant is proposing one wall sign.

DISCUSSION

The Planning Board members will discuss the 2022 Comprehensive Plan. No public comment will be taken during this meeting. Public Hearings will be scheduled by the Village Board at a future date.



August 12, 2022

Village of Wappingers Falls Planning Board
2582 South Avenue
Wappingers Falls, NY 12590

Attention: Mr. Tom Morris, Chairman

Re: 71 S. MESIER AVENUE
Response to Planning Board Comments

Dear Chairman Morris & Members of the Planning Board,

At the meeting of the Village of Wappingers Falls Planning Board, held on July 07, 2022, our office presented to the Planning Board a proposed second-story addition over an existing two-car garage for a 960 square foot Accessory Dwelling located at 71 S. Mesier Avenue. (Grid # 6158-18-329032)

Our office received letters from the Village Planner and the Village Engineer pertaining their review of the proposed work. Please accept this letter and the responses provided to address the respective questions and clarifications.

Letter prepared by Michele Robinson Greig, AICP, with Four Corners Planning, dated July 05, 2022.

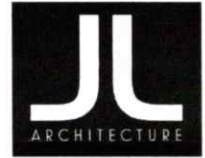
1. Proposed Project. The applicant proposes to create a ±960 square foot one-bedroom accessory dwelling in a second story addition to an existing two-car garage and a ±312 square foot addition to the rear of the garage, and to attach the garage to the existing single-family dwelling with a breezeway on a ±0.34-acre parcel located at 71 S. Mesier Avenue in the Village Residential (VR) Zoning District. The project requires a Special Permit and Site Plan approval from the Planning Board.

No response required

2. SEQR. The proposed project is a Type II action pursuant to §6NYCRR 617.5(c)(11) and (12): “expansion of a single-family and two-family dwelling on an approved lot” and “expansion of a minor accessory/appurtenant residential structure, including garages.” Type II actions are not subject to review under SEQR. We have prepared a resolution classifying the project as a Type II action for the Planning Board’s convenience.

No response required

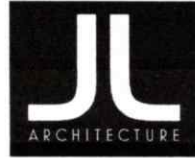
3. Accessory Dwelling Requirements.
 - a) Only one accessory dwelling is permitted per one-family dwelling. The applicant should verify that there are no other existing accessory dwellings on the site.
There are no other existing accessory dwellings on the site.
 - b) Section 151-18B requires that “the owner(s) of the one-family dwelling with which the accessory dwelling is located shall occupy at least one of the dwelling units on the



premises.” The applicant should discuss whether the property owner(s) will reside in one the units.

The property owners will reside in the principal dwelling and their daughter will occupy the proposed accessory dwelling over the two-car garage.

- c) An accessory dwelling unit is required to be a minimum of 750 square feet and a maximum of 1,000 square feet of habitable space. The Zoning Administrator has determined that the dwelling is 960 square feet of habitable space.
Correct. The proposed accessory dwelling is 960 square feet.
4. Off-Street Parking. The single-family dwelling and accessory dwelling require a total of five (5) off-street parking spaces. Five spaces are proposed, two in an existing two-car garage and three spaces are proposed in the paved driveway.
Five (5) off-street parking spaces are proposed to comply with the parking requirements.
5. Building Materials and Colors: Samples of proposed building materials and colors should be provided.
The siding proposed will be white vinyl siding to match the existing principal dwelling.
6. Outdoor Lighting. The applicant should discuss whether any outdoor lighting is proposed.
Outdoor lighting will be provided at all new exterior entry doors as required by the New York State Building Code. A cut sheet of the proposed outdoor lighting has been added to the plans.
7. Special Permit. The Planning Board should review the application against the criteria for a special use permit found in § 151-27C.
No response required.
8. Recreation Fee. Payment of the recreation fee for one (1) additional dwelling unit is required.
No response required.
9. Site Plan Revisions.
 - a) The third row of the Bulk Table Requirements in the Zoning Information section should either be deleted or revised since the use requires a special use permit and site plan approval.
The Bulk Table Requirements in the Zoning information has been revised to state: “Special Use Permit and Site Plan Approval”.
 - b) For clarity, the reference to Lots No. 21 and 22 should be deleted since the lots approved on the 1895 subdivision plat were subsequently consolidated.
The reference to Lots No. 21 and 22 have been removed from the site plan.
10. Planning Board Signature Block. The Planning Board signature block should be included on all sheets of the Site Plan.
The Planning Board Signature Block has been added to all sheets.



11. 239-m Review. The Site Plan application requires referral to the Dutchess County Department of Planning and Development in accordance with the General Municipal Law § 239-m since the property is located within 500 feet of a state highway. (The Village has entered into an agreement with Dutchess County Planning that exempts special permits for residential uses from the referral requirements of GML § 239-m.)

No response required.

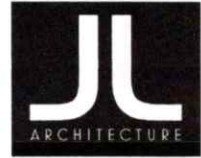
12. Public Hearing(s). A public hearing on the Special Permit is required. A hearing on the Site Plan, if deemed necessary by the Planning Board, shall be held within 62 days following the receipt of a complete application.

No response required.

Letter prepared by Todd W. Atkinson, P.E., with J. Robert Folchetti & Associates, LLC, dated July 05, 2022.

Engineer Review

1. The bulk table of requirements on sheet SP1.1 indicated an accessory dwelling is permitted by right. A special permit will be required for the proposed actions.
The Bulk Table Requirements in the Zoning information has been revised to state: "Special Use Permit and Site Plan Approval"
2. Show all existing and proposed utilities, water, sewer, water, electric, gas, and telephone lines. If new infrastructure is required, provide details, profiles, and types of materials proposed.
No new infrastructure is proposed outside of the existing and proposed structures.
3. Plans should include existing and proposed topography or spot elevations for the site.
Phone conversation with Todd Atkinson on August 12, 2022, it was determined that existing and proposed topography and spot elevations were not required due to the scope of work.
4. How will the sewer and potable water for the new apartment be handled?
Phone conversation with Todd Atkinson on August 12, 2022, it was determined that the sewer and potable water will be connected within the footprint of the existing and proposed structures and that will be handled by Bryan Murphy, Building Inspector.
5. Provide an erosion and sediment control plan in accordance with the NYSDEC Erosion and Sediment Control Manual.
Phone conversation with Todd Atkinson on August 12, 2022, it was determined that an "erosion and sediment control plan" was not required.
6. Stormwater management of all new impervious surfaces should be provided.
Phone conversation with Todd Atkinson on August 12, 2022, it was agreed that if we removed the concrete slab under the cantilevered portion of the accessory apartment, then storm water management would not be required. The concrete slab has been removed from the plans and it shall remain a pervious surface in that area.



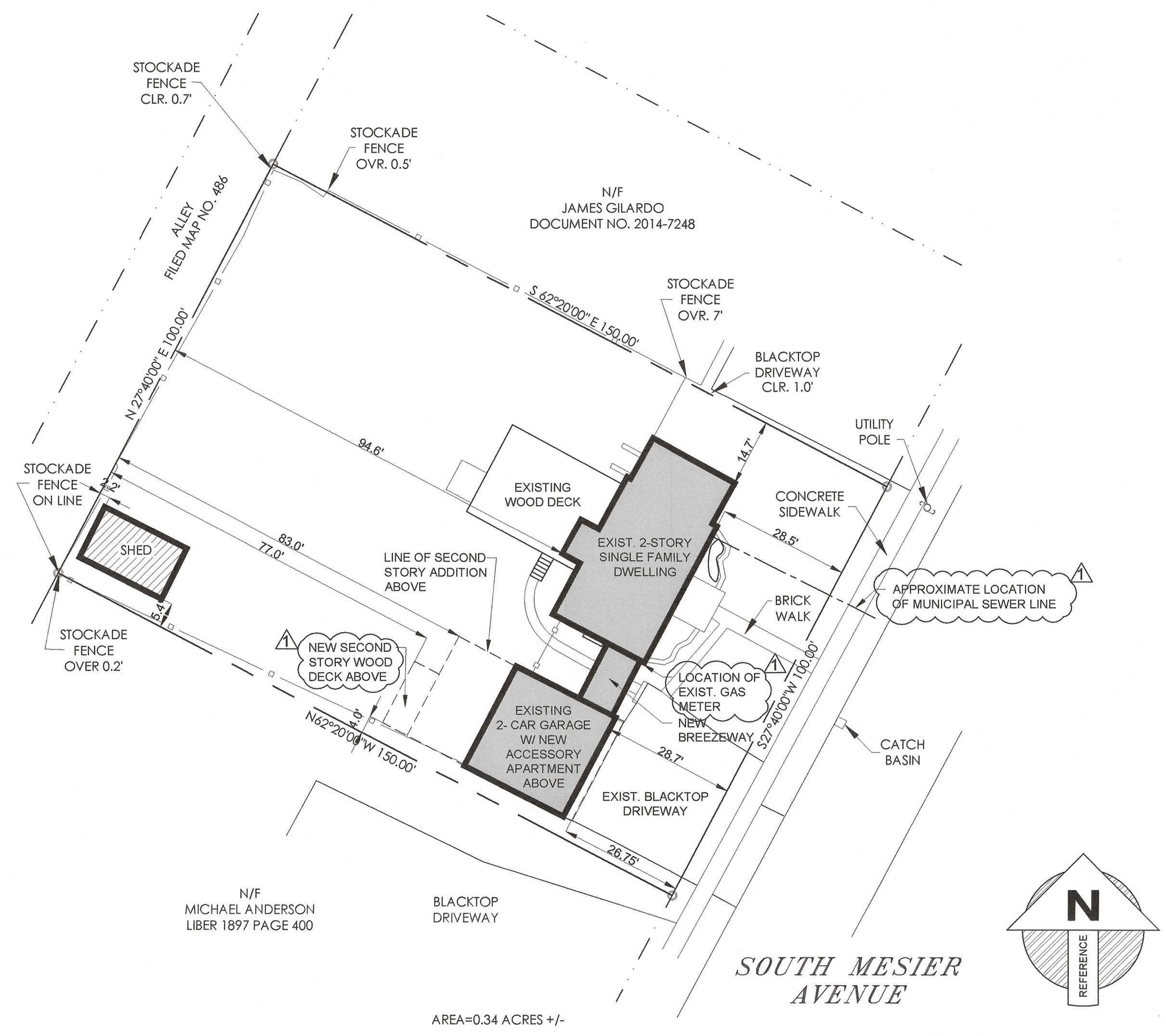
7. Provide a landscaping plan for the site.
Phone conversation with Todd Atkinson on August 12, 2022, it was determined that a landscaping plan was not required.

8. Provide a lighting plan for the site.
Outdoor lighting will be provided at all new exterior entry doors as required by the New York State Building Code. A cut sheet of the proposed outdoor lighting has been added to the plans.

Thank you for the opportunity to provide this letter to the Planning Board as clarification to the questions and comments received. If you should have any questions, please contact me directly.

Cordially,

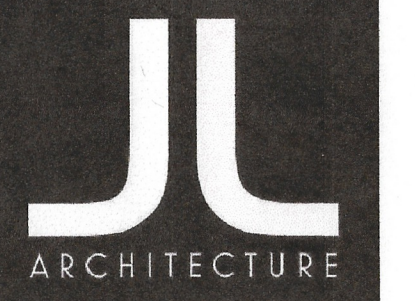
Jason Lichwick, RA
Principal



NOTE: INFORMATION ON THIS PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY PREPARED BY ROBERT V. OSWALD PLS, NYS LIC. # 050031 FOR MRS. DIANE DELANEY DATED: FEBRUARY 25, 2022

1 Proposed Site Plan
 SP1.1 Scale: 1" = 20'-0"

BULK TABLE REQUIREMENTS		
ZONING INFORMATION	ZONE : VR (Village Residential)	
	Proposed Use : Accessory Dwelling	
	Permitted with: Special Use Permit & Site Plan Approval	
MINIMUM REQUIREMENTS		
	Required	Provided
Lot Area	—	15,000 SF +/-
Lot Width	25 FT	100 FT
Greenspace (15%)	2,250 S.F.	10,994 S.F.
Min. Livable SF (Accessory Dwelling)	750 SF MIN. 1,000 SF MAX.	960 SF
YARD SETBACKS		
	Required	Provided
Front	10 FT	28.7 FT +/-
Rear	10 FT	77.0 FT
Side	0 FT	4.0 FT
MAXIMUM PERMITTED		
	Permitted	Provided
Lot Coverage	60% / 9,000 SF	26.7% / 4,006 SF +/-
Building Height	46 FT	22'-0" +/-
<small>* INDICATES PRE-EXISTING NONCONFORMING CONDITION ** INDICATES VARIANCE REQ'D</small>		



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New Second Story Addition-Accessory Apartment
 John and Diane Delaney
 S.B.L. 6156-18-329032
 71 S. Mesier Avenue
 Wappingers Falls, New York 12590

Planning Board Special Use and Site Plan Review

PLANNING BOARD SIGNATURE BLOCK

VILLAGE OF WAPPINGERS FALLS PLANNING BOARD

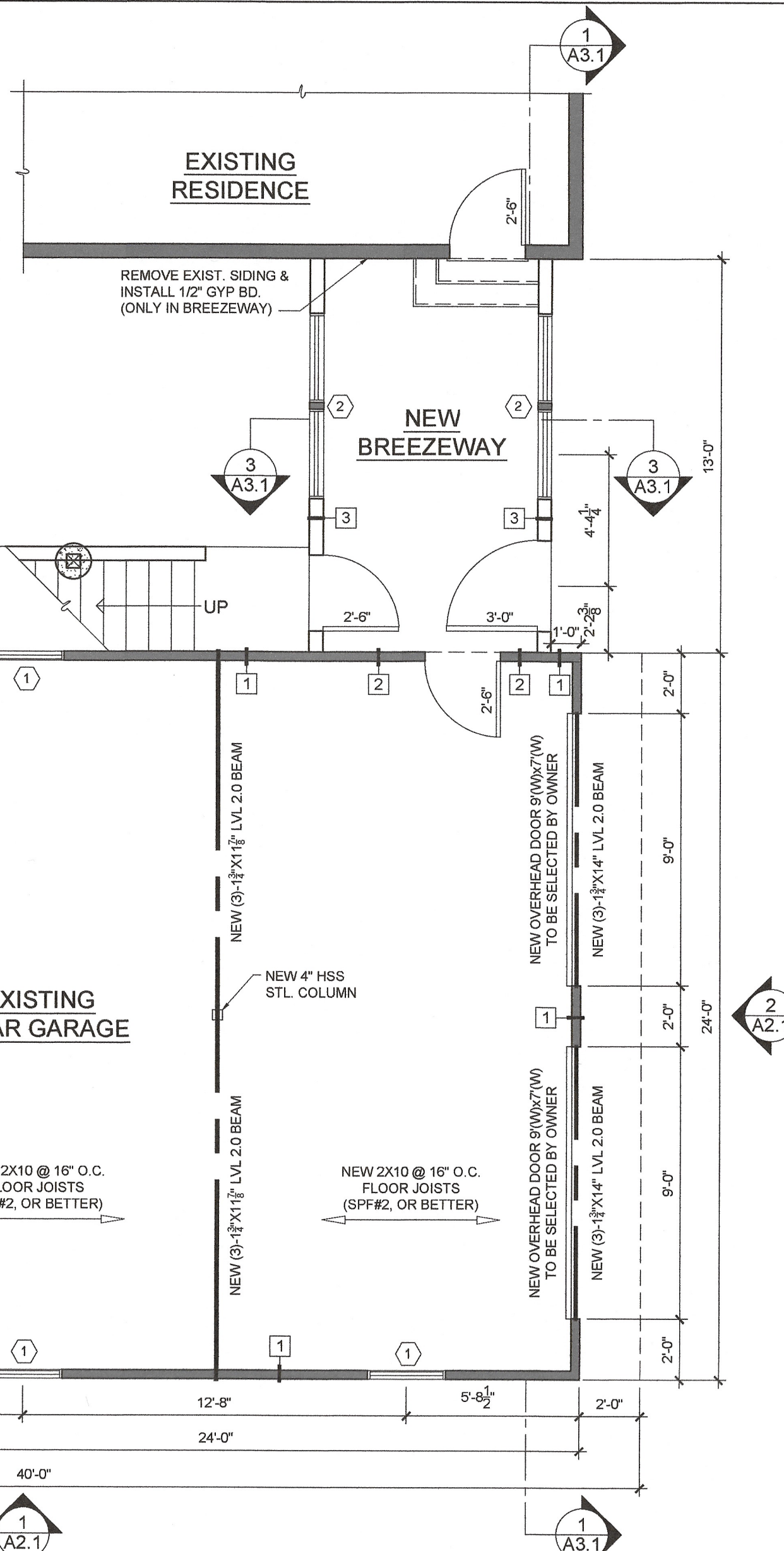
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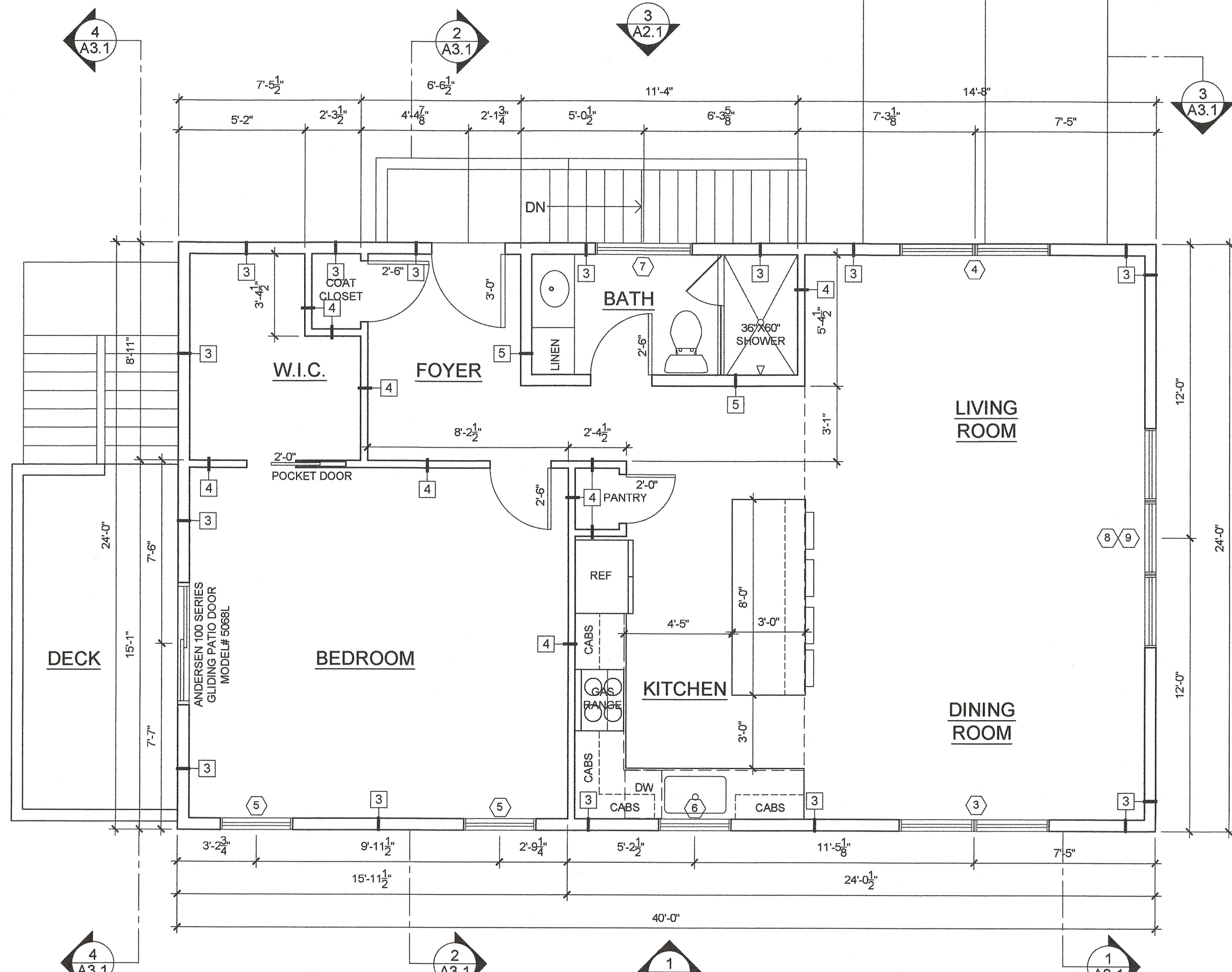
WITNESS: _____ DATE: _____

Date: 05.25.2022
 Revisions: REV 01: 08.12.2022
 Drawn By: AR & JL

LIGHT & VENTILATION CALCS. (HABITABLE ROOMS)											
2020 RESIDENTIAL CODE OF NEW YORK STATE: SECTION R303 LIGHT & VENTILATION											
ROOM NAME	FLOOR AREA (SQ. FT.)	NATURAL LIGHT (8%)		PASSED OR FAILED		NATURAL VENTILATION (4%)		PASSED OR FAILED		MINIMUM WINDOW RESCUE OPENING AREA (SLEEPING AREAS)	
		REQ'D.	PROV'DD	REQ'D.	PROV'DD	REQ'D.	PROV'DD	REQ'D.	PROV'DD	REQ'D.	PROV'DD
LIVING/DINING ROOM	322	25.76	66.61	PASS	12.88	37.43	PASS	N/A	N/A	12.38	
BEDROOM	274	21.92	32.30	PASS	10.96	17.37	PASS	N/A	N/A	12.38	
BREEZEWAY	92	7.36	41.52	PASS	3.68	23.16	PASS	N/A	N/A		



1 Existing and Proposed First Floor Plan
Scale: 1/4" = 1'-0"



2 Proposed Second Floor Plan (960 SF)
Scale: 1/4" = 1'-0"

WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW STUD WALL

WALL TYPES		
	WALL TYPE 1: EXISTING EXT. WALL - EXISTING EXT. VINYL SIDING - EXIST. EXT. SHEATHING - EXIST. 2X4 @ 16" O.C. STUD - NEW 5/8" TYPE 'X' FIRE RATED GYP. BD.	WALL TYPE 3: NEW EXTERIOR WALL - EXTERIOR SIDING TO MATCH EXISTING - HOUSE WRAP - 1/2" CDX PLYWOOD SHEATHING - 2X6 @ 16" O.C. STUD FRAMING - R-21 FIBERGLASS KRAFTFACE BATT INSUL. - 1/2" GYPSUM WALL BOARD (USE M.R. AT BATHROOM SIDE)
	WALL TYPE 2: EXISTING WALL - NEW 1/2" GYP. BD. - EXIST. 2X4 @ 16" O.C. STUD FRAMING - NEW 5/8" GYP. BD. (AT GARAGE SIDE)	WALL TYPE 4: NEW INTERIOR PARTITION - 1/2" GYPSUM WALL BOARD - 2X4 @ 16" O.C. STUD FRAMING - 1/2" GYPSUM WALL BOARD (USE M.R. AT BATHROOM SIDE)
	WALL TYPE 5: NEW INTERIOR PARTITION - 1/2" GYPSUM WALL BOARD - 2X6 @ 16" O.C. STUD FRAMING - 1/2" GYPSUM WALL BOARD (USE M.R. AT BATHROOM SIDE)	

WINDOW SCHEDULE						
NUMBER	QTY	MODEL #	TYPE	MANUFACTURER	ROUGH OPENING (WxH)	REMARKS
1	3	-	SINGLE-HUNG	-	2'-6" x 4'-0"	EXISTING WINDOW TO REMAIN
2	2	3046-2	TWIN SINGLE-HUNG (100SHD) - INTEGRAL MULL	ANDERSEN	6'-0" x 4'-6"	GRILLE PATTERN TO MATCH DRAWINGS
3	1	3050-2	TWIN SINGLE-HUNG (100SHD) - INTEGRAL MULL	ANDERSEN	6'-0" x 5'-0"	GRILLE PATTERN TO MATCH DRAWINGS
4	1	3040-2	TWIN SINGLE-HUNG (100SHD) - INTEGRAL MULL	ANDERSEN	6'-0" x 4'-0"	GRILLE PATTERN TO MATCH DRAWINGS
5	2	3050	SINGLE-HUNG (100SHS)	ANDERSEN	3'-0" x 5'-0"	GRILLE PATTERN TO MATCH DRAWINGS
6	1	3026	SINGLE-HUNG (100SHS)	ANDERSEN	3'-0" x 2'-6"	GRILLE PATTERN TO MATCH DRAWINGS
7	1	4020	AWNING (100AS)	ANDERSEN	4'-0" x 2'-0"	GRILLE PATTERN TO MATCH DRAWINGS
8	1	3050-3	TRIPLE SINGLE-HUNG (100SHT) - INTEGRAL MULL	ANDERSEN	9'-0" x 5'-0"	GRILLE PATTERN TO MATCH DRAWINGS
9	1	3020-3	TRIPLE TRANSOMS (100TT) - INTEGRAL MULL	ANDERSEN	9'-0" x 2'-0"	GRILLE PATTERN TO MATCH DRAWINGS

- NOTES:
 1. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS.
 2. ALL WINDOWS SHOWN ON PLAN, UNLESS OTHERWISE NOTED, ARE ANDERSEN 100 SERIES WINDOWS.
 3. PROVIDE ALL WINDOWS WITH INSECT SCREENS BY MANUFACTURER.
 4. WINDOW COLORS: EXT. COLOR= WHITE; INT. COLOR= WHITE.
 5. HARDWARE TO BE SELECTED BY OWNER.
 6. PROVIDE EXTENSION JAMBS FOR ALL NEW WINDOWS AS REQUIRED.

Specifications			
	Number of Lights 1 Light <small>See Similar Items</small>	Sconce Type Lantern <small>See Similar Items</small>	Power Type Hardwired <small>See Similar Items</small>
	Voltage Type Line Voltage <small>See Similar Items</small>	Style Mission <small>See Similar Items</small>	Fixture Material Metal <small>See Similar Items</small>
	Outdoor Lighting Features No additional features <small>See Similar Items</small>	Exterior Lighting Product Type Outdoor Sconce	Exterior Lighting Product Type Outdoor Sconce <small>See Similar Items</small>
Dimensions		Dimensions	
Product Depth (in.)	8.88	Product Height (in.)	12.75 in
Product Width (in.)	7 in		
Details			
Compatible Bulb Type	Incandescent LED	Durability	Waterproof/Weather Resistant
Exterior Lighting Product Type	Outdoor Sconce	Fixture Color/Finish	Aged Iron
Fixture Material	Metal	Included	Hardware Included
Light Bulb Base Code	E26	Maximum Bulb Wattage	100
Maximum Wattage (watts)	0	Number of Lights	1 Light
Outdoor Lighting Features	No additional features	Package Quantity	1
Power Type	Hardwired	Product Size	Medium
Product Style	Cottage	Product Weight (lb.)	3.57
Recommended Light Bulb Shape Code	A19	Returnable	90-Day
Sconce Type	Lantern	Shade Material	Grass
Style	Mission	UL Listing	1-UL Listed
Voltage Type	Line Voltage		

3 Proposed Exterior Lighting Fixture
Scale: N.T.S.

PLANNING BOARD SIGNATURE BLOCK

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PB CHAIR SIGNATURE: _____ DATE: _____

WITNESS: _____ DATE: _____

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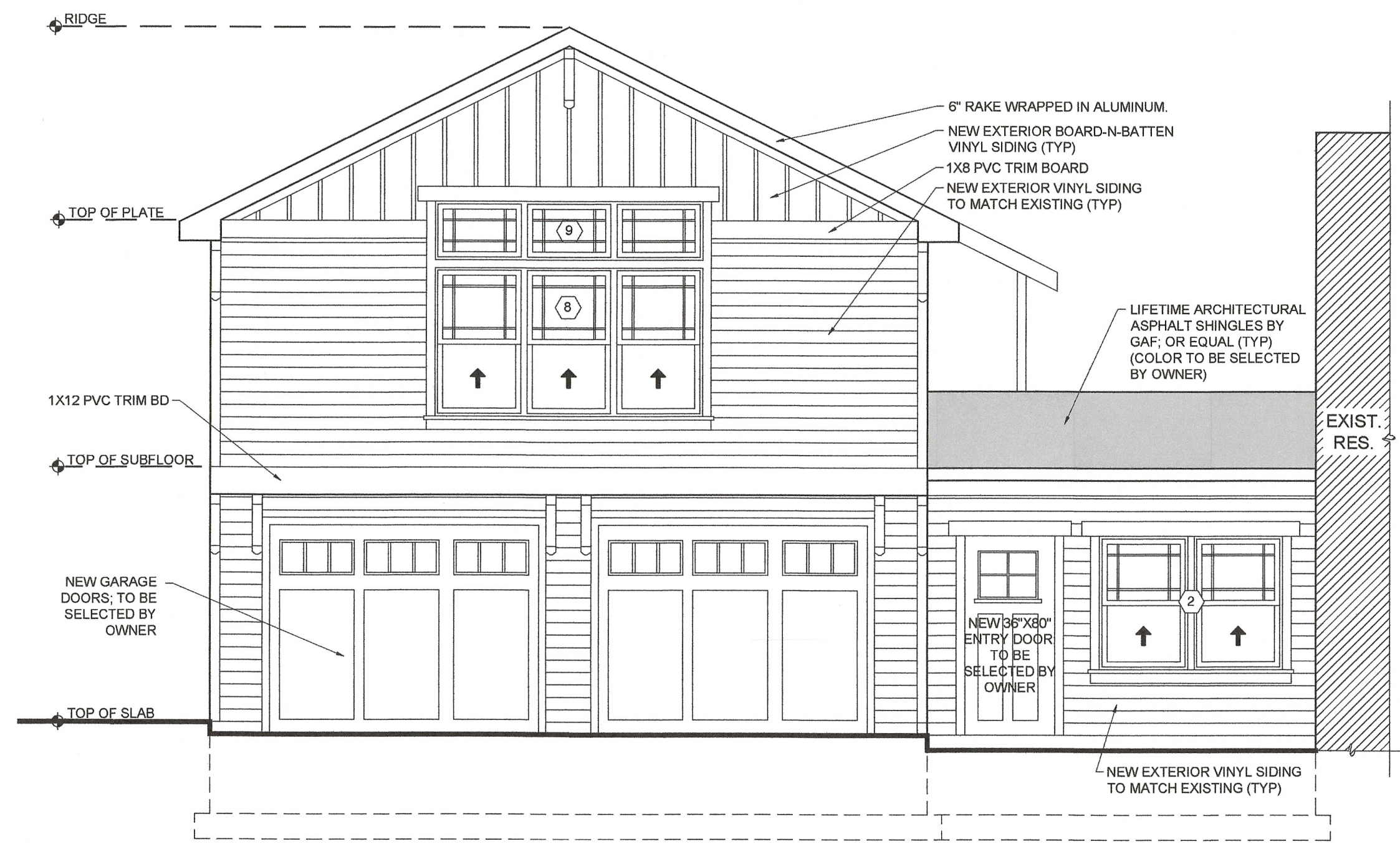
REGISTERED ARCHITECT
 JASON R. LICHWICK
 STATE OF NEW YORK
 028812

New Second Story Addition-Accessory Apartment
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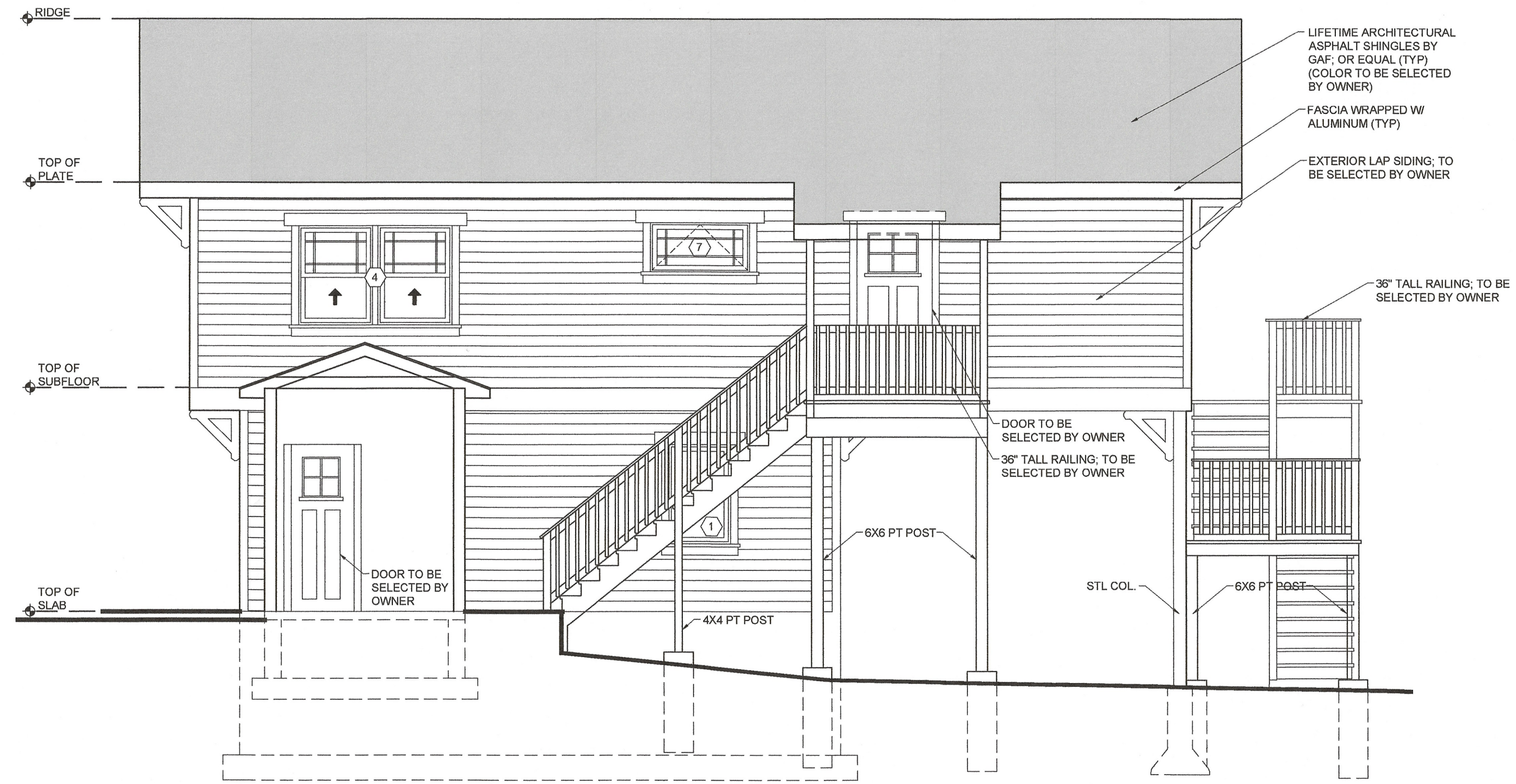
Planning Board Special Use and Site Plan Review

Date: 05.02.2022
 Revisions: REV 01: 08.12.2022
 Drawn By: AR & JL

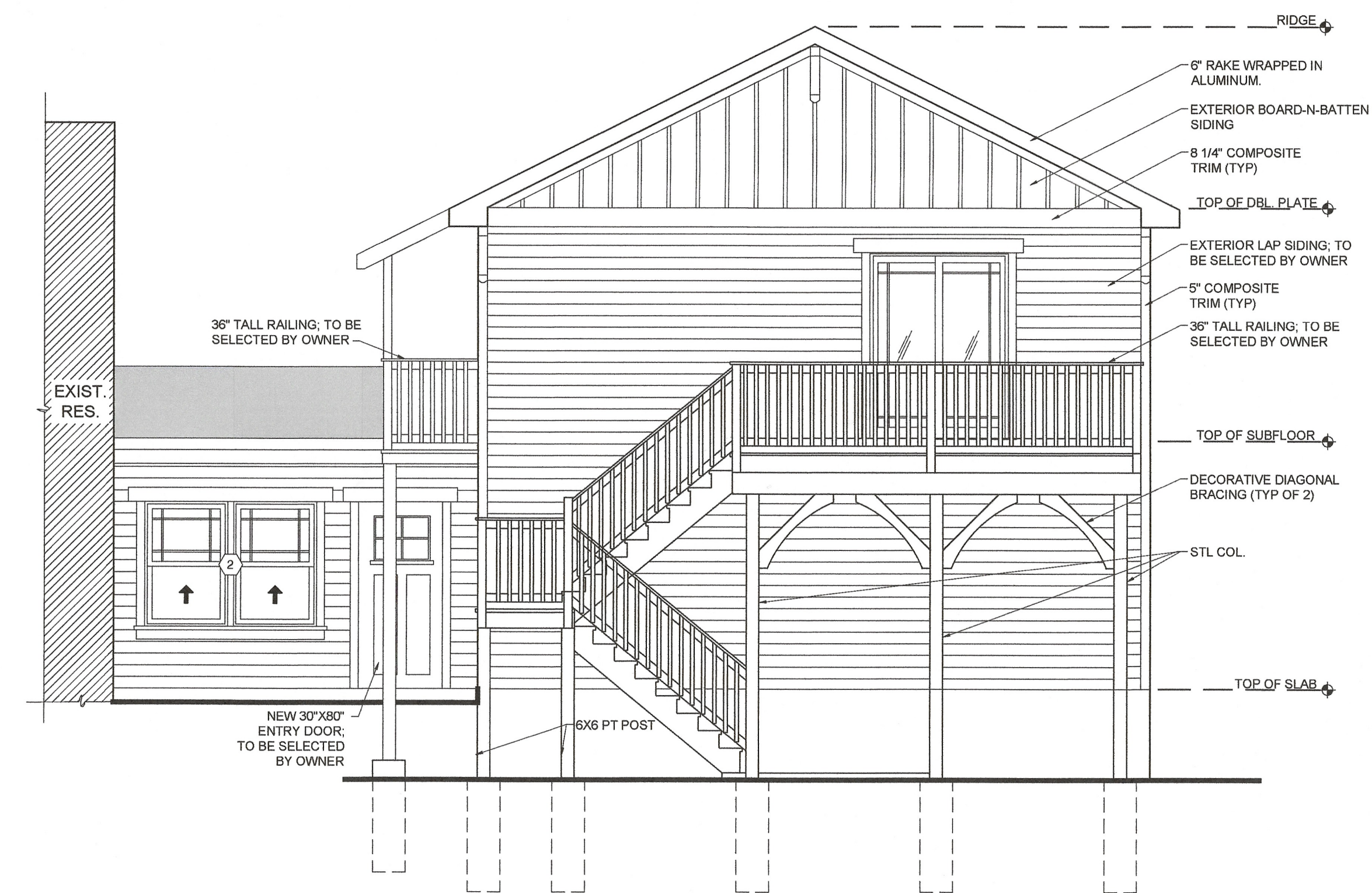
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6 of 11



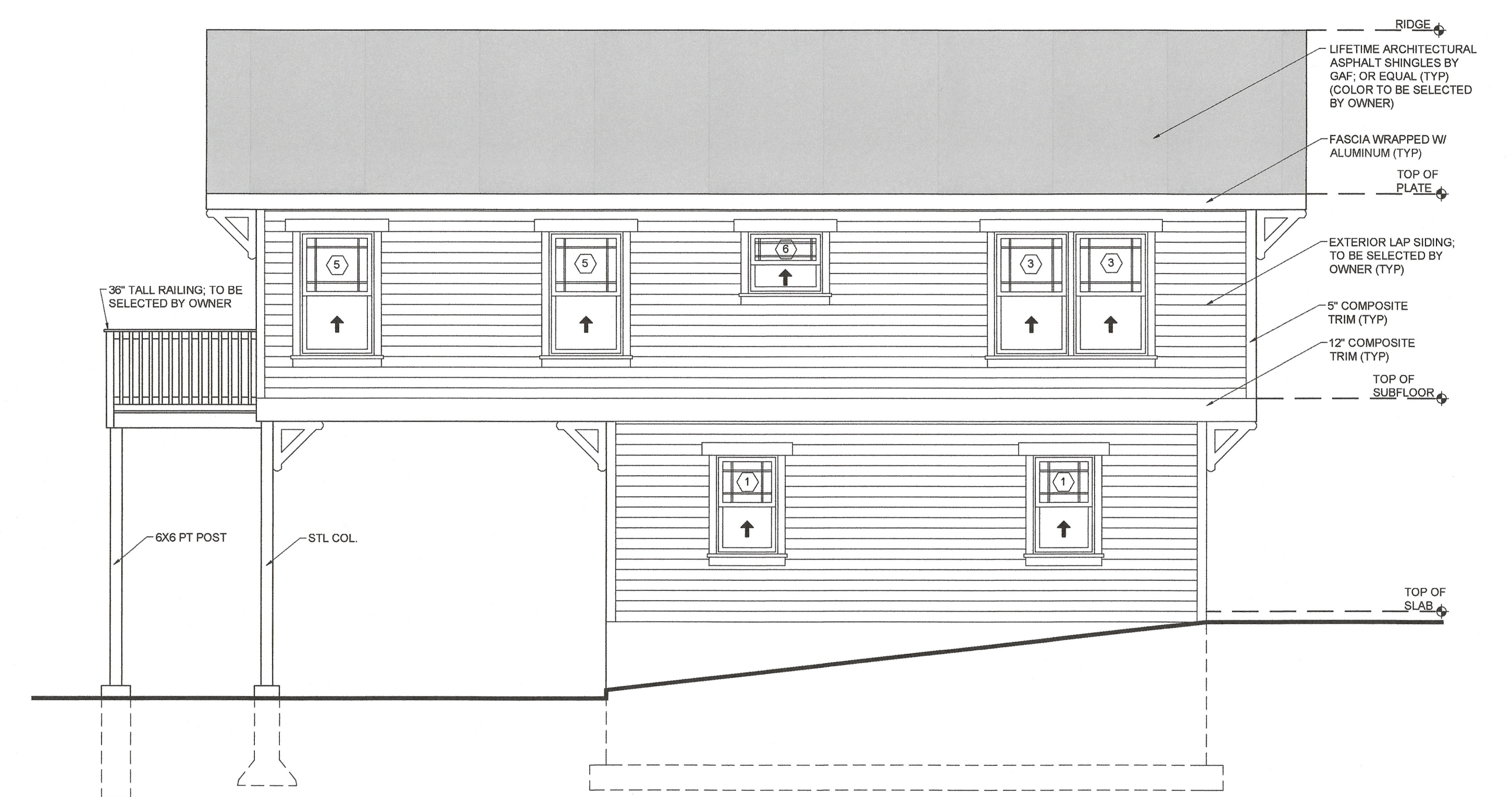
1 Proposed Front Elevation (east facing)
A2.1 Scale: 1/4" = 1'-0"



2 Proposed Side Elevation (north facing)
A2.1 Scale: 1/4" = 1'-0"



3 Proposed Rear Elevation (west facing)
A2.1 Scale: 1/4" = 1'-0"



4 Proposed Side Elevation (south facing)
A2.1 Scale: 1/4" = 1'-0"

PLANNING BOARD SIGNATURE BLOCK

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FINAL APPROVAL DATE: _____

PB CHAIR SIGNATURE: _____ DATE: _____

WITNESS: _____ DATE: _____

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New Second Story Addition-Accessory Apartment

John and Diana Delaney
S.B.L. 6169-18-329032
71 S. Mesler Avenue
Wappingers Falls, New York 12590

Planning Board Special Use and Site Plan Review

Date: 05.02.2022
Revisions: REV 01: 08.12.2022
Drawn By: AR & JL

A2.1

8 of 11

August 16, 2022

Tom Morris, Chairperson
Village of Wappingers Falls
2582 South Avenue
Wappingers Falls, NY 12590

Re: 2 Delavergne Avenue
Amended Site Plan Application
Tax Grid No.: 134601-6158-10-268607

Dear Chairman Morris and Members of the Board:

Please find enclosed seven (7) copies of the following information relative to the above referenced Site Plan Application:

1. Amended Site Plan, Sheet C100, dated 6/8/22, last revised 8/16/22
2. Stormwater Management Plan, Sheet C200, dated 8/16/22
3. Utility and Grading Plan, Sheet L300, dated 6/6/22, last revised 8/15/22
4. Planting Plan, Sheet L400, dated 6/6/22, last revised 8/15/22
5. Proposed Building Renderings, 8.5" x 11"
6. Pergola Roof Catalog, 8.5" x 11"
7. Revised Short EAF
8. Digital Copy (CD)

The above information has been revised to address comments received from the Board and its consultants at the July 7th Board Meeting. Responses to each of the comments received is provided below:

Village Engineer, JRFA – July 5th, 2022 Comment Letter

1. Comment: *The Village Zoning Board of Appeals should be added to item #2 on the Short EAF.*

Response: The Village Zoning Board of Appeals has been added to item #2 on the Short EAF.

2. Comment: *Show all existing and proposed utilities; water, sewer, electric, gas, and telephone lines. If new infrastructure is required, provide details, profiles, and types of materials proposed.*

Response: Existing utilities are now identified on Sheet L300. At this time, only new drainage utilities are proposed, which are indicated on Sheet C200.

3. *Comment: Provide labels and dimensions for any easements that are on the site.*

Response: The Owner indicates that there are no known easements encumbering the property.

4. *Comment: Plans should include topography or spot elevations for the site. Will the finish floor of the sunroom be the same height as the building finish floor?*

Response: Several spot elevations are now indicated on Sheet L300. The finished floor of the proposed sunroom will be the same as the existing building finished floor.

5. *Comment: Stormwater management of all new imperious surfaces should be provided. It is noted in the SEAF that stormwater will either be discharged to the yard or the storm drains. Please clarify. If discharging to Route 9D, a NYSDOT work permit will be required.*

Response: Proposed stormwater management facilities are now indicated on the Sheet C200, which demonstrate 100% mitigation of newly generated runoff resulting from the 100-yr storm.

6. *Comment: Can the sunroom be relocated to the Delavergne Avenue side of the building to eliminate the need for a front setback variance?*

Response: The Owner has evaluated relocating the proposed sunroom as suggested, however, the location of existing treatment rooms and the need to maintain current ADA compliant circulation throughout the treatment areas does not allow for this.

7. *Comment: How will the sunroom be connected to the structure?*

Response: Please refer to page 4 of the enclosed product brochure for design details of the proposed connections.

8. *Comment: Will there be access to the sunroom from the parking lot? If so, an ADA compliant walkway will be required.*

Response: At this time, no connection from the proposed sunroom to the parking is proposed. Access will be provided solely through the main building.

9. *Comment: Provide the exact model of Pergola Roof as well as the color. The board will determine the visual compatibility with surroundings.*

Response: The “Louvre” model is proposed in white. Please refer to page 11 of the product brochure for detailed material/color information.

Verbal Comments Received from Planning Board and Village Planner on July 7th, 2022

- The label for the existing building story has been corrected on the plans to indicate a 2-story building.
- The NYDOT and the Village of Wappingers Falls ZBA have been added to the EAF as involved agencies.
- The Owner Signature Block will be affixed to each plan sheet on the final plans.
- Regarding the requested landscape maintenance note, please advise if there is a standard note that should be added to the plan.
- Regarding parking space requirements/calculations, Table 5: Parking Table of the Village of Wappinger Zoning Code appears to indicate that parking requirements for professional offices in the VM district shall be “as determined by Site Plan Review,” or “Per SPR.” The Owner has indicated that the proposed sunroom is not intended to increase the capacity or intensity of their current operations, and therefore an increase in required parking is not anticipated. No change to the current parking layout or stall count is proposed at this time.
- Regarding architectural review, an updated/enhanced planting plan and digital renderings have been provided with this submission. The Owner looks forward to reviewing the enclosed with the Board.

The Owner kindly requests to be placed on the September 1st Planning Board meeting agenda to review the above and enclosed information with the Board. Your continued consideration is greatly appreciated.

Sincerely,

Christian R. Paggi

Christian R. Paggi, PE
Senior Engineer

Enclosures

Short Environmental Assessment Form

Part 1 - Project Information

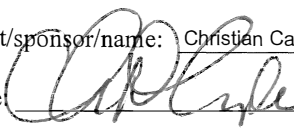
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 2 Delavergne Avenue			
Project Location (describe, and attach a location map): 2 Delavergne Avenue, Wappingers Falls, NY 12590 (Village of Wappingers)			
Brief Description of Proposed Action: Addition of new sun room pergola attached to existing Physical Therapy facility.			
Name of Applicant or Sponsor: Campilii-Snyder Fmly Farm LLC		Telephone: 845-297-4789	
Address: 2 Delavergne Avenue		E-Mail: c4pt@optonline.net	
City/PO: Wappingers Falls		State: NY	Zip Code: 12590
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of Wappingers: Site Plan approval from Village Planning Board; Area Variance from Village of Wappingers Falls ZBA, Building Permit from Village Building Department; NYSDOT		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____		0.50 acres	
b. Total acreage to be physically disturbed? _____		0.02 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____		0.50 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name:Wappinger Lake, Reason:Protection of natural resource, Agency:Wappinger Falls, Village of, Date:6-29-98 If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Pied-billed Grebe, Indiana Bat	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
<u>Runoff generated by new pergola to be directed to new stormwater management system (sub-surface infiltration) with surface overflow to adjacent lawn area.</u>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Christien Campilii</u> Date: <u>6/8/2022</u>		
Signature:  Title: <u>Owner/Applicant</u>		

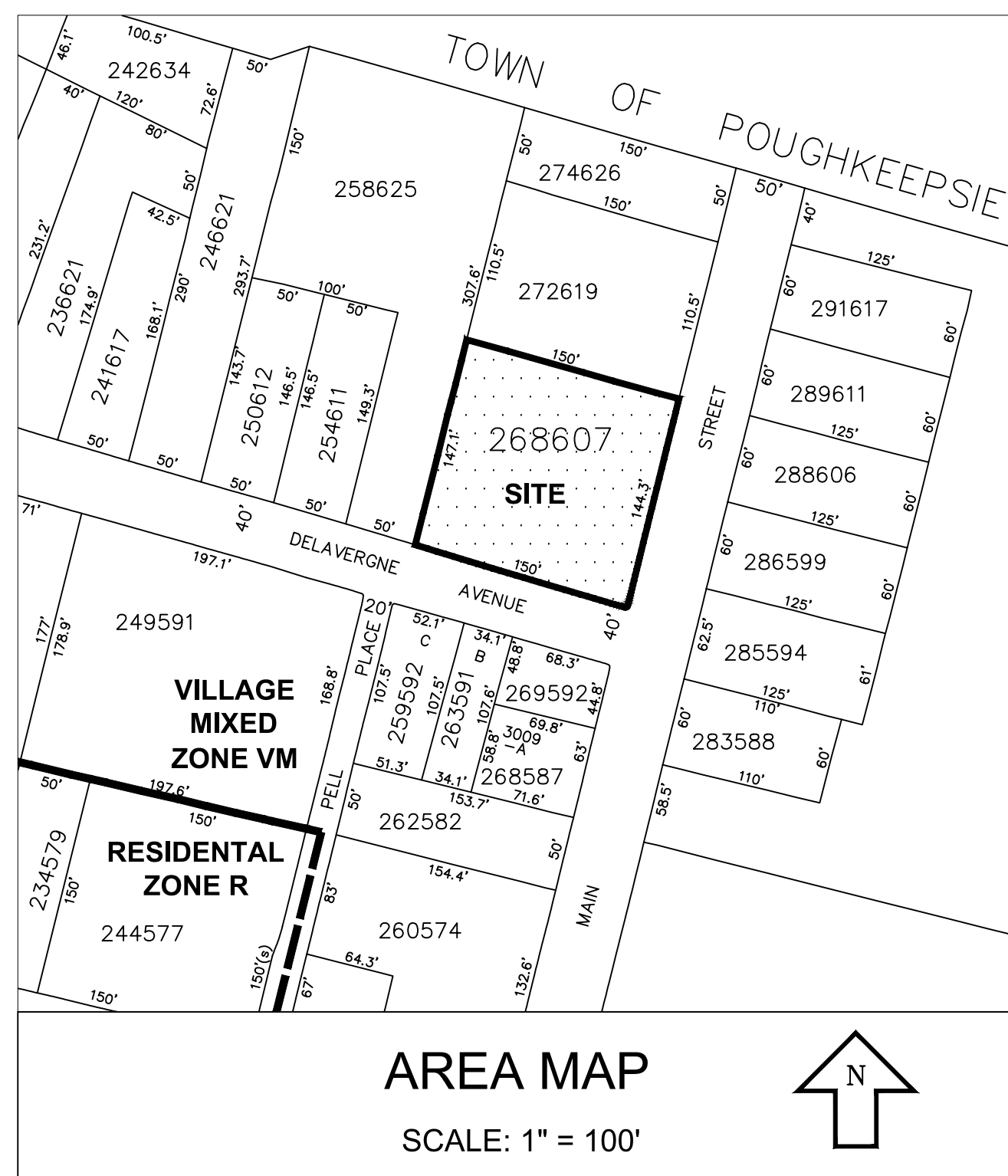


Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



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Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Wappinger Lake, Reason:Protection of natural resource, Agency:Wappinger Falls, Village of, Date:6-29-98
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Pied-billed Grebe, Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



AREA MAP
SCALE: 1" = 100'

SITE DATA:

LOT 1
OWNER: CAMPILII-SNYDER FMLY FARM LLC
ADDRESS: 2 DELAVERGNE AVE WAPPINGERS FALLS NY, 12590

TAX ID No.: 134601-6158-10-268607
AREA: CURRENT: 0.51 AC PROPOSED: 0.51 AC ZONE: VM-VILLAGE MIXED

SITE AREA BREAKDOWN

	ACRES	PERCENTAGE
BUILDING:	0.11	21.6 %
GREENSPACE:	0.15	29.4 %
CONCRETE:	0.03	5.9 %
ASPHALT:	0.22	43.1 %

SITE DIMENSIONS

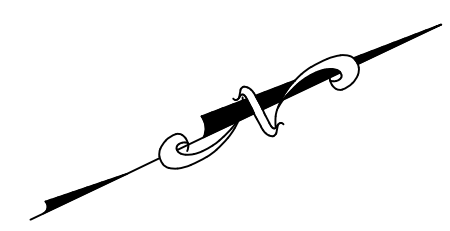
	REQUIRED	PROPOSED
VILLAGE MIXED LOT 1		
MIN LOT AREA:	N/A	0.51 AC
MAX BUILDING HT.:	3 STORY	1 STORY
MIN LOT WIDTH:	25 FT.	147.12 FT.
MIN FRONT SETBACK:		
PRIMARY:	10 FT.	31.3 FT.
SECONDARY:	10 FT.	7.8 FT.
MIN SIDE SETBACK:	0 FT.	65.9 FT.
MIN REAR SETBACK:	10 FT.	17.3 FT.
MAX LOT COVERAGE:	75%	70.6%
BUILDING COVERAGE:	N/A	21.6%
MIN. GREENSPACE:	10%	29.4%

VARIANCES REQUIRED TO BE OBTAINED FROM THE VILLAGE ZONING BOARD:

- VARIANCE TO ALLOW 7.8 FT SECONDARY FRONT SETBACK

BOUNDARY AND EXISTING CONDITIONS INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "MAP OF SURVEY FOR THE LANDS OF CHRISTOPHER CAMPILII", PREPARED BY ROBERT V. OSWALD LAND SURVEYING, DATED 5/9/22

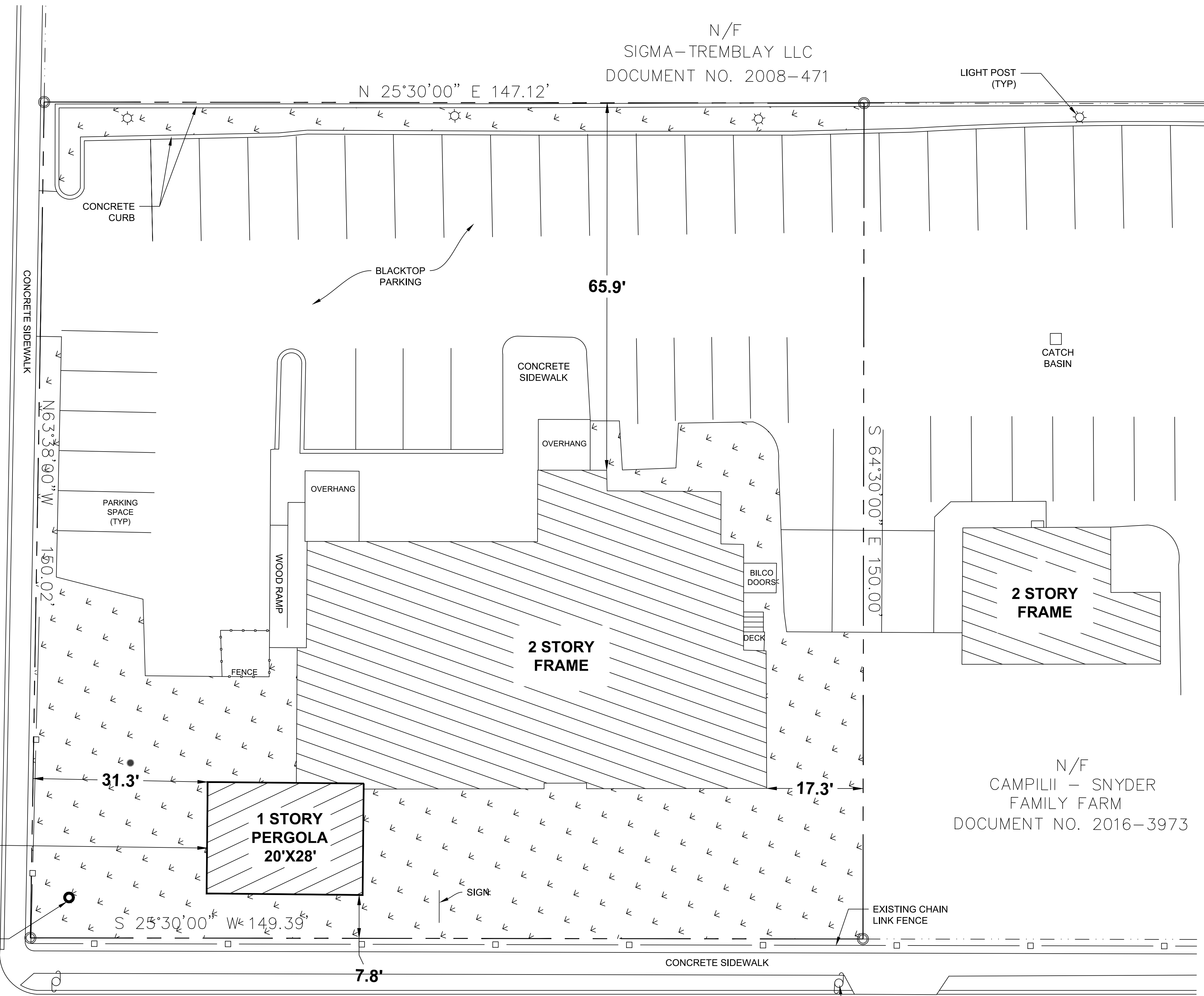
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW



DELAVERGNE AVENUE

PROPOSED 560 SF PERGOLA SUN ROOM

UTILITY POLE (FIELD LOCATED BY SANOK DESIGN GROUP)



WEST MAIN STREET
(A.K.A. ROUTE 9D)

LAWRENCE J. PAGGI, PE, PC
CONSULTING ENGINEERING
43 BROAD STREET
FISHKILL, NEW YORK 12524
TELEPHONE: (845) 897-2375

FINAL	DATE
BY: CJP	8/11/2022

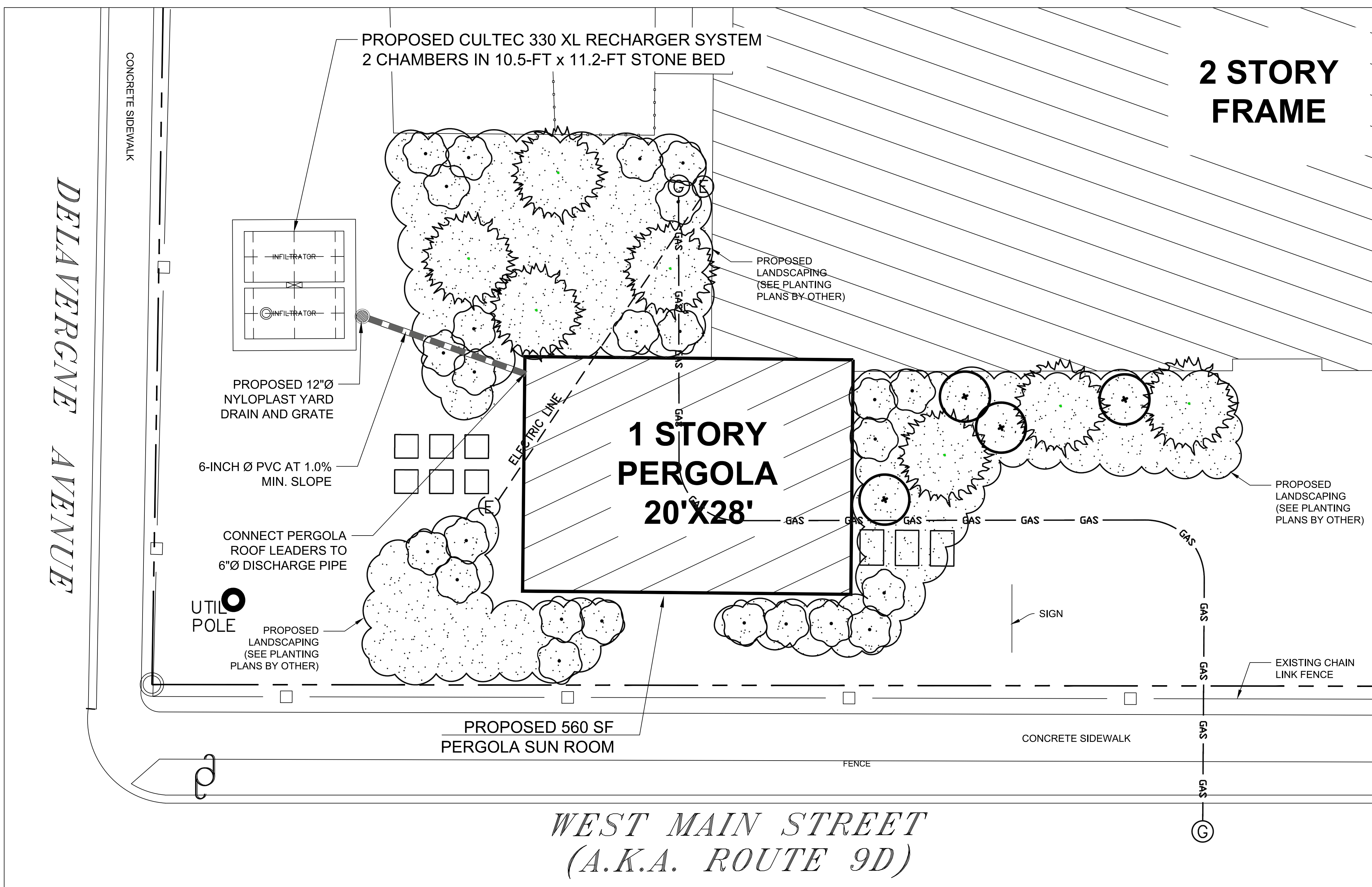
RESPONSES TO PLANNING BOARD COMMENTS

CAMPILII-SNYDER FMLY FARM LLC
2 DELAVERGNE AVE, WAPPINGERS FALLS, NY 12590
VILLAGE OF WAPPINGERS FALLS
COUNTY OF DUTCHESS, STATE OF NEW YORK

AMENDED SITE PLAN

DATE: **JUNE 8, 2022**
SCALE: 1" = 10'
JOB NUMBER:

SHEET NUMBER:
C100



GENERAL NOTES:

- EXISTING KNOWN UTILITIES ON THE PROJECT SITE HAVE BEEN LOCATED/MARKED BY CENTRAL HUDSON GAS & ELECTRIC, CHARTER COMMUNICATIONS HUDSON VALLEY, NYS DOT Poughkeepsie Region 8, Verizon Hudson Valley and the Village of Wappingers Falls. UTILITY INFORMATION SHOWN HEREON HAS NOT BEEN SURVEYED AND IS BASED ON FIELD MEASUREMENTS PERFORMED BY SANOK DESIGN GROUP.
- CONTRACTOR SHALL VERIFY LOCATION, BURIAL DEPTH AND SIZE/MATERIAL OF ALL EXISTING UTILITIES WITHIN THE WORK AREA PRIOR TO COMMENCING WORK.

STORMWATER DESIGN NOTES:

- INCREASES IN IMPERVIOUS AREA (560-SF PERGOLA) ARE PROPOSED TO BE MITIGATED VIA SUBSURFACE INFILTRATION.
- SOIL PERCOLATION RATES SHALL BE VERIFIED PRIOR TO INSTALLATION VIA PERFORMANCE OF INFILTRATION TESTS IN THE AREA OF THE PROPOSED SUBSURFACE SYSTEM IN CONFORMANCE WITH 2015 NYSDEC STORMWATER DESIGN MANUAL.
- DESIGN PARAMETERS:
 - EXISTING SOIL TYPES (DUTCHESS COUNTY, NEW YORK SOIL SURVEY):
 - K/A - KNICKERBOCKER FINE SANDY LOAM (HSG A; 1.98 TO 5.95 IN/HR)
 - KuA - KNICKERBOCKER-URBAN LAND COMPLEX (HSG A; 1.98 TO 5.95 IN/HR)
 - DESIGN ASSUMES 1.0 IN/HR INFILTRATION RATE, TO BE VERIFIED WITH IN SITU TESTING.
- MITIGATION OF 100-YR DESIGN STORM
 - NORTHEAST REGIONAL CLIMATE CENTER DATA FOR EXTREME PRECIPITATION INDICATES AN ESTIMATED 24-HR 100-YR DESIGN STORM OF 8.18 IN/HR
- SYSTEM DESIGN:
 - TWO (2) CULTEC 330 XL RECHARGERS IN 10.5-FT BY 11.2-FT STONE TRENCH RESULTS IN 100% MITIGATION OF 100-YR DESIGN STORM BASED ON ASSUMED 1.0 IN/HR INFILTRATION RATE (SEE CALCULATIONS BELOW).
 - ROOF RUNOFF FROM NEW PERGOLA STRUCTURE TO BE DIRECTED TO SUBSURFACE CULTEC SYSTEM.

2DelavergneAve_HydroCAD 2DelavergneAve 24-hr S1 100-yr 100-yr Rainfall=8.18"
 Prepared by (enter your company name here) Printed 8/16/2022
 HydroCAD® 10.00 s/n 07219 © 2011 HydroCAD Software Solutions LLC

Summary for Subcatchment 1S: 560-SF PERGOLA

[49] Hint: Tc<2dt may require smaller dt

Runoff = 0.12 cfs @ 11.97 hrs, Volume= 371 cf, Depth> 7.94"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 2DelavergneAve 24-hr S1 100-yr 100-yr Rainfall=8.18"

Area (sf)	CN	Description
560	98	PERGOLA
560		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0					Direct Entry,

2DelavergneAve_HydroCAD 2DelavergneAve 24-hr S1 100-yr 100-yr Rainfall=8.18"
 Prepared by (enter your company name here) Printed 8/16/2022
 HydroCAD® 10.00 s/n 07219 © 2011 HydroCAD Software Solutions LLC

Summary for Pond 2P: CULTEC 330

Inflow Area = 560 sf, 100.00% Impervious, Inflow Depth > 7.94" for 100-yr event
 Inflow = 0.12 cfs @ 11.97 hrs, Volume= 371 cf
 Outflow = 0.00 cfs @ 14.96 hrs, Volume= 231 cf, Atten= 97%, Lag= 179.9 min
 Discarded = 0.00 cfs @ 14.96 hrs, Volume= 231 cf

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 3.02' @ 14.96 hrs Surf.Area= 117 sf Storage= 186 cf

Plug-Flow detention time= 246.1 min calculated for 231 cf (62% of inflow)
 Center-of-Mass det. time= 119.2 min (855.5 - 736.3)

Volume	Invert	Avail. Storage	Storage Description
#1	0.50'	75 cf	Cultec R-330XL Inside #2
			Effective Size= 47.8"W x 30.0"H => 7.45 sf x 7.00'L = 52.2 cf
			Overall Size= 52.0"W x 30.5"H x 8.50'L with 1.50' Overlap
			Row Length Adjustment= +1.50' x 7.45 sf x 2 rows
#2	0.00'	146 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
			439 cf Overall - 75 cf Embedded = 364 cf x 40.0% Voids
		220 cf	Total Available Storage

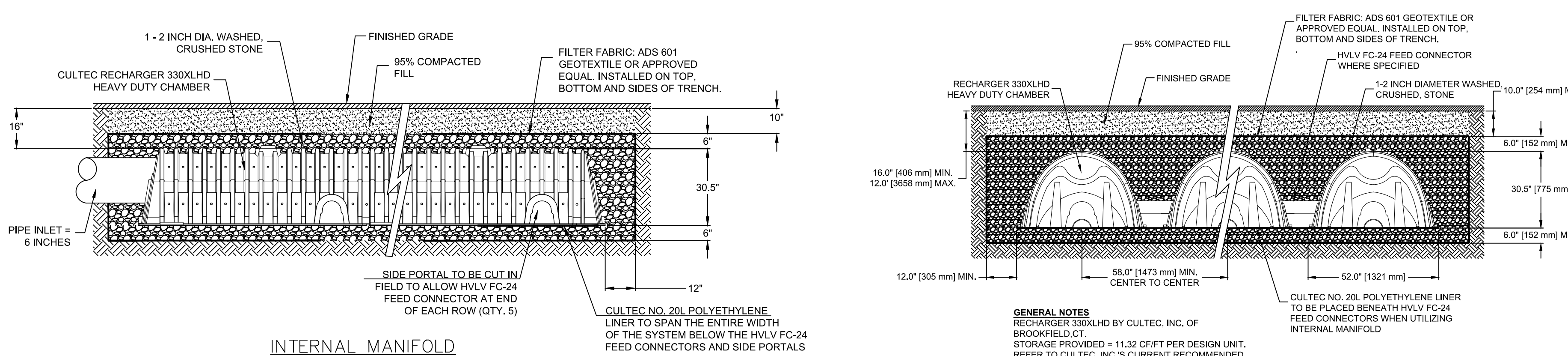
Elevation (feet)	Surf. Area (sq-ft)	Inc. Store (cubic-feet)	Cum. Store (cubic-feet)
0.00	117	0	0
0.50	117	59	59
1.00	117	59	117
1.50	117	59	176
2.00	117	59	234
2.50	117	59	293
3.00	117	59	351
3.50	117	59	410
4.00	0	29	439

Device	Routing	Invert	Outlet Devices
#1	Discarded	0.00'	1.000 in/hr Exfiltration over Surface area Conductivity to Groundwater Elevation = -10.00'

Discarded Outflow Max=0.00 cfs @ 14.96 hrs HW=3.02' (Free Discharge)
 1=Exfiltration (Controls 0.00 cfs)

BOUNDARY AND EXISTING CONDITIONS INFORMATION SHOWN HEREON TAKEN FROM A PLAN ENTITLED "MAP OF SURVEY FOR THE LANDS OF CHRISTOPHER CAMPILII", PREPARED BY ROBERT V. OSWALD LAND SURVEYING, DATED 5/9/22

STORMWATER MANAGEMENT PLAN
 SCALE: 1" = 5'



GENERAL NOTES:

- CONTRACTOR SHALL REFER TO MANUFACTURER'S SPECIFICATIONS FOR DETAILED INSTALLATION INSTRUCTIONS. CONTRACTORS ARE EXPECTED TO COMPREHEND AND USE THE MOST CURRENT INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING THIS SYSTEM INSTALLATION.
- CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL GRADES AND INVERTS INDICATED ON THESE PLANS. CONTRACTORS ARE TO SUBMIT SHOP DRAWINGS OF ALL NEW DRAINAGE STRUCTURES, PIPING, AND STONE/BACKFILL MATERIAL TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- TRENCH/SIDE SLOPE STABILIZATION AND JOB SAFETY ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS EXPECTED TO COMPLY WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS.

GENERAL NOTES
 RECHARGER 330XLHD BY CULTEC, INC. OF BROOKFIELD CT.
 STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
 MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12' (3.65m)
 THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS

ALL RECHARGER 330XLHD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XLHD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

TYPICAL SECTION

LAWRENCE J. PAGGI, PE, PC
 CONSULTING ENGINEERING
 43 BROAD STREET
 FISHKILL, NEW YORK 12524
 TELEPHONE: (845) 897-2375

CAMPILII-SNYDER FMLY FARM LLC
 2 DELAVERGNE AVE, WAPPINGERS FALLS, NY 12590
 VILLAGE OF WAPPINGERS FALLS
 COUNTY OF DUTCHESS, STATE OF NEW YORK

DATE: **AUGUST 16, 2022**
 SCALE: **AS NOTED**
 JOB NUMBER:
 SHEET NUMBER:

C200

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LEGEND:

- 100 SPOT GRADE
- UTILITY LINES

NOTES:

1. ALL GRADES ARE IN REFERENCE TO FINISHED FLOOR ELEVATION OF 100.0'
2. ALL GRADES SHOULD BE FIELD VERIFIED PRIOR TO PURCHASING OR INSTALLING ANY MATERIALS.
3. ALL BASE SURVEY INFORMATION IS COMPLIMENTARY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFY ALL INFORMATION PRIOR TO EXECUTION OF ANY WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE ANY ACTION TAKEN.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
5. ALL PIPE CONNECTIONS SHALL BE IN A 'Y' CONFIGURATION.
6. CONTRACTOR SHALL EXCAVATE TO AREAS INDICATED TO EXPOSE BEDROCK AND SCULPT ROCK AND AREAS UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. ALL WALL INSTALLATIONS SHALL BE UNDER THE DIRECTION OF THE STRUCTURAL ENGINEER.

No.	Date	Revision
2	08-15-22	RE-ISSUED FOR REVIEW
1	06-06-22	ISSUED FOR REVIEW

ALTERATIONS BY ANY PERSON IN ANY WAY, OR ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER DIRECTION OF THE LICENSED SEAL AFFIXED HERETO, IS A VIOLATION OF TITLE VIII ARTICLE 145 SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW.



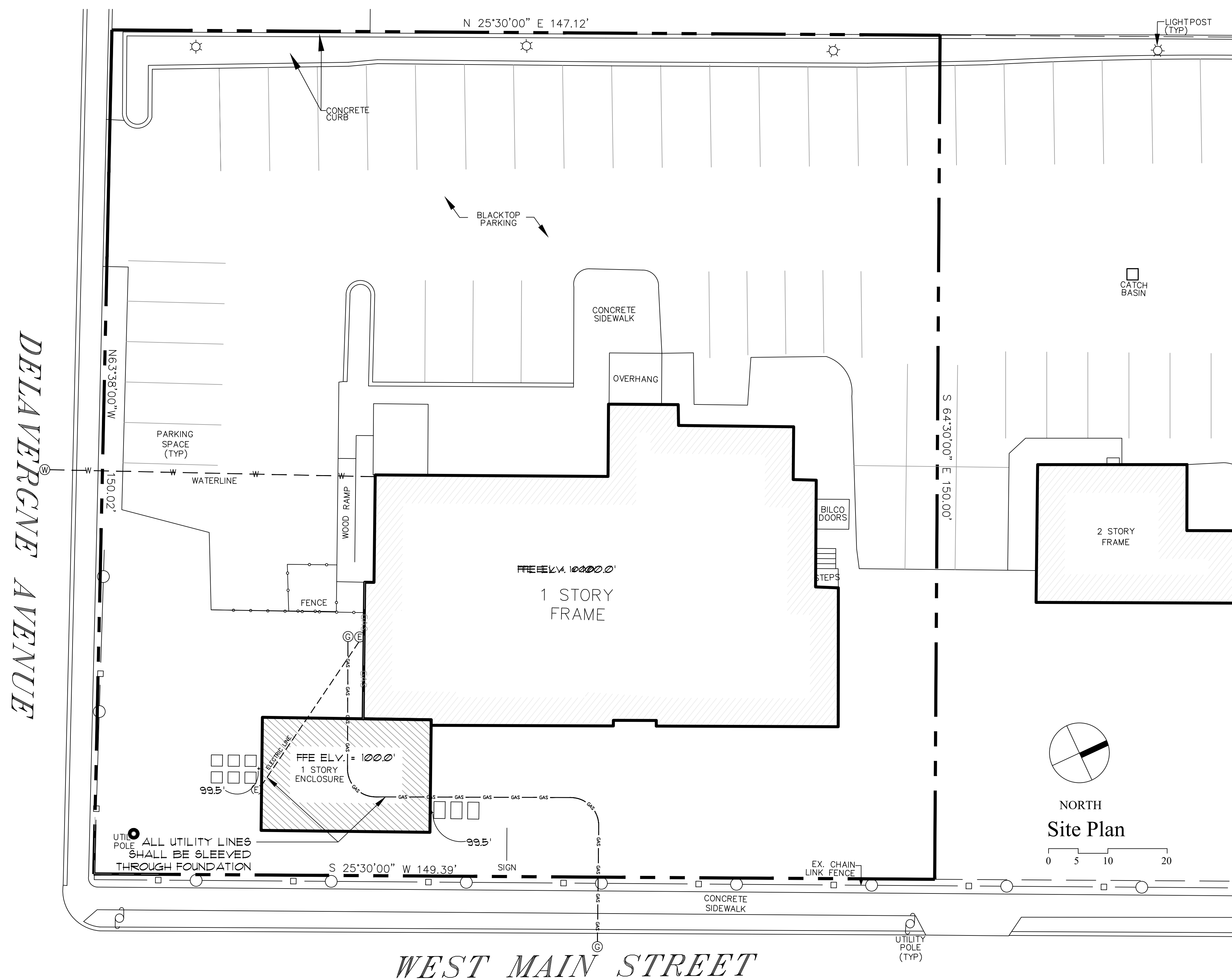
Project Title
CAMPILII OFFICE

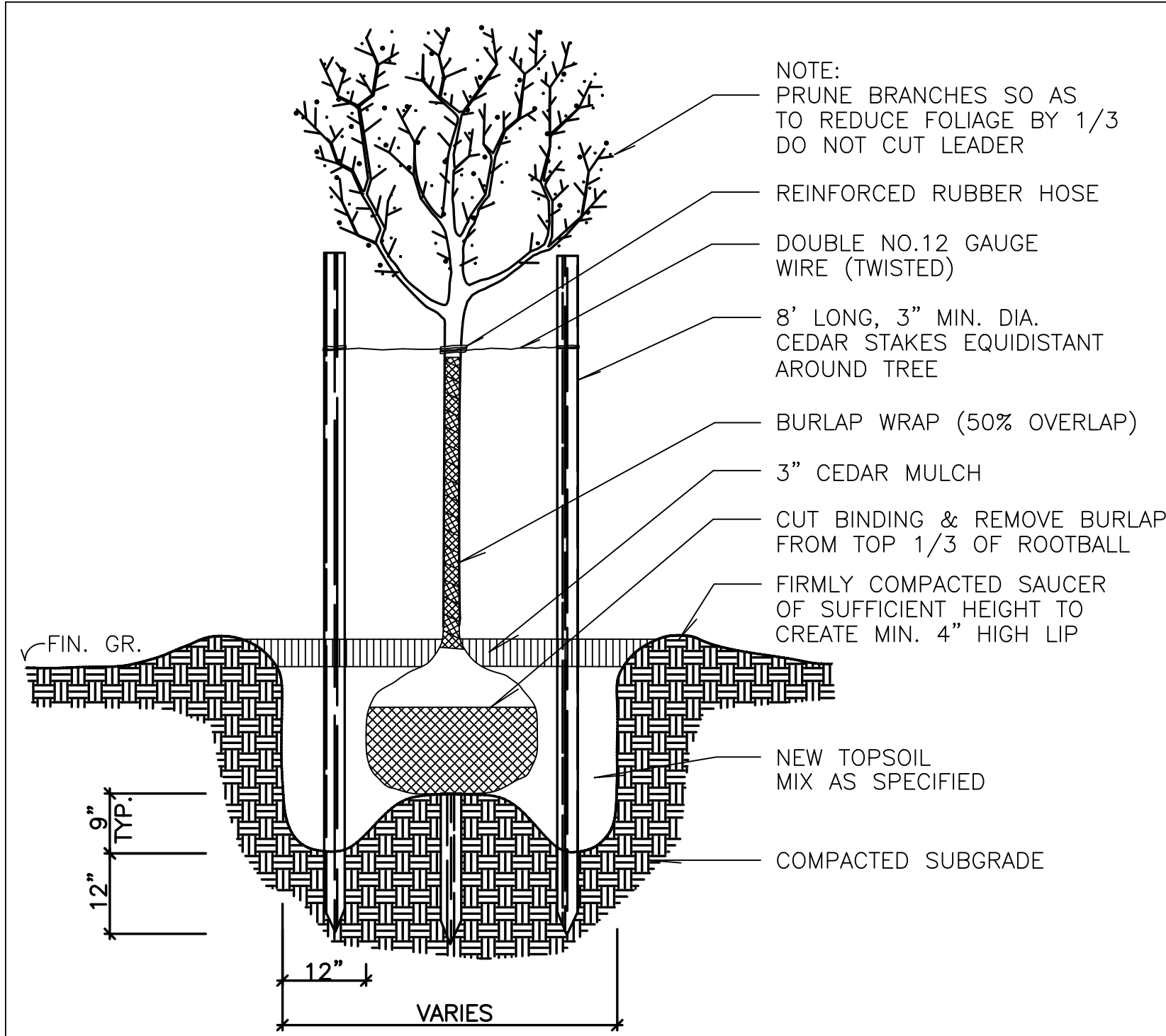
Drawing Title
UTILITY AND GRADING PLAN

Scale	Job No.	Date	Drawing No.
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Drawn	Checked	Approved	
JS	AS	JS	

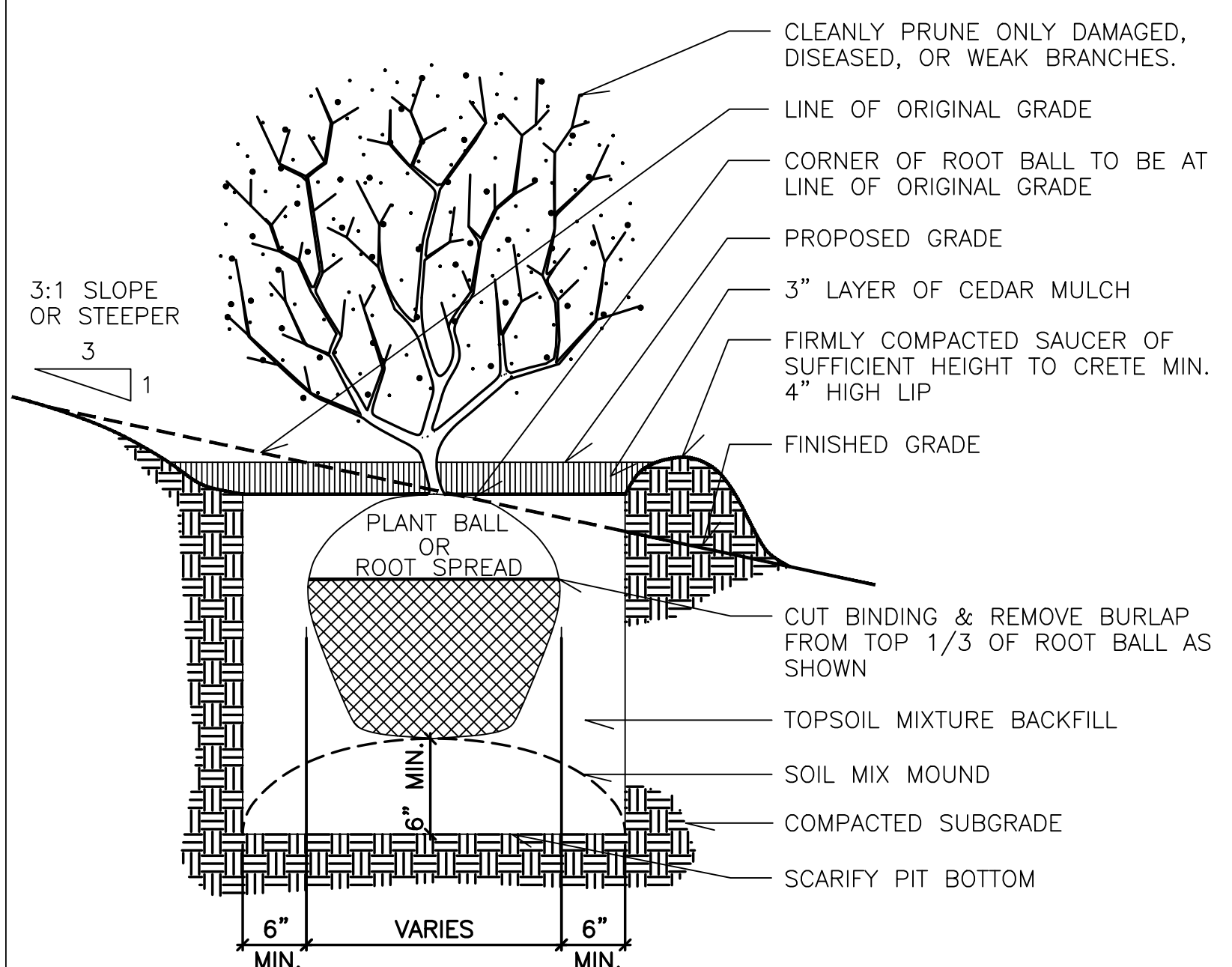
3 Recco Drive
Brewster, New York 10509
845-279-0198
Landscape Architects

SANOK DESIGN GROUP

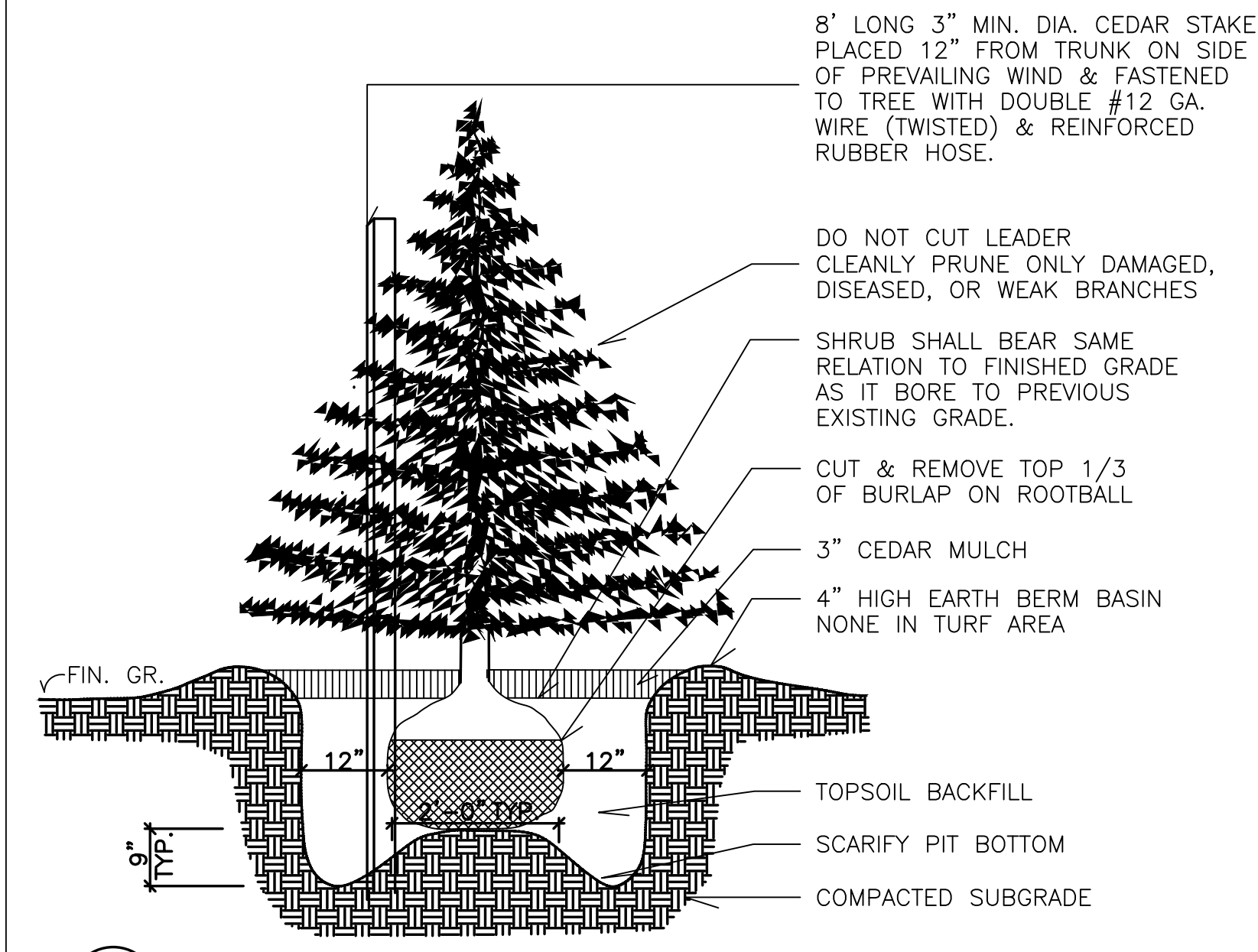




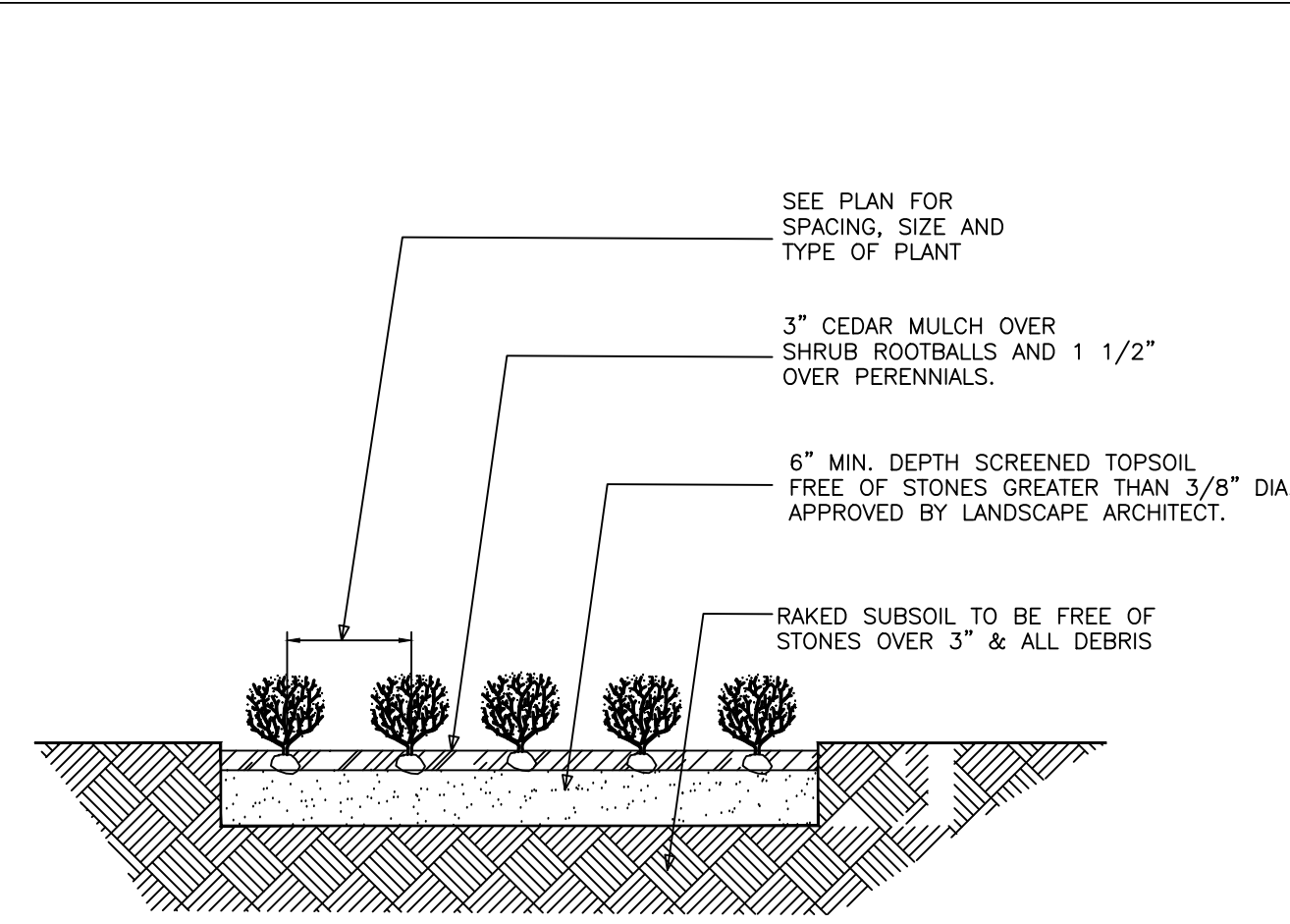
1 DECIDUOUS PLANTING SCALE: N.T.S.



4 SHRUB PLANTING SCALE: 4



6 EVERGREEN PLANTING SCALE: N.T.S.



2 PERENNIAL PLANTING SCALE: N.T.S.

PLANTING NOTES CONT:

7. THE ACTUAL LOCATION OF PLANT MATERIALS MAY VARY DUE TO THE FIELD CONDITIONS. FINAL PLACEMENT OF PLANT MATERIAL SHALL BE APPROVED BEFORE THE PITS ARE DUG. IF INITIAL PLACEMENT IS NOT SATISFACTORY, PLANTS SHALL BE RELOCATED IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER, AT NO ADDITIONAL COST TO THE OWNER.

8. THE CONTRACTOR IS TO USE CARE DURING EXCAVATION AND PLANTING TO AVOID DISTURBING OR DAMAGING ANY ADJACENT OR UNDERGROUND UTILITIES. ANY DAMAGE RESULTING FROM THIS CONSTRUCTION WILL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE RESTORED AT HIS EXPENSE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT OR OWNER.

9. SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE QUANTITIES CALLED FOR ON THE PLANT LIST AND THOSE INDICATED ON THE PLAN, THE GREATER QUANTITY SHALL GOVERN.

10. ALL EVERGREEN TREES SHALL BE 'DEAD MANNED'. PROVIDE 3 8" X 30" CEDAR STAKES. BURY STAKES 30" BELOW FINISH GRADE AND GUY TO TREE.

11. ALL PLANT MATERIAL IS TO BE VIGOROUS, FREE OF INJURY OR DEFECTS. ALL PLANT MATERIAL IS TO BE REPRESENTATIVE FOR THEIR SPECIES.

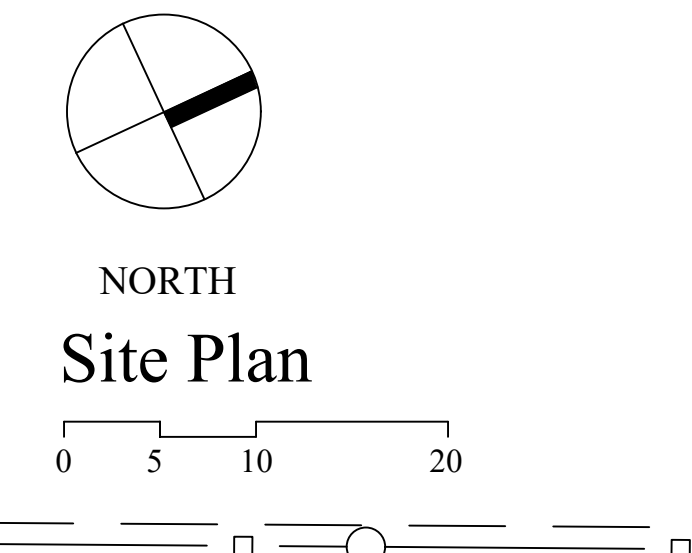
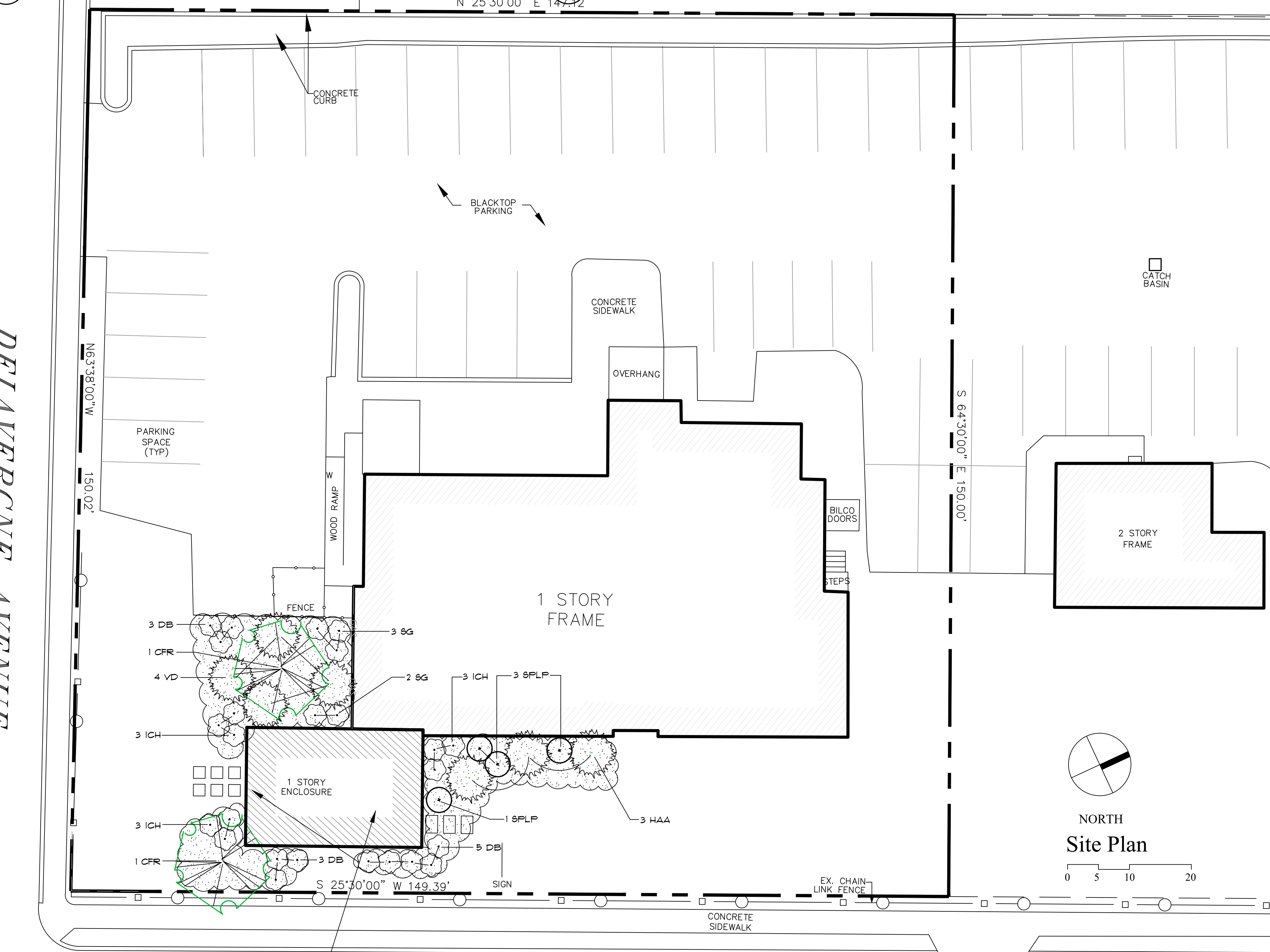
12. NO SUBSTITUTION WILL BE PERMITTED WITHOUT PRIOR CONSENT FROM THE LANDSCAPE ARCHITECT OR OWNER.

13. REFER TO DETAIL #3, SHEET L-400 FOR PLANT LIST.

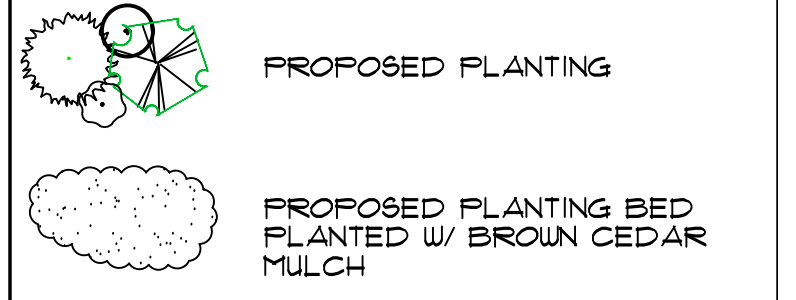
14. ALL TREES IN THE SAME PLANTING AREA SHALL BE PLACED AND PLANTED AT THE SAME TIME. IF BECAUSE OF DELIVERY SCHEDULE, ANY PLANT REMAINS ON THE SITE FOR MORE THAN 24 HOURS, THEY SHALL BE HEELED-IN ON SITE TO MAINTAIN THEIR HEALTH AND VITALITY. PLANTS SHALL BE OTHERWISE PROTECTED AND MAINTAINED, INCLUDING, BUT NOT LIMITED TO WATER AND SHADE. ANY PLANTS DEEMED NOT IN SATISFACTORY HEALTH OR CONDITION AT TIME OF PLANTING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

KEY	QNT.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	REMARKS
TREES						
DECIDUOUS						
CFR	2	Cornus florida 'Cherokee Chief'	Cherokee Chief Dogwood Tree			full multi trunk specimen selected by LA
EVERGREEN						
SHRUBS						
DB	11	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne	3'-4'	B&B	
HAA	3	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	36"-38"	B&B	
SG	6	Spiraea 'Gold Mound'	Gold Mound Spirea	30"-36"	B&B	
SPLP	4	Spiraea 'Little Princess'	Little Princess Spirea	30"-36"	B&B	
ICH	9	Ilex crenata 'shamrock'	Shamrock Holly	3'-4'	B&B	
VD	4	Viburnum dentatum 'Chicago Lustre'	Arrowwood Dentatum	5'-6'	B&B	

3 PLANT SCHEDULE SCALE: N.T.S.



LEGEND:

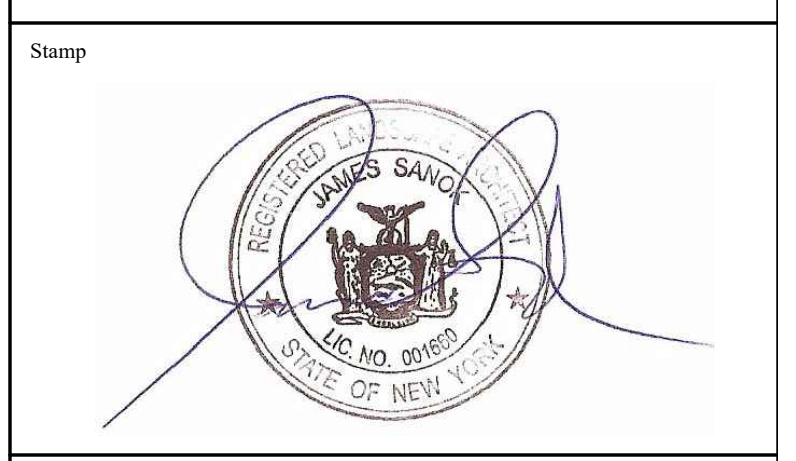


PLANTING NOTES:

- ALL BASE SURVEY INFORMATION IS COMPLEMENTARY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFY ALL INFORMATION PRIOR TO EXECUTION OF ANY WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE ANY ACTION TAKEN.
- ALL LANDSCAPE ELEMENTS (PLANTING, PATIOS, DECKS AND ETC.) SHALL BE LAID OUT, REVIEWED AND APPROVED PRIOR TO INSTALLATION.
- PRIOR TO COMMENCING PLANTING OPERATIONS THE CONTRACTOR SHALL STAKE OUT THE EXACT LOCATION OF ALL TREES FOR THE LANDSCAPE ARCHITECT'S OR OWNER'S APPROVAL. ALL PLANTING OPERATIONS AND LAYOUT SHALL PROCEED UNDER CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT OR OWNER. TREE LOCATIONS MAY VARY AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- CONTRACTOR SHALL EDGE ALL PLANTING BEDS A MINIMUM OF 6" BELOW ADJACENT LAWN. PROVIDE TOPSOIL AND FEATHER TO MEET BOTTOM OF EDGE. WHERE PLANTS ARE TO BE PLANTED ON A GRADED BERM PROVIDE TOPSOIL TO FORM BERM. PROVIDE GRASS SEED AND SALT HAY MULCH BETWEEN EDGE OF EXISTING LAWN AND FORMED EDGE OF PLANTED AREA.
- CONTRACTOR SHALL ENHANCE ALL PLANTING BED SOILS WITH COMMERCIAL FERTILIZERS AND ADDITIVES TO PROVIDE THE BEST POSSIBLE PLANTING ENVIRONMENT FOR THE INDIVIDUAL PLANT SPECIES.
- CONTRACTOR SHALL INSTALL A MINIMUM OF A 3" LAYER OF DARK CEDAR MULCH IN ALL PLANTING BEDS AND PERENNIAL GARDENS. MULCH TO BE APPROVED BY LANDSCAPE ARCH.

No.	Date	Revision
2	08-15-22	RE-ISSUED FOR REVIEW
1	06-06-22	ISSUED FOR REVIEW

ALTERATIONS BY ANY PERSON IN ANY WAY, OR ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER DIRECTION OF THE LICENSED SEAL AFFIXED HERETO, IS A VIOLATION OF TITLE VIII ARTICLE 145 SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW.



Project Title
CAMPILII OFFICE

Drawing Title
PLANTING PLAN

Scale	Job No.	Date	Drawing No.
1"=10'-0"	2218	06-06-22	L-400

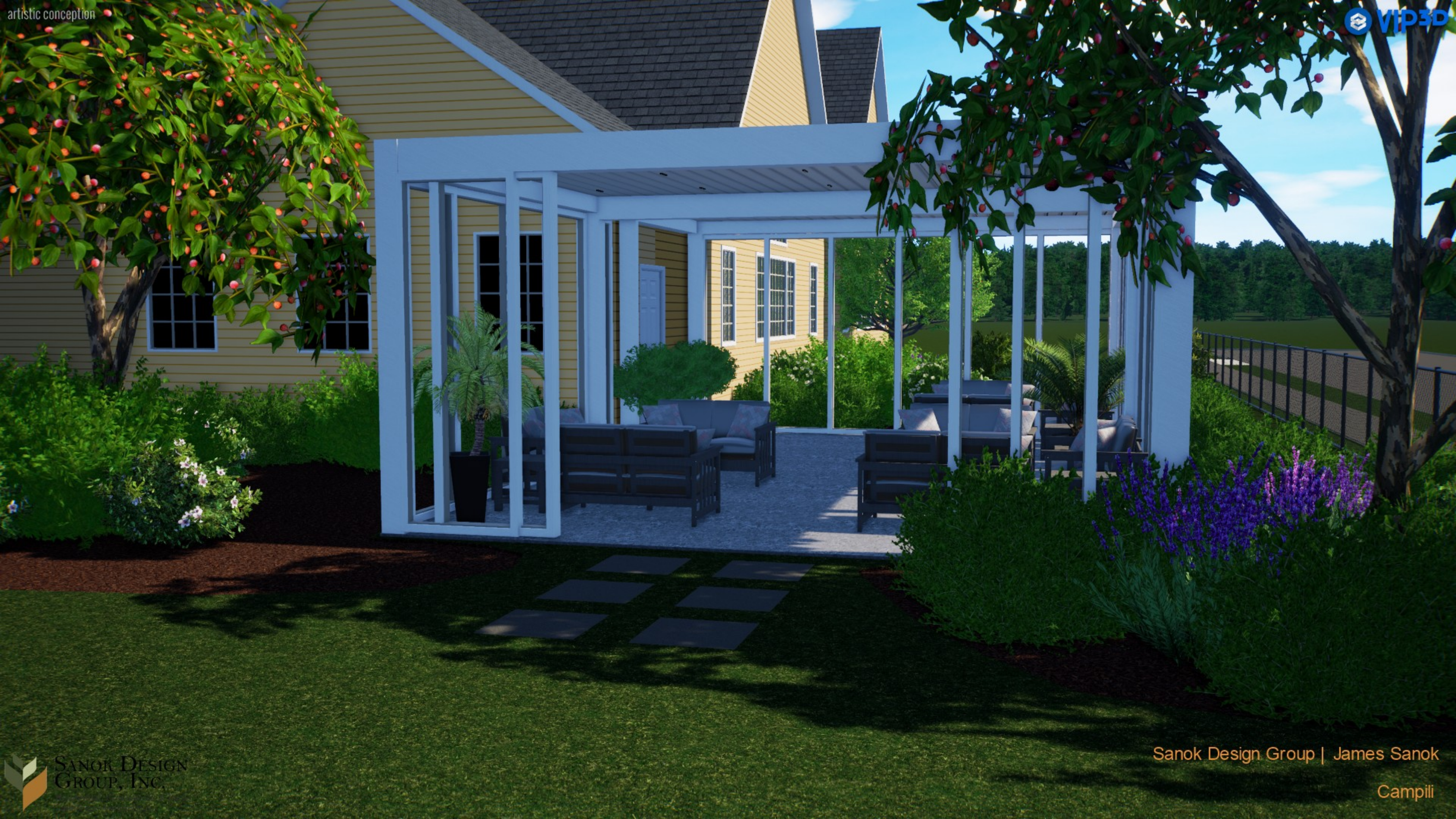
Drawn: JS
Checked: AS
Approved: JS

3 Recco Drive
Brewster, New York 10509
845-279-0198

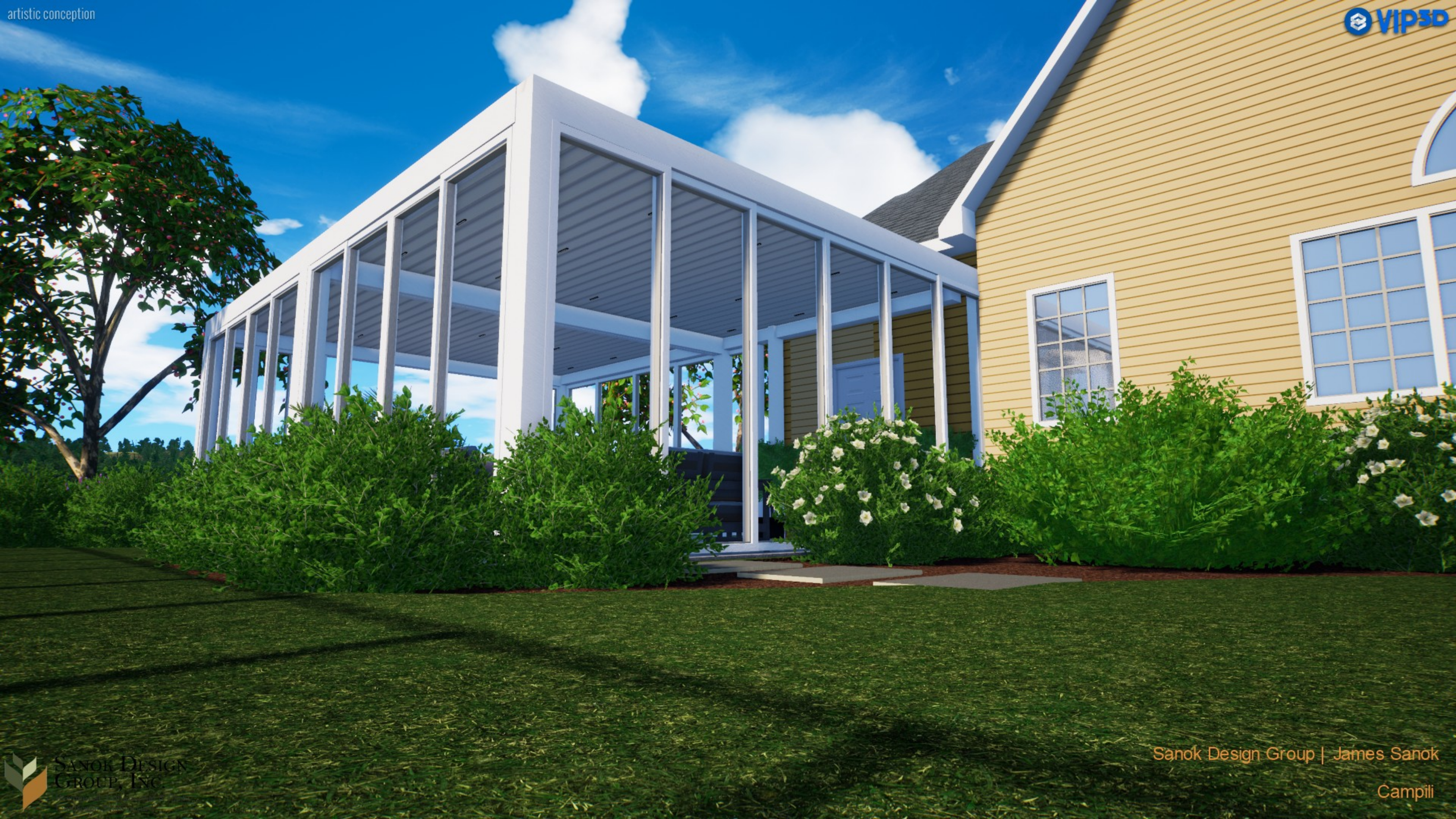
Landscape Architects

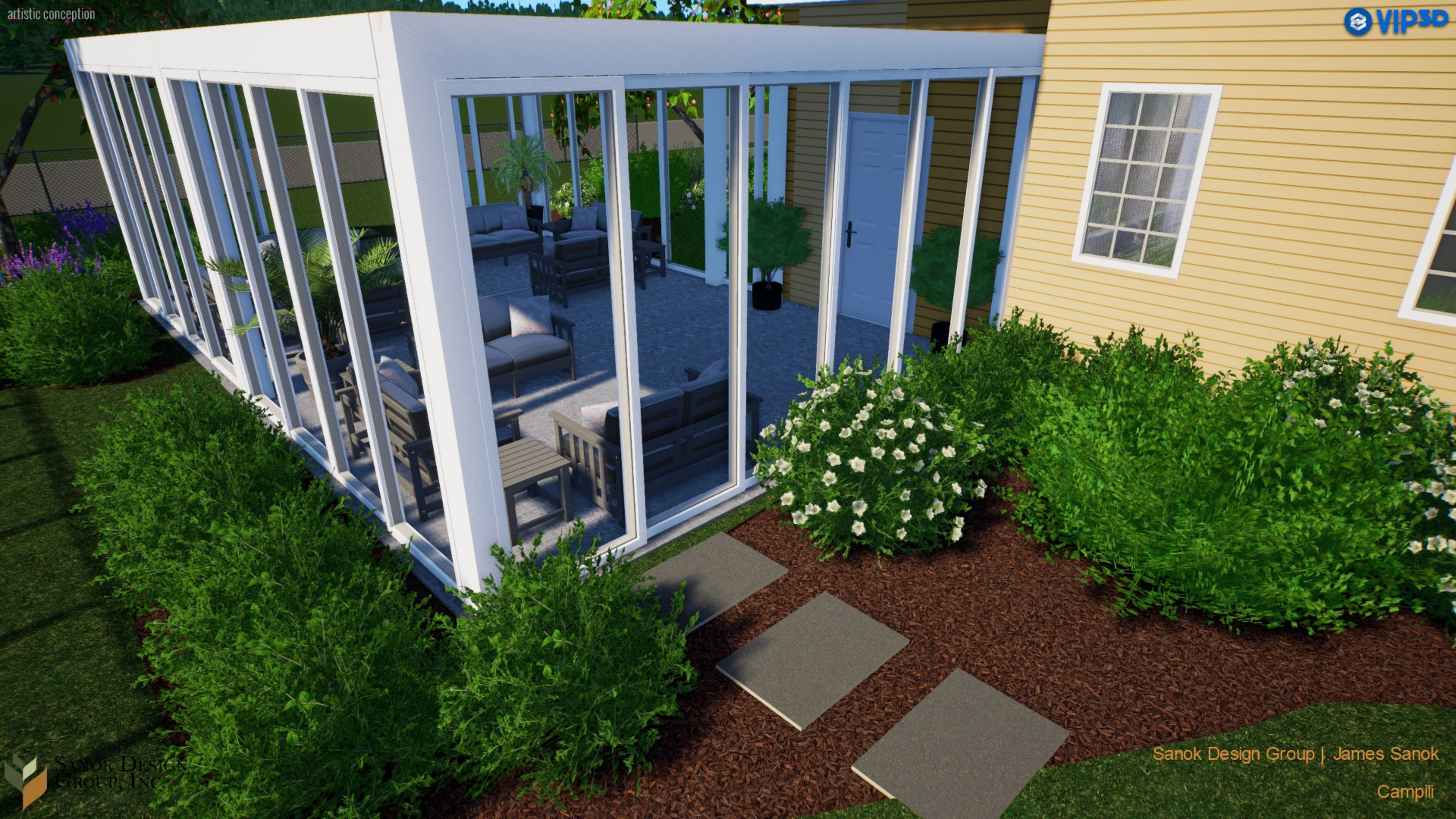
SANOK DESIGN GROUP



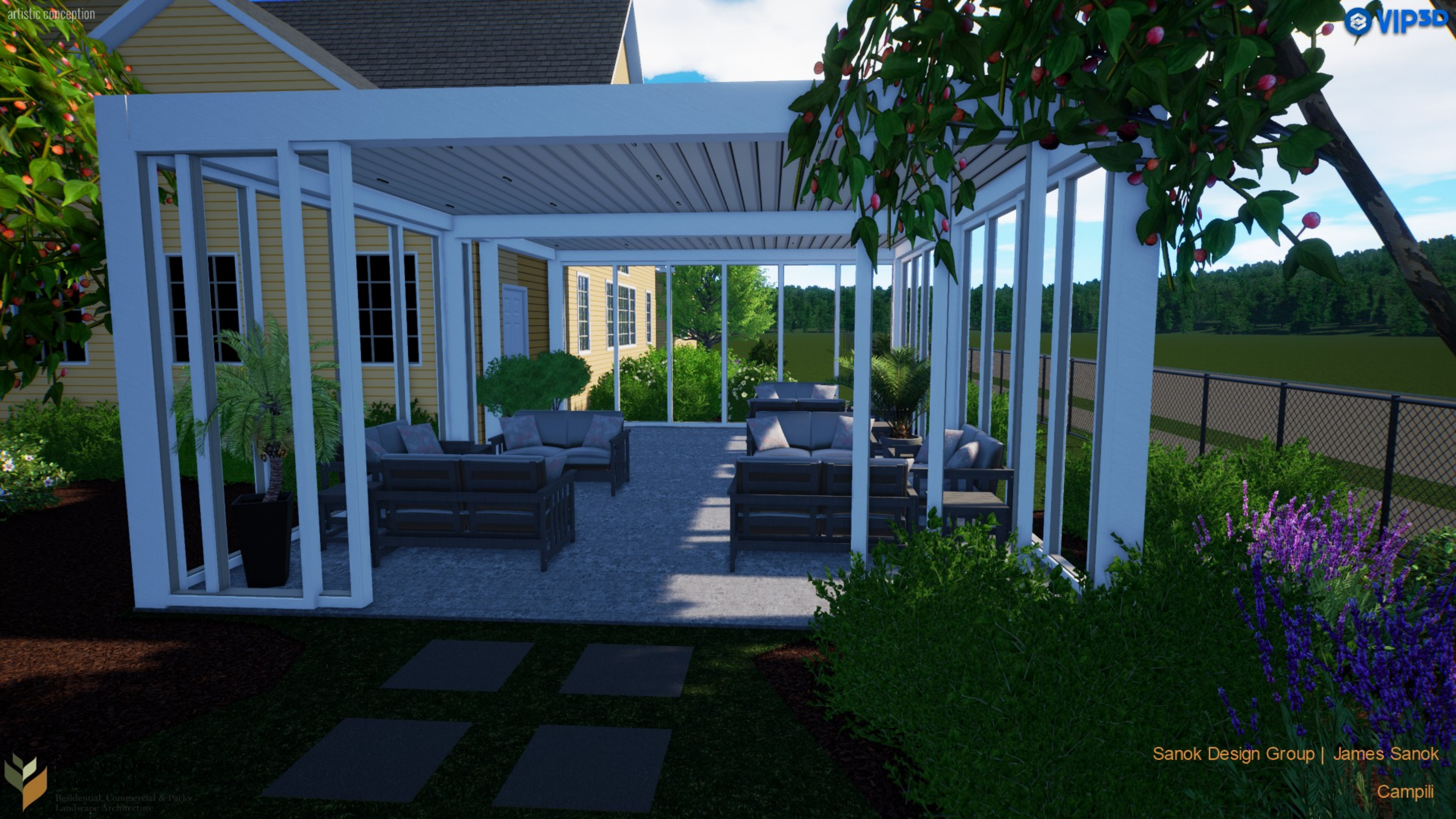


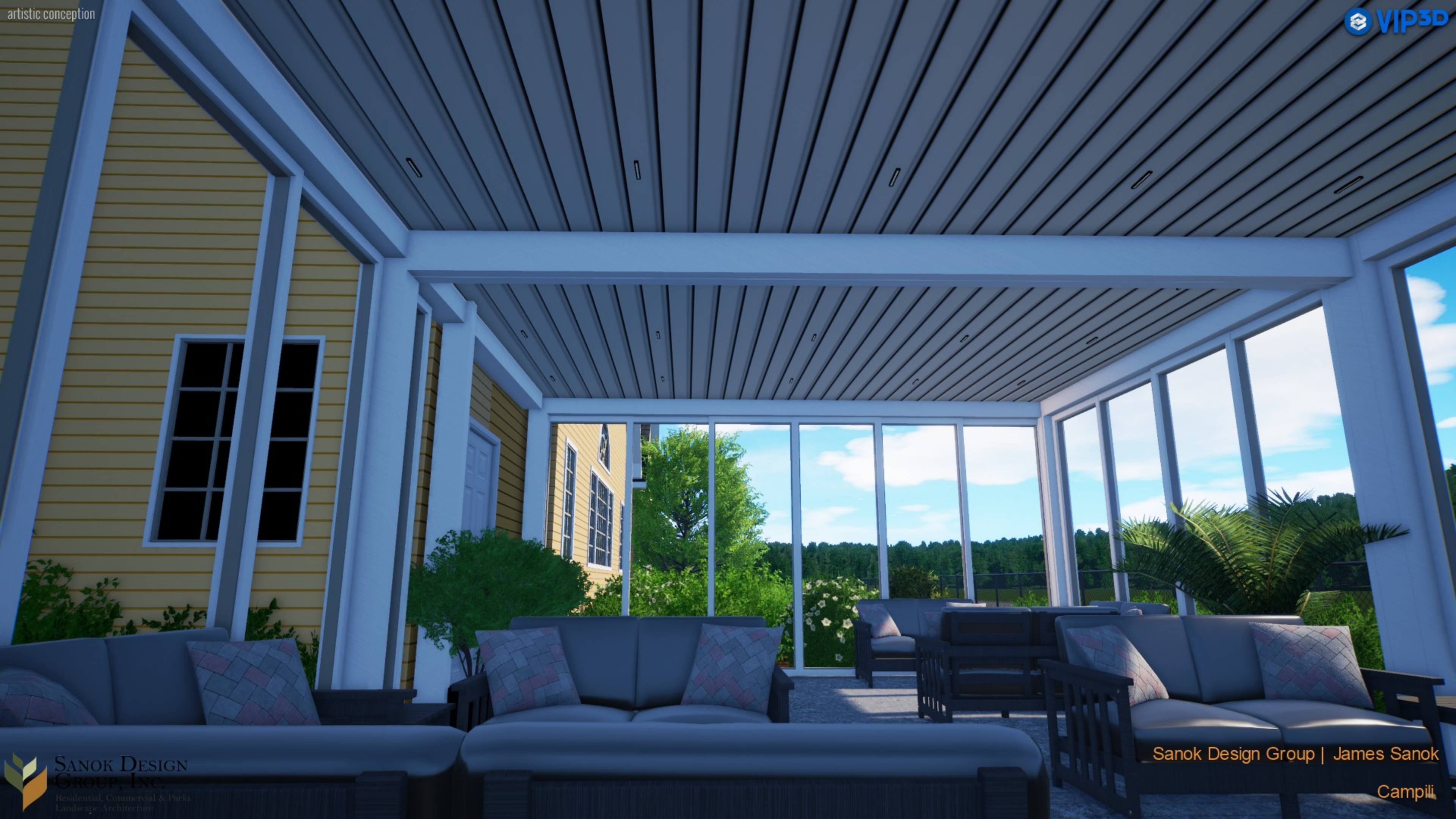


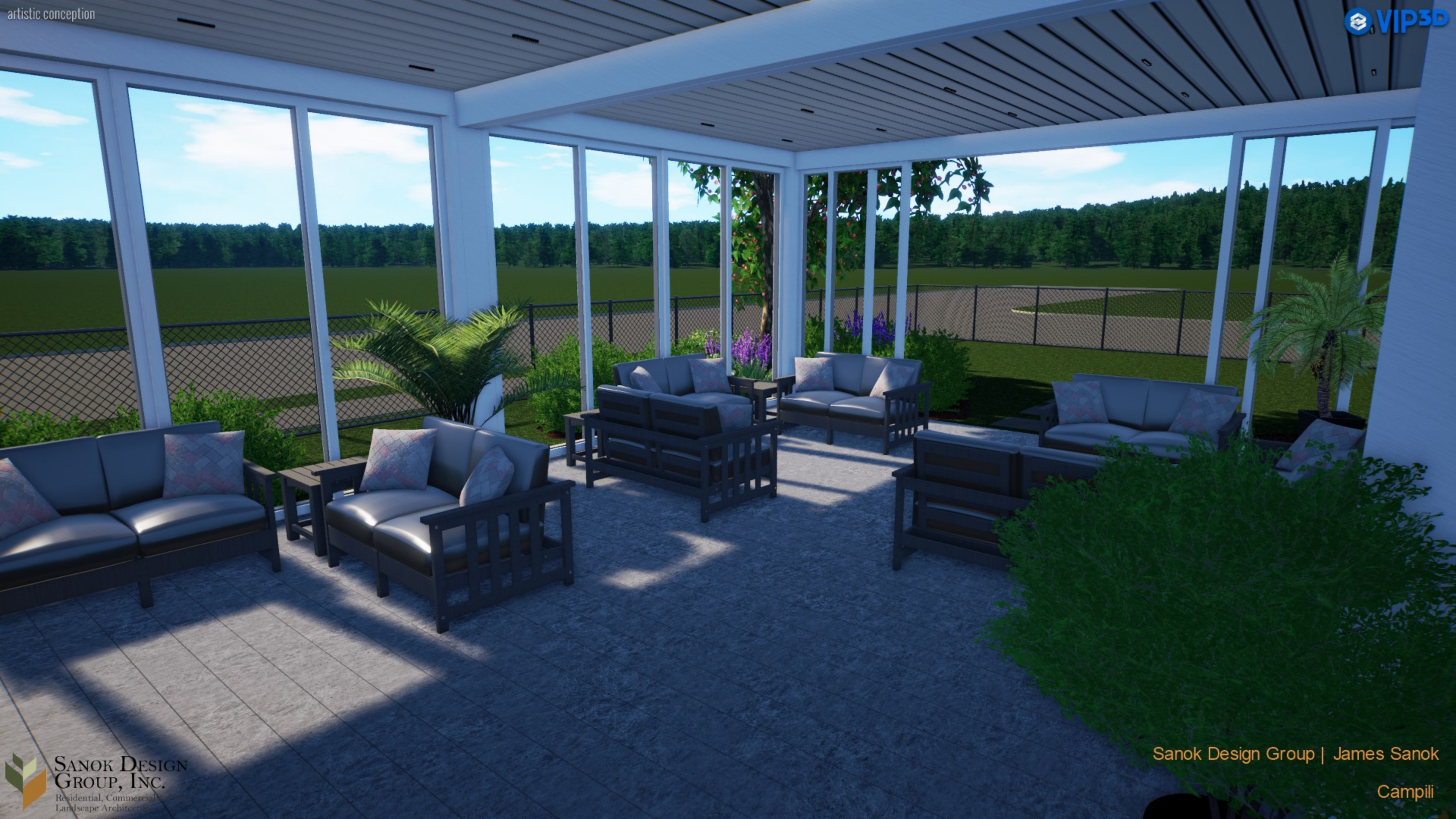


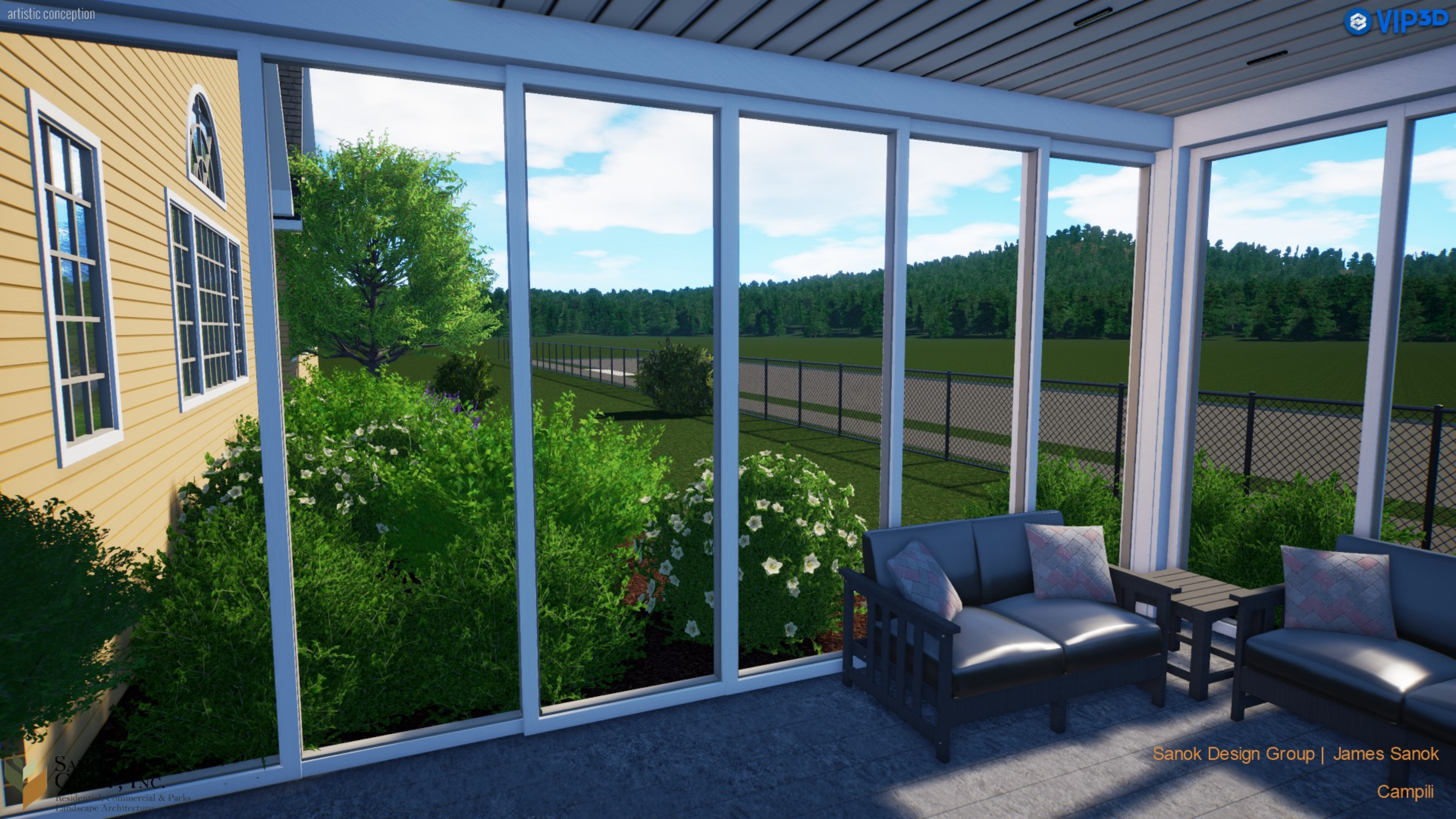








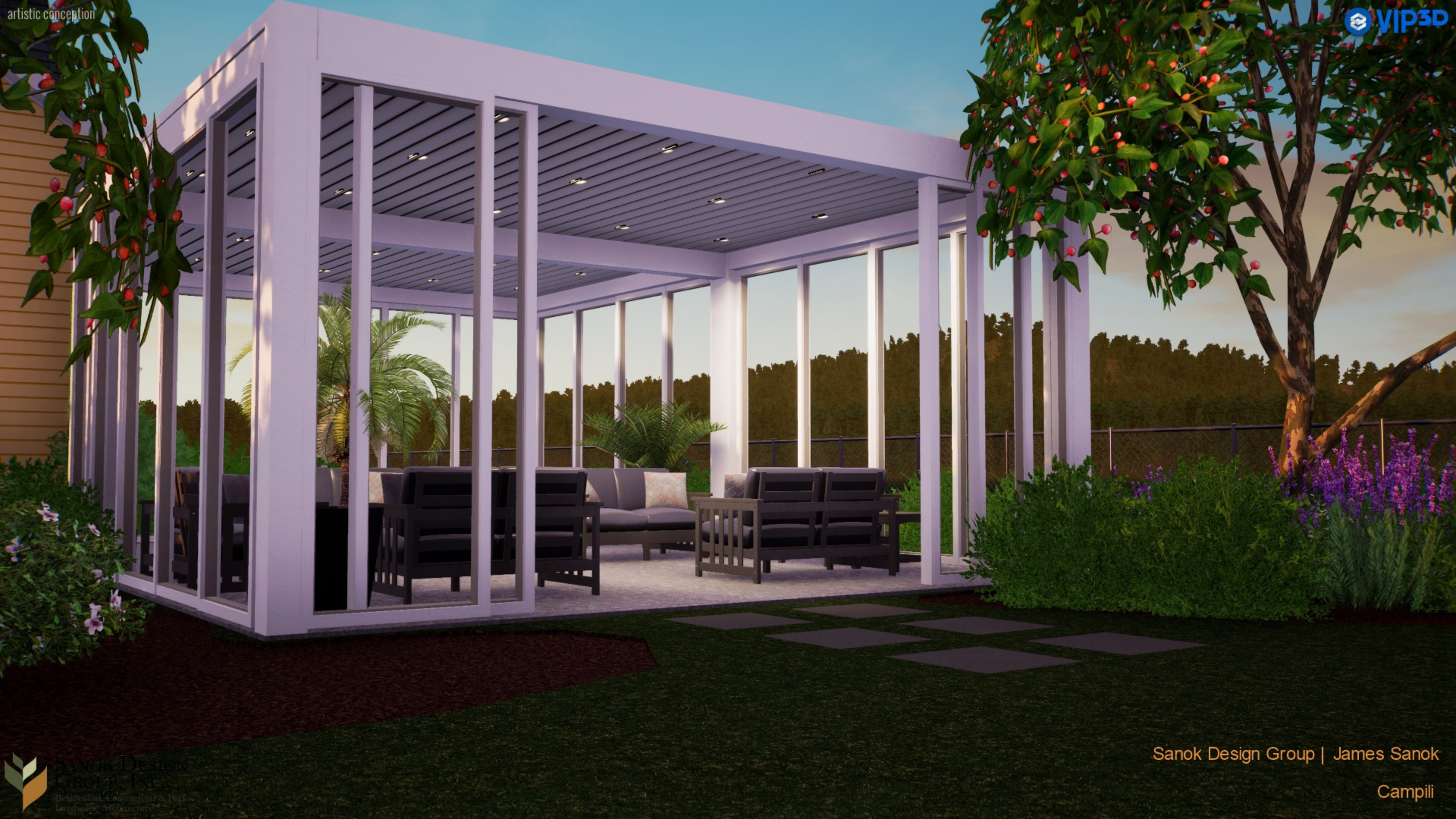




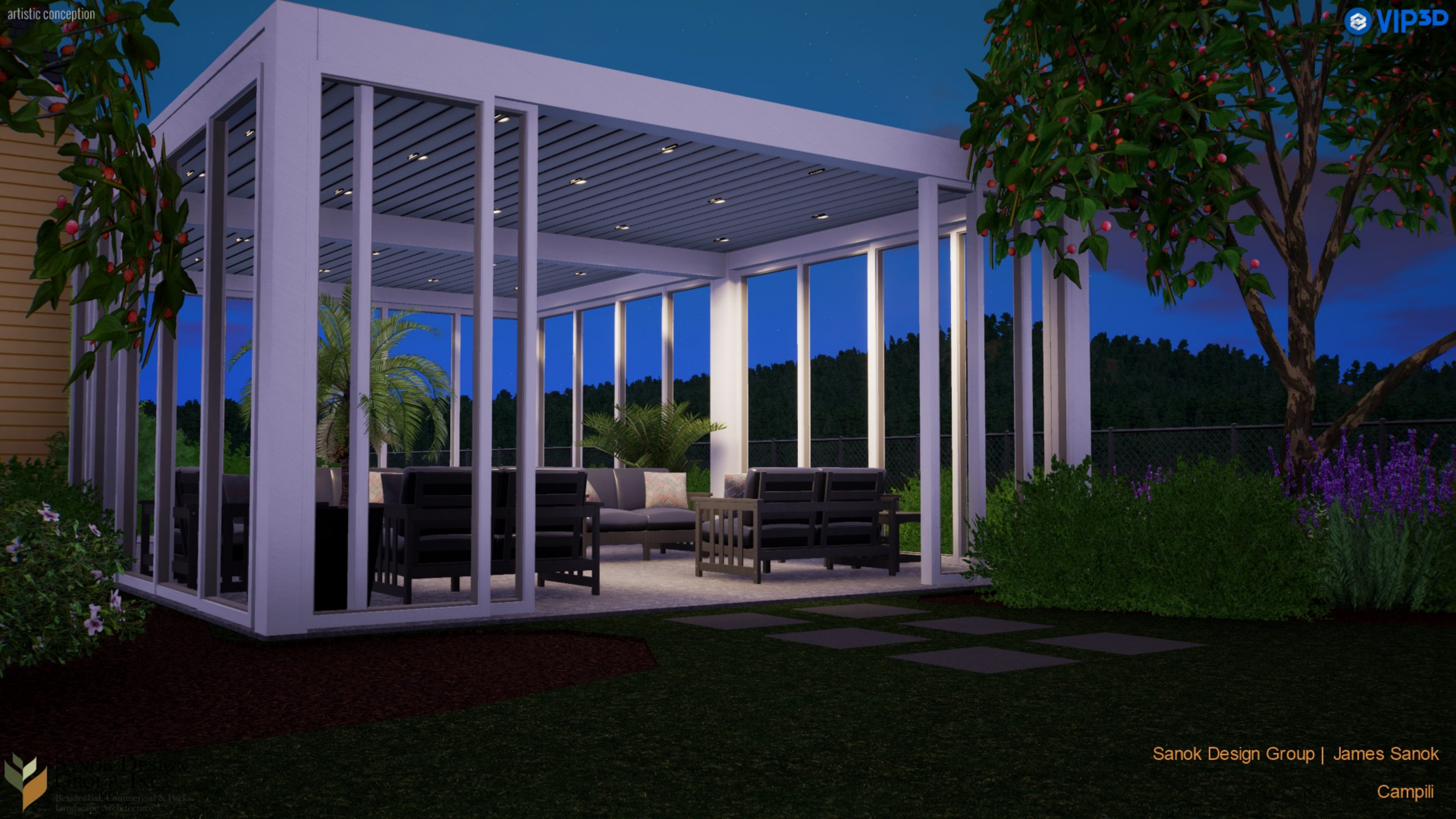


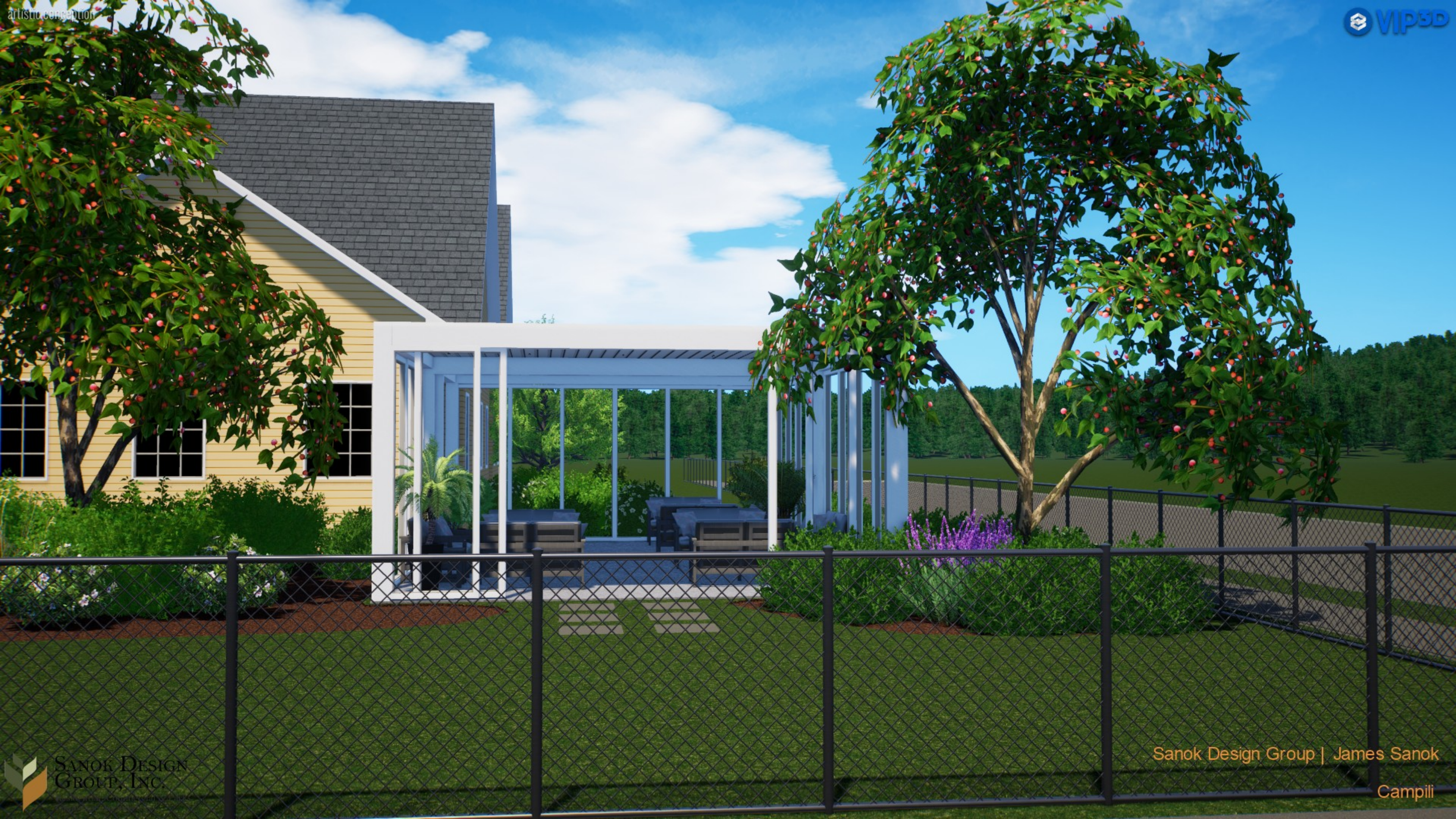
















**PERGOLA
ROOF**

(800) 967-0991
info@pergolaroof.com
pergolaroof.com
85 Broad street, Floor 18
New York, NY 10004



Ultimate Outdoor Solutions

ABOUT PERGOLA ROOF

Pergola Roof offers the best solutions to utilize your outdoor space all year round.

Our wide range of innovative products can be tailored to your specific needs to create an aesthetically pleasing landscape.

We lead by example through quality, design, and functionality.

"It's definitely unique. I've never seen anything like it before"

- Andy Spiler, Commack Fire Department

PERGOLA 1



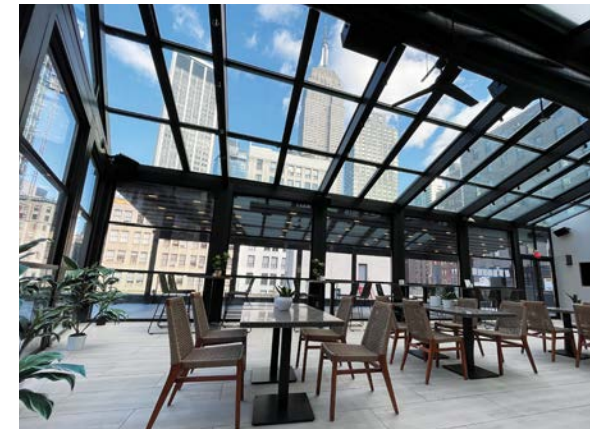
LOUVER 15



SCREEN 35



SUNROOM 41

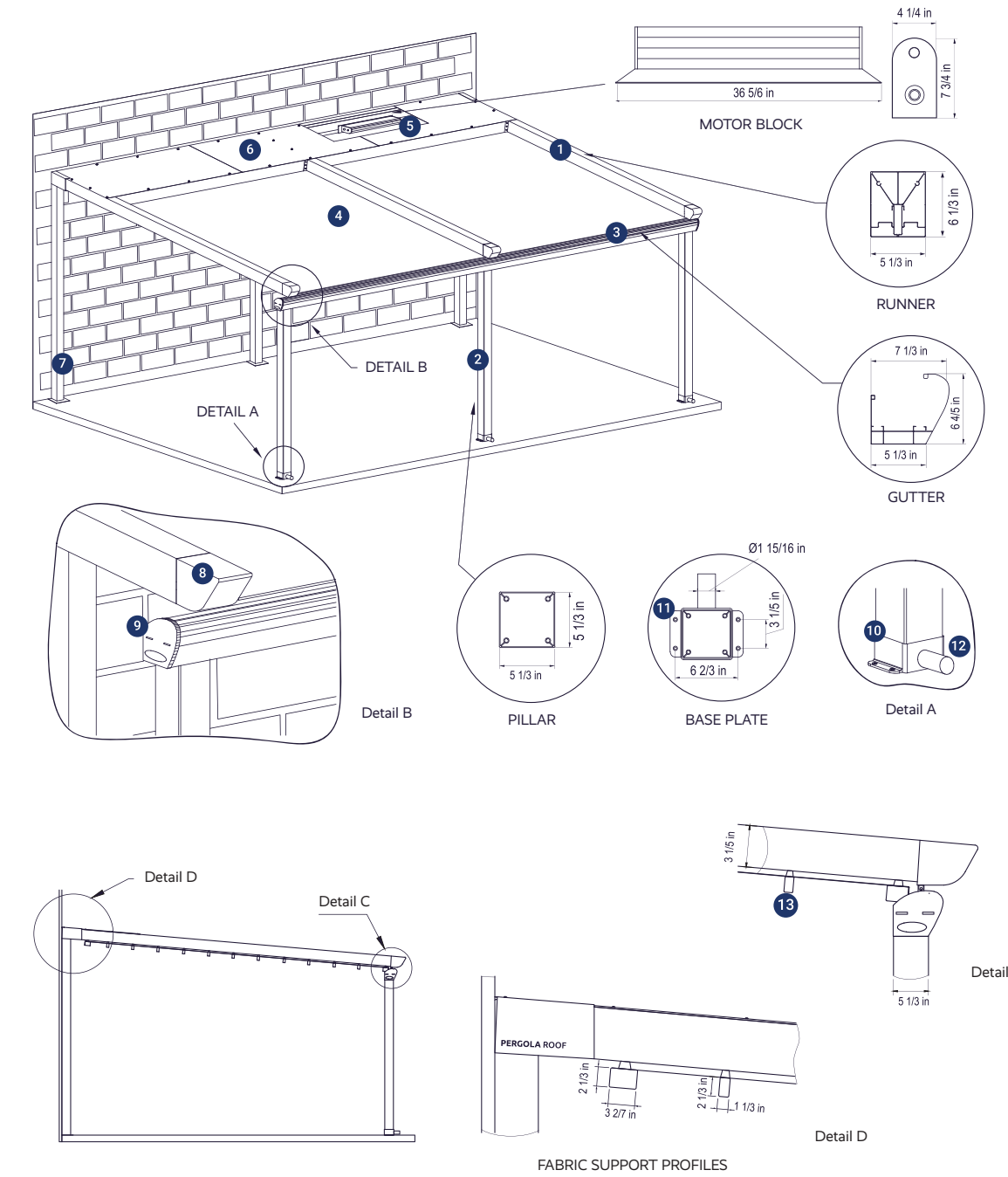


GUILLOTINE 47





Design Specs



1. Unibody aluminum press casting runner beam
2. Aluminum column (3 mm thick)
3. Double-skinned aluminum stream gutter
4. Fire retardant and waterproof retractable ceiling fabric with 3 layered complete blackout by Sergi Ferrari
5. The opening / closing movement of the roof cover is motorized with remote control by Somfy
6. Motor and fabric cover panel
7. Rear legs may be eliminated when directly installed to the wall
8. Die cast aluminum beam end cap
9. Plastic injected stream gutter side cap
10. Aluminum die casting attachment flange
11. M18 hex nut
12. Water dissent
13. Rail profile with integrated LED lighting

Pergola

Materials

FABRIC / COMPOSITE

Soltis Flexlight 602 by Serge Ferrari is a highly durable, dimensionally stable material with a 5 year warranty.



Flexlight 602

	Technical properties	Standards
Yarn	1100 dtex PES HT	1100 dtex PES HT
Finish	Varnish both sides	Varnish both sides
Weight	19.1 oz/yd ²	22 oz/yd ² EN ISO 2286-2
Width	105.1	62 in: 109.3 yds 98.4 & 105.1 in: 54.6/328 yds
Standard length	54.6 yds/328 yds	
Tensile strength (warp/weft)	250/250 daN/5 cm	EN ISO 1421
Tear strength (warp/weft)	25/25 daN/5 cm	DIN 53.363
Adhesion	9/9 daN/5 cm	EN ISO 2411
Flame retardancy	Method 2/NFPA 701 • CSFM T19 • ASTM E662 • B1/DIN 4102-1 • M2/NFP 92-507 • Euroclass EN ISO 13501-1 • CAN / ULC S109-2014 (pending)	
Extreme working temperatures	-31°F / +158°F	In static position, internal test



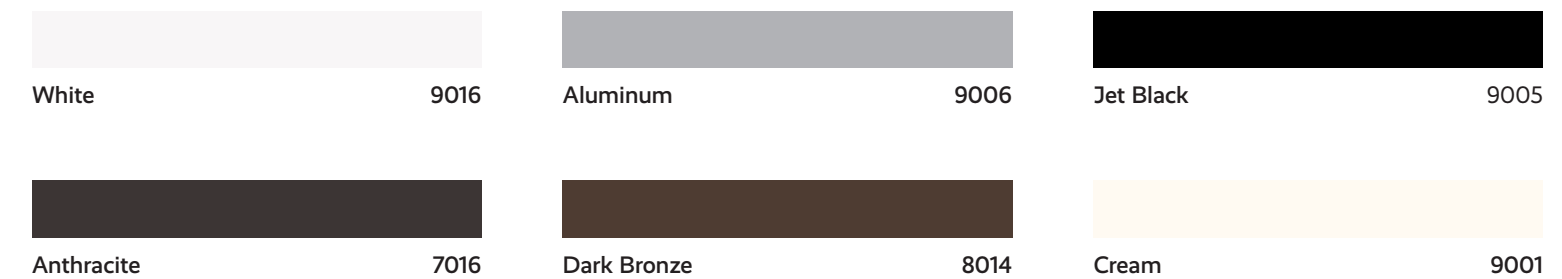
White

Gray

Cream

STRUCTURE

	Technical properties	Standards
Metal	11 gauge aluminum	
Finish	PE58 Qualicoat approved thermosetting powder coatings	
Weight	4 psf	
Width	16' span max. (no limit on number of sections)	
Projection	32' max. (single runner beam)	
Wind resistance	130 mph (vinyl canopy retracted closed)	
Tensile strength Rm (N/mm ²)	245 (min.)	TS EN ISO 6892-1
Yield point Rp 0,2 (N/mm ²)	200 (min.)	TS EN ISO 6892-1
Elongation A (%)	10 (min.)	TS EN ISO 6892-1



White

9016

Aluminum

9006

Jet Black

9005

Anthracite

7016

Dark Bronze

8014










Cream

9001

LOUVER

Louvered Roof | Motorized

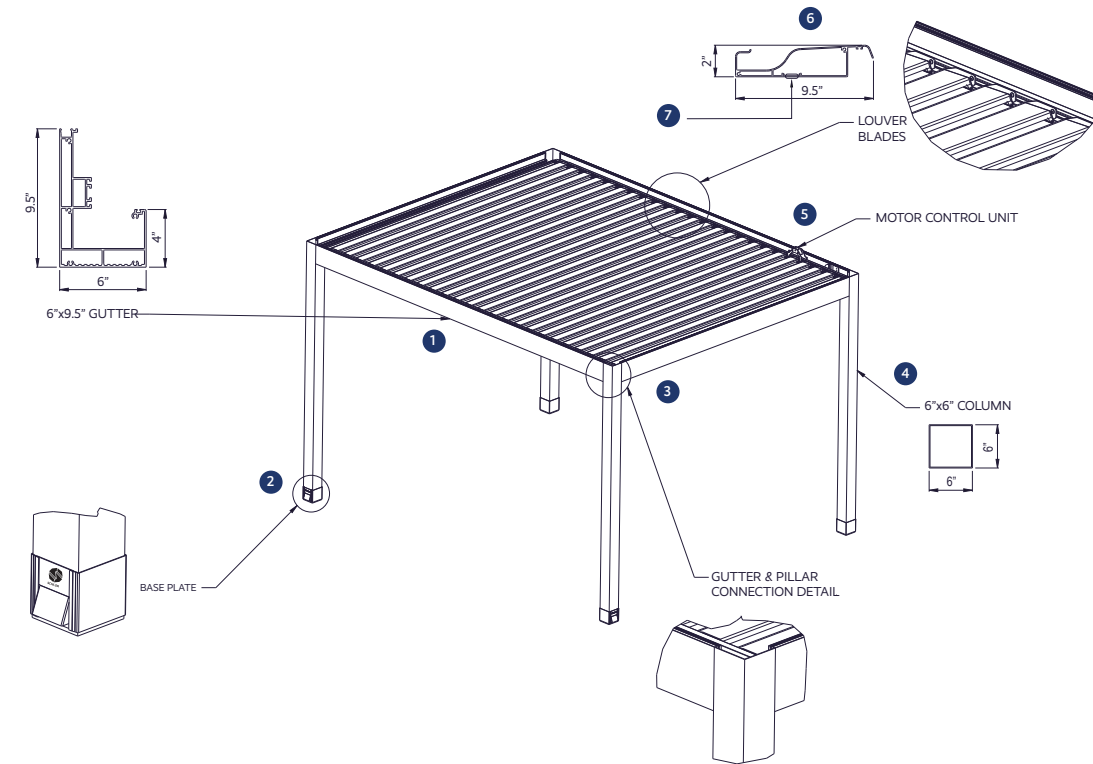
High-end motorized louvered roof, made of an aluminum structure with insulated aluminum panels. Our louvered structure offers outstanding comfort in the cold and hot seasons. This structure is built to handle whatever mother nature chooses to throw at it. Can handle a great deal of snow and wind load.

-  All Seasons
-  Resists bad weather
-  Fire retardant
-  Complete blackout
-  Watertight
-  Dimmable LED lights
-  Remote controlled
-  Custom finishes
-  Built to last





Design Specs



1. Built-in gutter aluminum side profiles
2. Unibody aluminum press casting base plate
3. Gutter drainage through column
4. Aluminum column (3 mm thick)
5. The pivoting open / close movement of the louver blades is motorized with remote control
6. Louver blades pivot up to 110°, they can be filled polyurethane foam for insulation
7. Optional integrated LED lights



Free standing - closed



Free standing - open



Wall mounted - closed



Wall mounted - open









VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: 08/03/2022

Date of Meeting: 09/01/2022

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website www.wappingersfallsny.gov.

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

Items to be submitted for review: (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size exact color samples.

(Separate Application)



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: 08/03/2022 Date of Meeting: 09/01/2022

Property Identification:

Address: 2667 E. MAIN ST. WAPPINGERS FALLS, NY. 12590
Zoning District: VC VILLAGE COMMERCIAL Existing site area: 2,865.5 S.F.

Owner Information:

Name: GREENACRE HOLDINGS LLC.
Address: 14 DEER RUN RD.
City: POUGHKEEPSIE State: NY Zip: 12603
Contact Numbers: (H) (845) 554-5295 (C) (718) 288-3625
(E-mail) MICHAEL@TREYBICHLAW.COM

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name: JOE POTOCKI
Address: 266 SHEAR HILL RD.
City: MAHOPAC State: NY Zip: 10541
Contact Numbers: (H) 845 621-4000 (C) 914 714-5214
E-mail Address: RAYEXDESIGN@GMAIL.COM

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: ROY A. FREDRIKSEN
Title: _____
 Architect Engineer
Company: RAYEX DESIGN GROUP
Address: 266 SHEAR HILL RD. MAHOPAC, NY. 10541
Telephone #: 845 621-4000
E-mail Address: RAYEXDESIGN@GMAIL.COM



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
 (Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): RESTAURANT (TAKE OUT)

Proposed square footage: EXISTING

Project Description : *(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

REPAIR/RENOVATION OF EXISTING FRONT FACADE. NEW SIGNS. NEW PLANTING AREA IN REAR PARKING LOT.

Items to be submitted for review: (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.


 Signature of Applicant Signed

07/29/2022
 Date

Office use only:

[] FEE : _____ Receipt No. : _____ Cash / Check # _____ Date: _____

Revised by : _____ Revision date : _____
 Zoning Administrator/Code Enforcement Officer



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: Greenace Holdings LLC
Address of property owner: 14 Deer Run Road
City: Poughkeepsie State: NY Zip: 12603
Phone number of property owner: (Include home, work, mobile number and e-mail address):
(H) _____ (C) (718) 288-3625
(W) (845) 554-5295 (Email) michael@freylichlaw.com

Address of site where work is being conducted: _____
2667 E. MAIN ST. WAPPINGERS FALLS, NY 12590

Description of work: REPAIR/RENOVATION OF EXISTING FRONT FACADE.
NEW SIGNS. NEW PLANTING AREA IN REAR PARKING LOT.

Name of person doing work: JOE POTOCKI
Address of person doing work: 266 SHEAR HILL RD.
City: MAHOPAC State: NY Zip: 10541
Phone number of person doing work (Include home, work, mobile numbers and e-mail address):
(H) 845 621-4000 (C) 914714-5214
(W) _____ (Email) RAYEXDESIGN@GMAIL.COM

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.

Signature of Property Owner

9/2/2022

Date Signed

617.20
Appendix B
Short Environmental Assessment Form

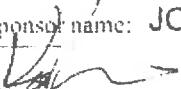
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: KENNEDY FRIED CHICKEN FACADE RENOVATION			
Project Location (describe, and attach a location map): 2667 E. MAIN ST. WAPPINGERS FALLS, NY. 12590			
Brief Description of Proposed Action: REPAIR/RENOVATION OF EXISTING FRONT FACADE. NEW SIGNS. NEW PLANTING AREA IN REAR PARKING LOT.			
Name of Applicant or Sponsor: JOE POTOCKI		Telephone: (914) 714-5214	
		E-Mail: RAYEXDESIGN@GMAIL.COM	
Address: 266 SHEAR HILL RD.			
City PO: MAHOPAC		State: NY.	Zip Code: 10541
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
PLANNING BOARD APPROVAL AND SIGN APPROVAL		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		.066 acres	
b. Total acreage to be physically disturbed?		.012 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.066 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial
<input type="checkbox"/> Forest Agriculture Parkland	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Residential (suburban)	
Other (specify): _____			

5. Is the proposed action: a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural grassland Early mid-successional Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems off and storm drains? If Yes, briefly describe: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant sponsor name: JOE POTOCKI Date: 07/29/2022 Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No. or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____ Name of Lead Agency	_____ Date
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (if different from Responsible Officer)

PART "A"
OWNER AFFIDAVIT

State of New York
County of Dutchess

}
} ss:
}

Michael Teybich being duly sworn, deposes and says.

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize JOE POTOCKI to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

[Signature]
Applicant/Owner

Michael Teybich
Applicant/Owner

Sworn to before me this 2nd day of August, 2022.

Tammara Dooley
Notary Public

TAMMARA A. DOOLEY
Notary Public, State of New York
Qualified in Columbia County
No. 01705016728
Commission Expires Dec. 3, 2023

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of New York
County of Putnam

ss:

Joseph M Potocki being duly sworn, deposes and says:

1. That I/we are the Applicant/Agent named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 266 Shear Hill Rd. Malabar in the County of Putnam and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Joseph Potocki
Applicant/Agent

[Signature]
Applicant/Agent

Sworn to before me this 3 day of August, 2022.

[Signature]
Notary Public

LOUISA SCARANO
Notary Public, State of New York
Qualified in Putnam County
Reg. No. 01SC6146201
My Commission Expires 05-15-2026

GENERAL NOTES

- THESE PLANS ARE PREPARED IN ACCORDANCE WITH THE EXISTING BUILDING CODE OF NEW YORK STATE.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK, ETC., AS SHOWN ON THE DRAWINGS NECESSARY FOR A COMPLETE JOB, UNLESS OTHERWISE SPECIFIED. ALL MATERIAL AND WORKMANSHIP SHALL BE OF BEST QUALITY.
- ALL WRITTEN FIGURES (NOTES AND DIMENSIONS) ON THE FLOOR PLANS OR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DRAWN FIGURES (ELEVATIONS). DO NOT SCALE PRINTS. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS OR SPECIFICATIONS MUST BE REPORTED TO THE OWNER OR THE DESIGNER PRIOR TO THE START OF CONSTRUCTION. ALL WORK AND MATERIALS MUST CONFORM TO ALL LOCAL AND THE RESIDENTIAL CODE OF N.Y.S., NATIONAL BOARD OF FIRE UNDERWRITERS, ENERGY CONSERVATION CODE OF NEW YORK STATE AND REQUIREMENTS OF THE BOARD OF HEALTH.
- SITE CONDITIONS: THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS BEFORE SUBMITTING HIS PROPOSAL. NO ALLOWANCE FOR EXTRA CHARGES WILL BE PERMITTED BECAUSE OF LACK ON KNOWLEDGE OF THE CONDITIONS PECULIAR THERETO EXCEPT AS OTHERWISE SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL LINES, LEVELS AND DIMENSIONS SHOWN ON THE DRAWINGS AND WILL BE HELD RESPONSIBLE FOR THE CORRECTNESS AND SETTING OUT OF HIS WORK.
- SUBCONTRACTORS: THESE CONDITIONS ARE BINDING ON THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR INsofar AS THEY APPLY TO THE WORK OF EITHER.
- INSURANCE: THE GENERAL CONTRACTOR SHALL PROTECT THE JOB FROM CLAIMS UNDER WORKMAN'S COMPENSATION AND PUBLIC LIABILITY ACTS AND FROM ANY CLAIMS FOR PERSONAL INJURY, INCLUDING DEATH, WHICH MAY ARISE UNDER THIS CONTRACT, WHETHER BY HIMSELF BY ANY SUB-CONTRACTOR OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY HIM. CERTIFICATES OF INSURANCE SHALL BE FILED WITH THE OWNER BEFORE STARTING JOB AND SHALL BE SUBJECT TO OWNER'S APPROVAL.
- CONTRACTOR AND/OR ANY SUB-CONTRACTOR ARE TO PERFORM ALL WORKS AS SHOWN, IMPLIED OR THAT IS REQUIRED TO PROVIDE A COMPLETE AND FINISHED KEY-IN LOCK JOB EVEN IF EACH AND EVERY SPECIFIC ITEM IS NOT SPECIFICALLY CALLED FOR.
- WHILE EVERY ATTEMPT HAS BEEN MADE IN PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE REPAIRER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK AND CONFIRM ALL DETENTIONS AND DETAILS AND BE RESPONSIBLE FOR SAME.

SITE PREPARATIONS AND LANDSCAPING

- CLEARING OF TREES IF ANY SHALL BE AS PER CONTRACT DIRECTION OR AS MINIMUM AS POSSIBLE TO ACCOMMODATE NEW GARAGE AND DRIVEWAY.
- TOP SOIL IN CLEARED AREA TO BE REMOVED AND STORED FOR REUSE.
- PROTECT ANY EXISTING LANDSCAPING OR TREES AGAINST DAMAGE.
- GRADING, CUTTING AND FILLING SHALL BE AS MINIMUM AS POSSIBLE TO TRANSFORM EXISTING GRADES TO GRADES SHOWN ON DRAWINGS OR AS REQUIRED FOR ALL WORK.
- CERTIFY THAT ALL PROPER SETBACKS HAVE BEEN MET AFTER FOOTINGS HAVE BEEN FORMED AND PRIOR TO CONCRETE BEING POURED.

EXCAVATION

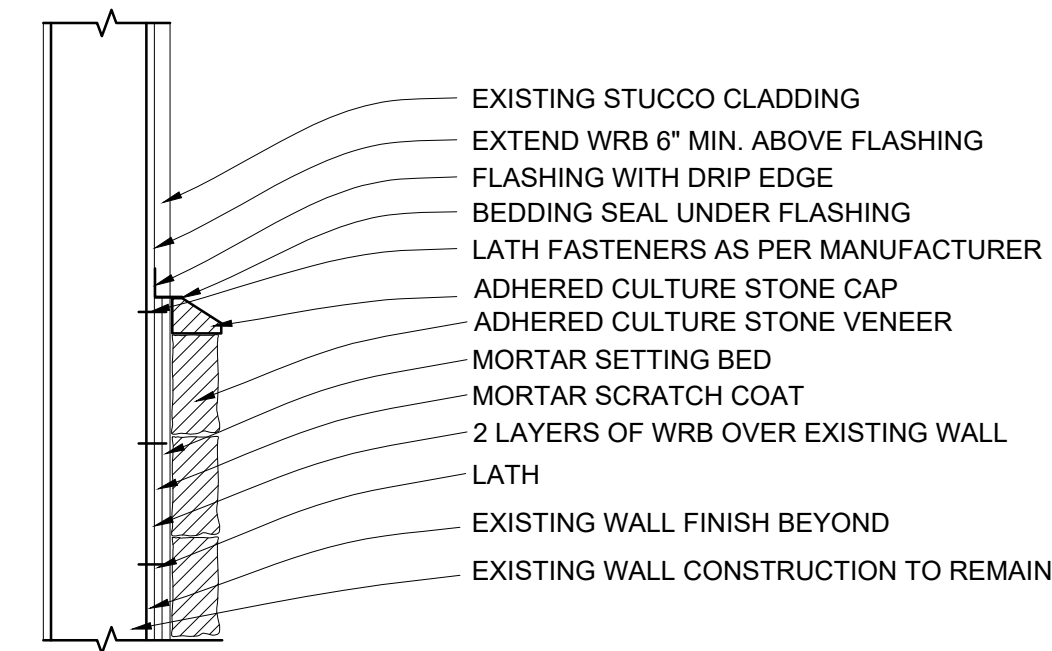
- EXCAVATE AS REQUIRED TO ALLOW FOR THE CONSTRUCTION OF RETAINING WALL AS SHOW ON PLANS.
- EXCAVATE ALL EARTH, BOULDERS, LOOSE AND SOFT ROCK TO THE LINES AND DEPTHS INDICATED ON THE DRAWINGS. ALL FOOTINGS TO BEAR ON SOLID, UNDISTURBED EARTH. EXCAVATE FOR ALL UTILITIES AS REQUIRED.
- FINISH GRADING SHALL BE ESTABLISHED TO PROVIDE SURFACE DRAINAGE IN ALL DIRECTIONS AWAY FROM THE HOUSE AND EXCAVATED AREAS.

EXTERIOR FINISH

- FASCIA, TRIM AND EXTERIOR AS SHOWN ON ELEVATIONS.

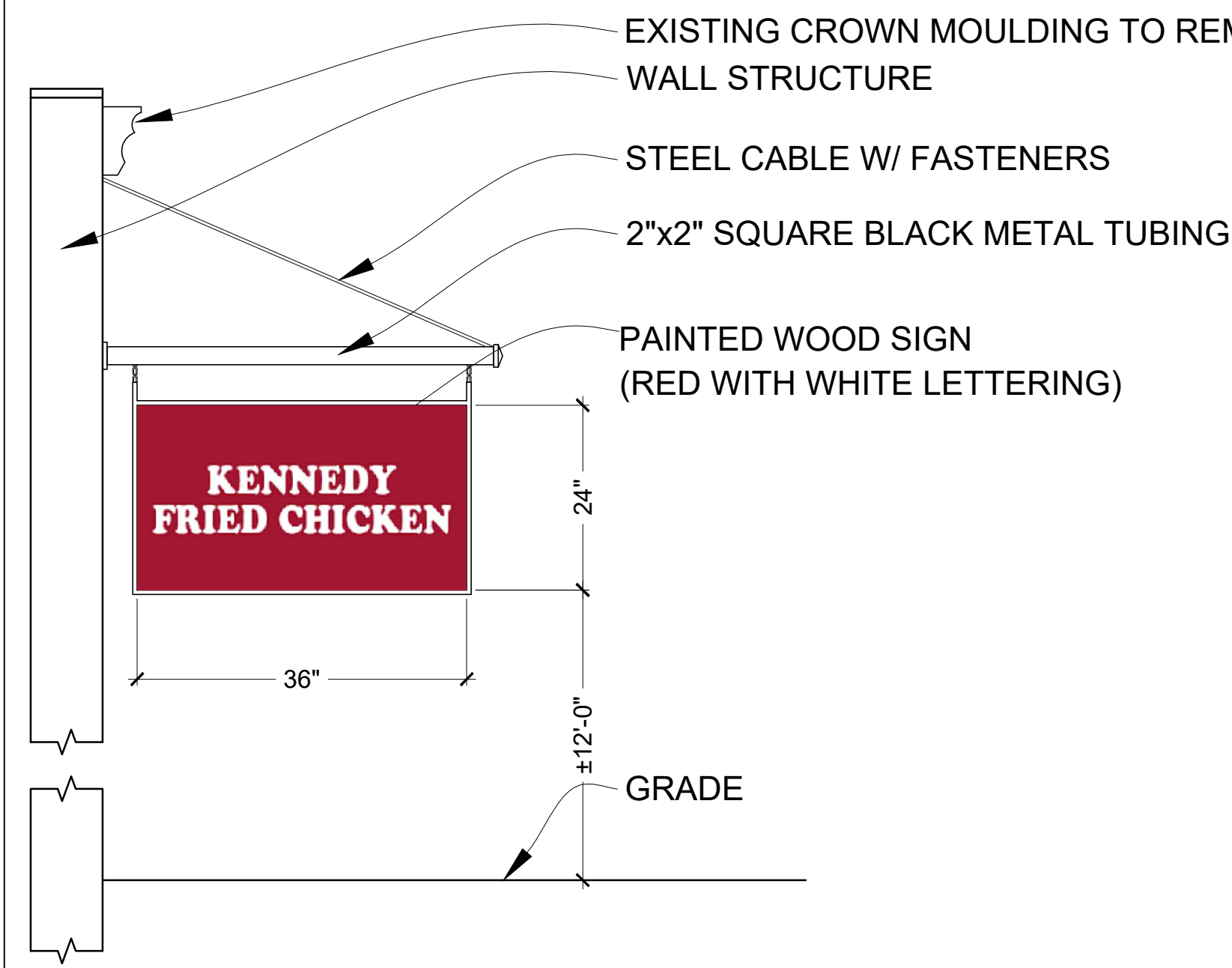
ELECTRICAL

- ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE.



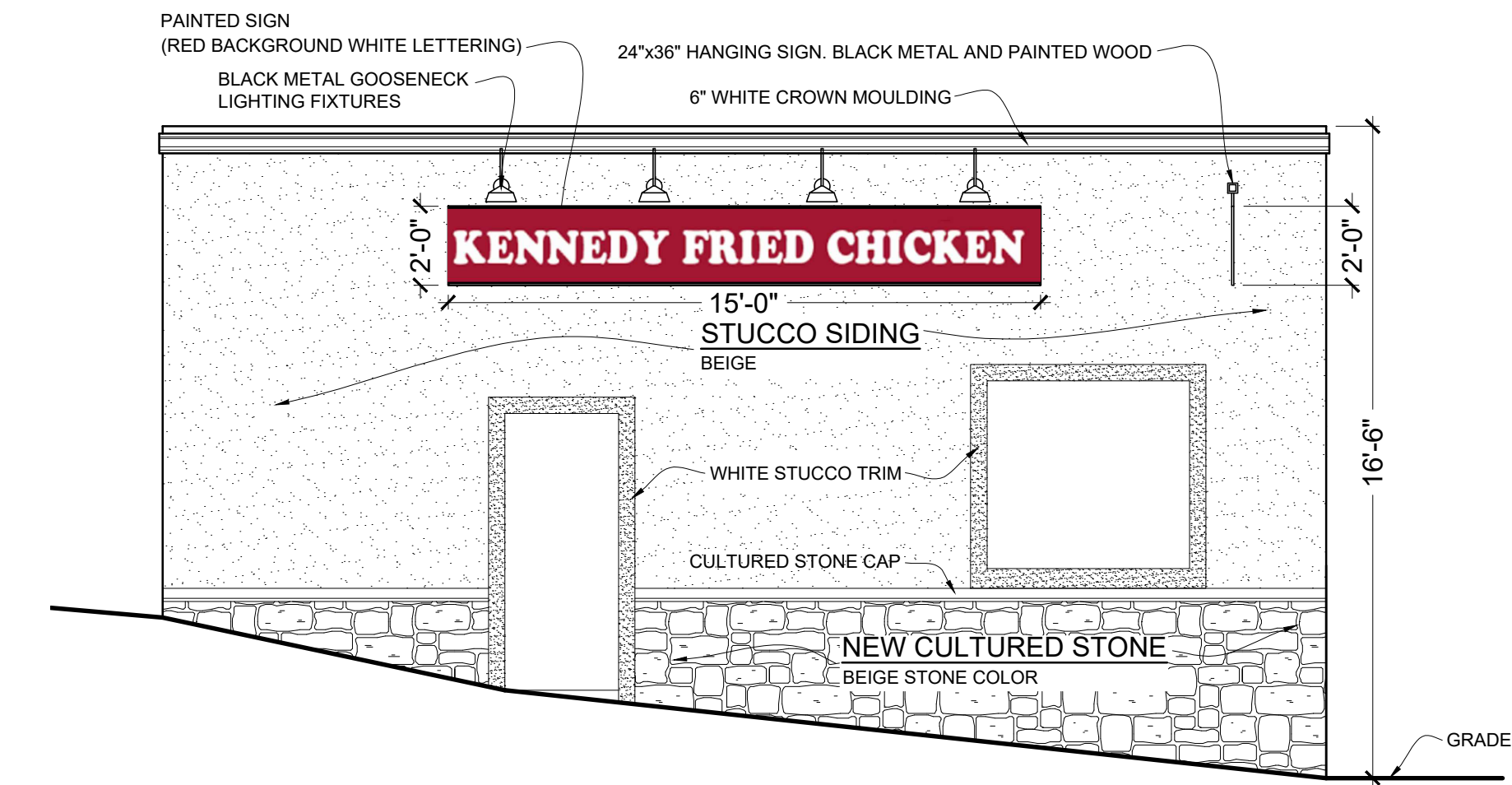
CULTURE STONE DETAIL

N.T.S.



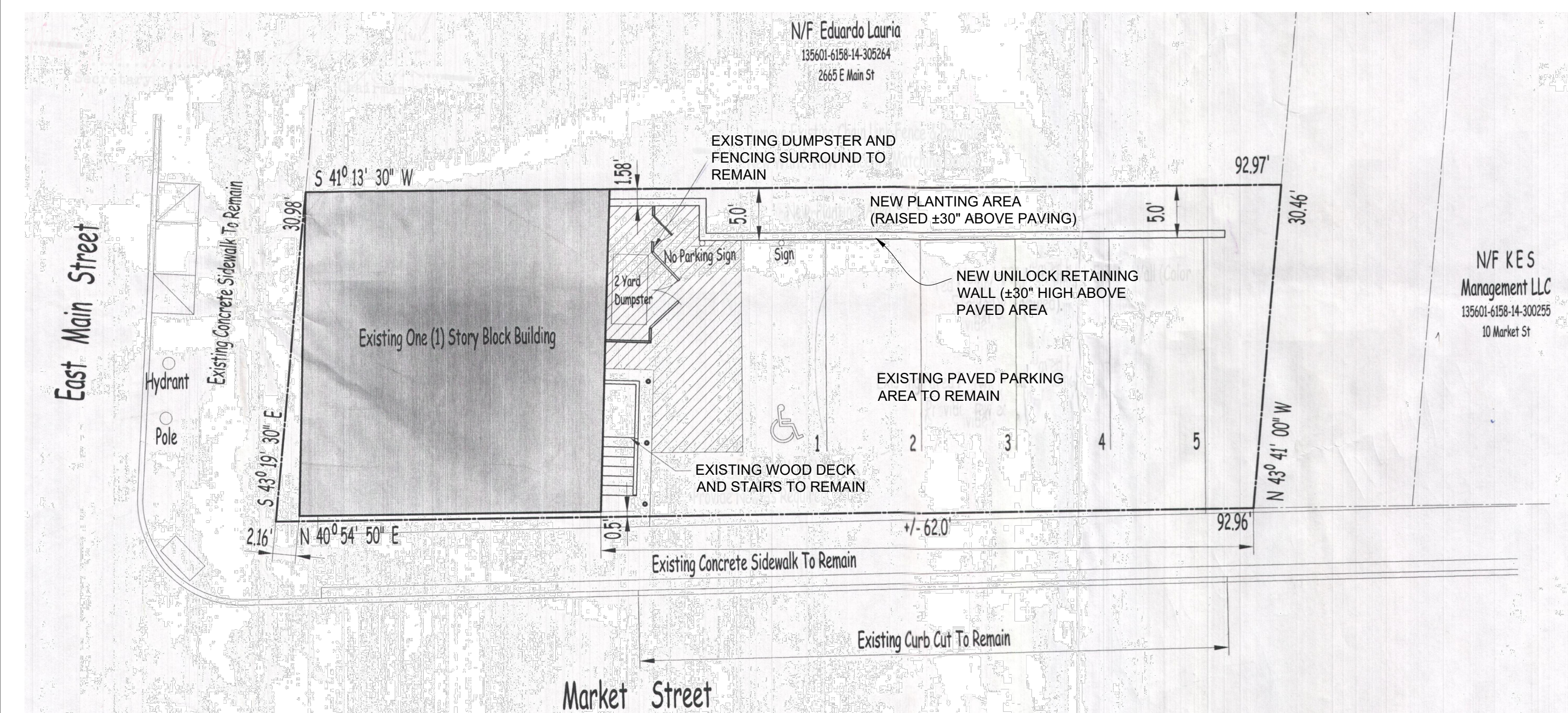
HANGING SIGN DETAIL

N.T.S.



FRONT ELEVATION

SCALE 1/4" = 1'-0"



PLOT PLAN

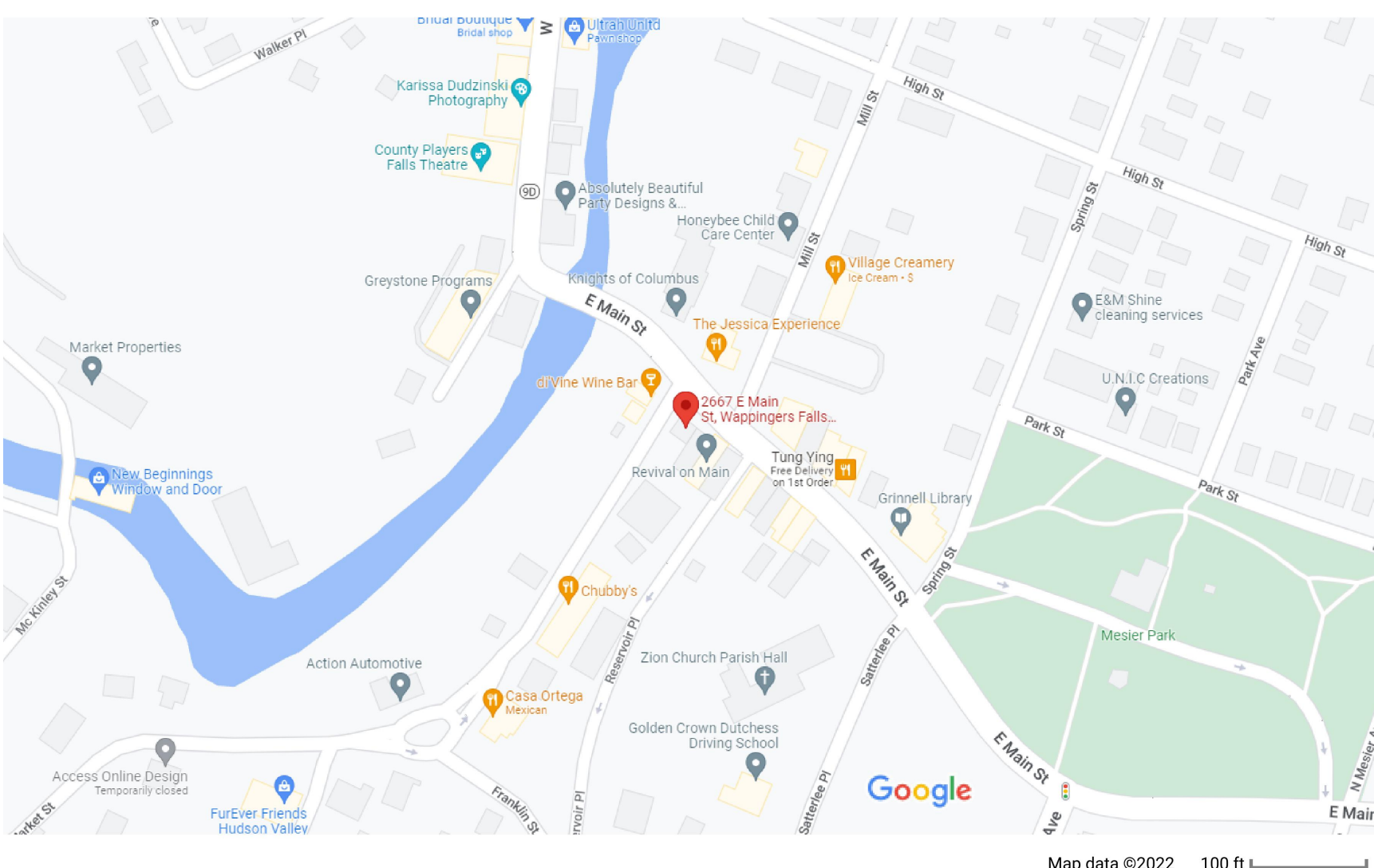
BASED ON SITE PLAN PREPARED BY MALIARCHITECT DATED 08/27/2004.

SCALE 1" = 10'

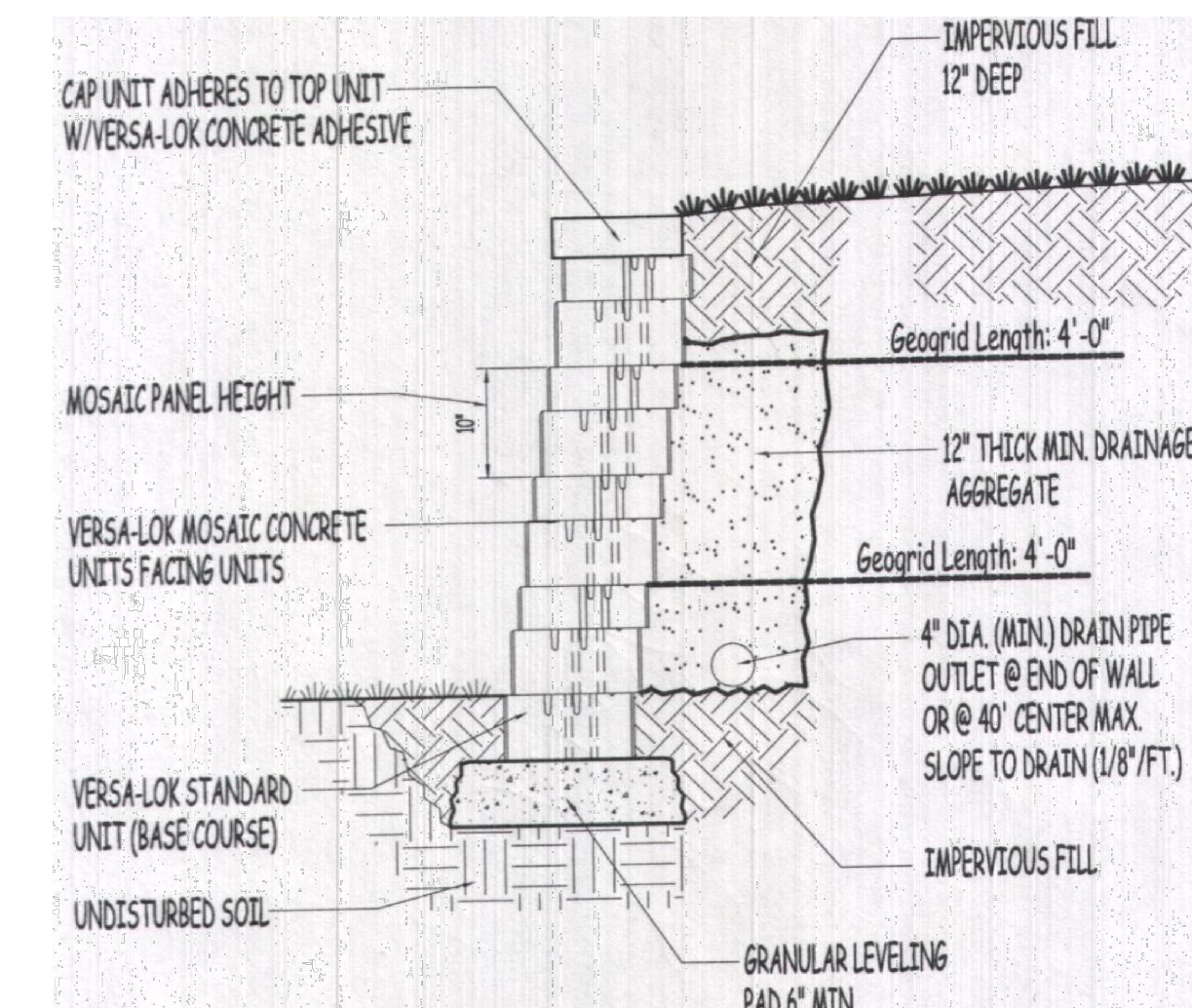
FLOOR PLAN

SCALE: 1/4" = 1'-0"

2667 E Main St



LOCATION MAP



PLANTER RETAINING WALL DETAIL

NOT TO SCALE

ZONING CALCULATIONS		
ADDRESS: 2667 E. MAIN ST. WAPPINGERS FALLS, NY.		
TAXMAP #: 135601-6158-14-302265		
ZONING DISTRICT: VC VILLAGE COMMERCIAL		
USE: RESTAURANT		
BULK REGULATIONS	REQUIRED	PROVIDED
LOT AREA		2,867.5 S.F.
MIN. LOT WIDTH @ BLDG LINE	20'	30.98'
SETBACKS		
FRONT (PRIMARY)	2' MIN. / 12' MAX.	.5' (EXISTING)
FRONT (SECONDARY)	2' MIN. / 12' MAX.	.5' (EXISTING)
SIDE YARD	0' MIN. / 24' MAX.	.5' (EXISTING)
REAR (AT RESIDENTIAL ZONE)	3' MIN.	62' (EXISTING)
MAX. LOT COVERAGE		2,867.5 S.F.
BLDG HEIGHT / STORIES		16.5' / 1 STORY (EXISTING)
PARKING	RESTAURANT (TAKEOUT) NONE REQUIRED	5 SPACES

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS
	SPEED (MPH)	TOPO EFFECTS		WEATHERING	FROST LINE DEPTH	TERMITE			
35 PSF	105 mph	NO	C	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	7	YES

NOTES:

- IT IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER THIS DOCUMENT IN ANY WAY WITHOUT THE WRITTEN VERIFICATION OR ADOPTION BY A N.Y.S. LICENSED ENGINEER IN ACCORDANCE WITH SECTION 7209(2).
- A GREASE TRAP WAIVER AND APPROVAL FOR AN INTERNAL GREASE TRAP WAS GRANTED BY THE PLANNING BOARD ON 11/21/2016.



ROY A. FREDRIKSEN, PE

DESIGN • PLANNING • CONSULTING ENGINEERING

266 SHEAR HILL RD. • MAHOPAC, NY 10541 • 845-621-4000
 RAYEXDESIGN@GMAIL.COM

OWNER: MICHAEL TREYBICH
 LEASEE: TARIQ MAHMOOD
 DBA: KENNEDY FRIED CHICKEN

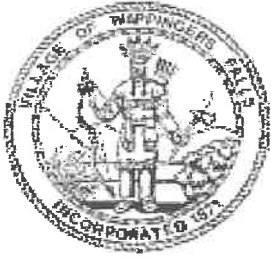
PROJECT: FACADE RENOVATION AND NEW PLANTER WALL AT 2667 E. MAIN ST. IN WAPPINGERS FALLS, NY.

SHEET TITLE: PLOT PLAN & 1 OF 1 ELEVATION

8/23/2022
 REVISIONS:

DATE: 7/29/2022





VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Name of Applicant JOE POTOCKI
Address 266 SHEAR HILL RD.
MAHOPAC, NY. 10541
Email RAYEXDESIGN@GMAIL.COM
Phone (914)714-5214

Owner of Property GREENACRE HOLDINGS, LLC.
Address 14 DEER RUN
POUGHKEEPSIE, NY. 12603
Phone (718) 288-3625

Location of Property 2667 E. MAIN ST. WAPPINGERS FALLS, NY. 12590
Linear Frontage of building 31' Zoning District VC

Types of Signs Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:
Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.
Awning, Window, Wall or Projecting signs-the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications Type AFFIXED TO BUILDING Placement FRONT FACADE
Landscaping ___ Yes No Size of Sign 24" Height 36" and 15'-0" Width
 Single Faced Double Faced Lighted
Material Wood Metal _____ other Durable

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)
- Sign design drawings (ten sets)
- Color swatch (if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name JOE POTOCKI

Applicant Signature  Date: 07/29/2022

Owner of Property Signature  Date: 8/2/2022

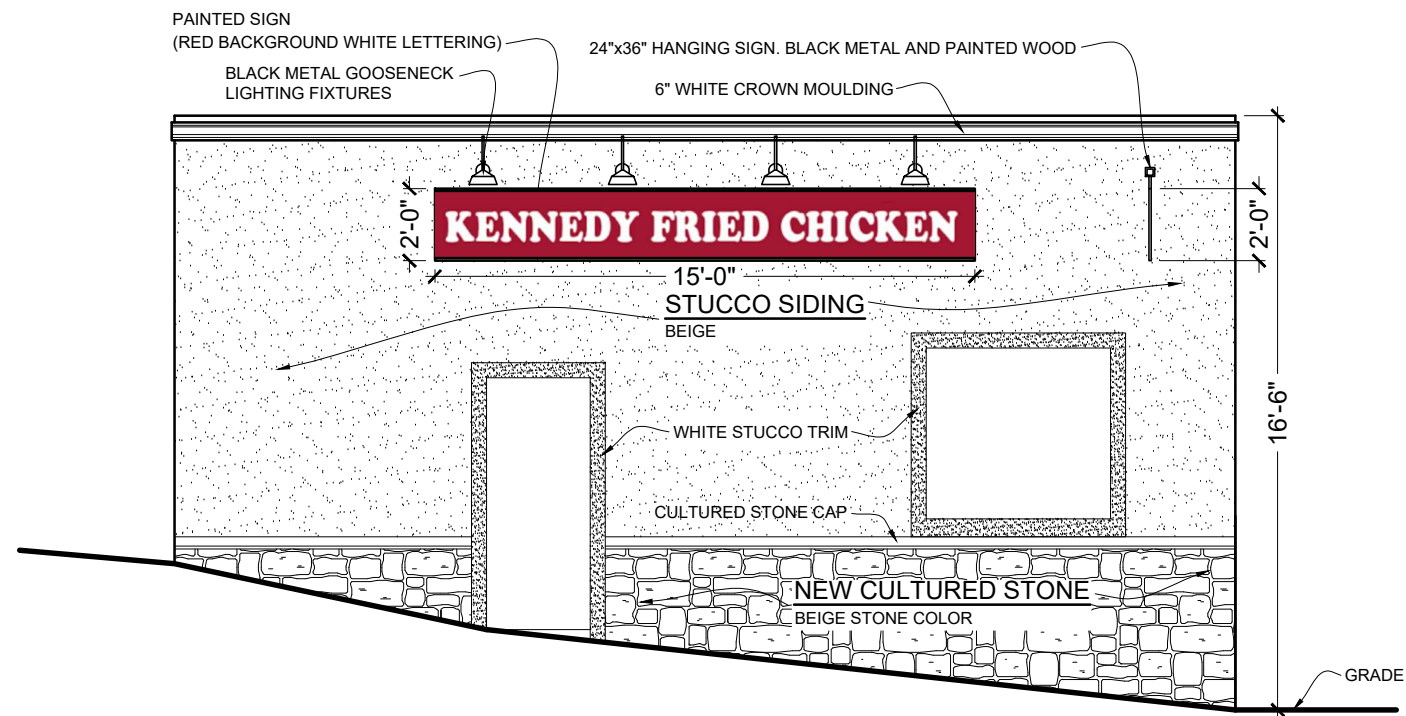
THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

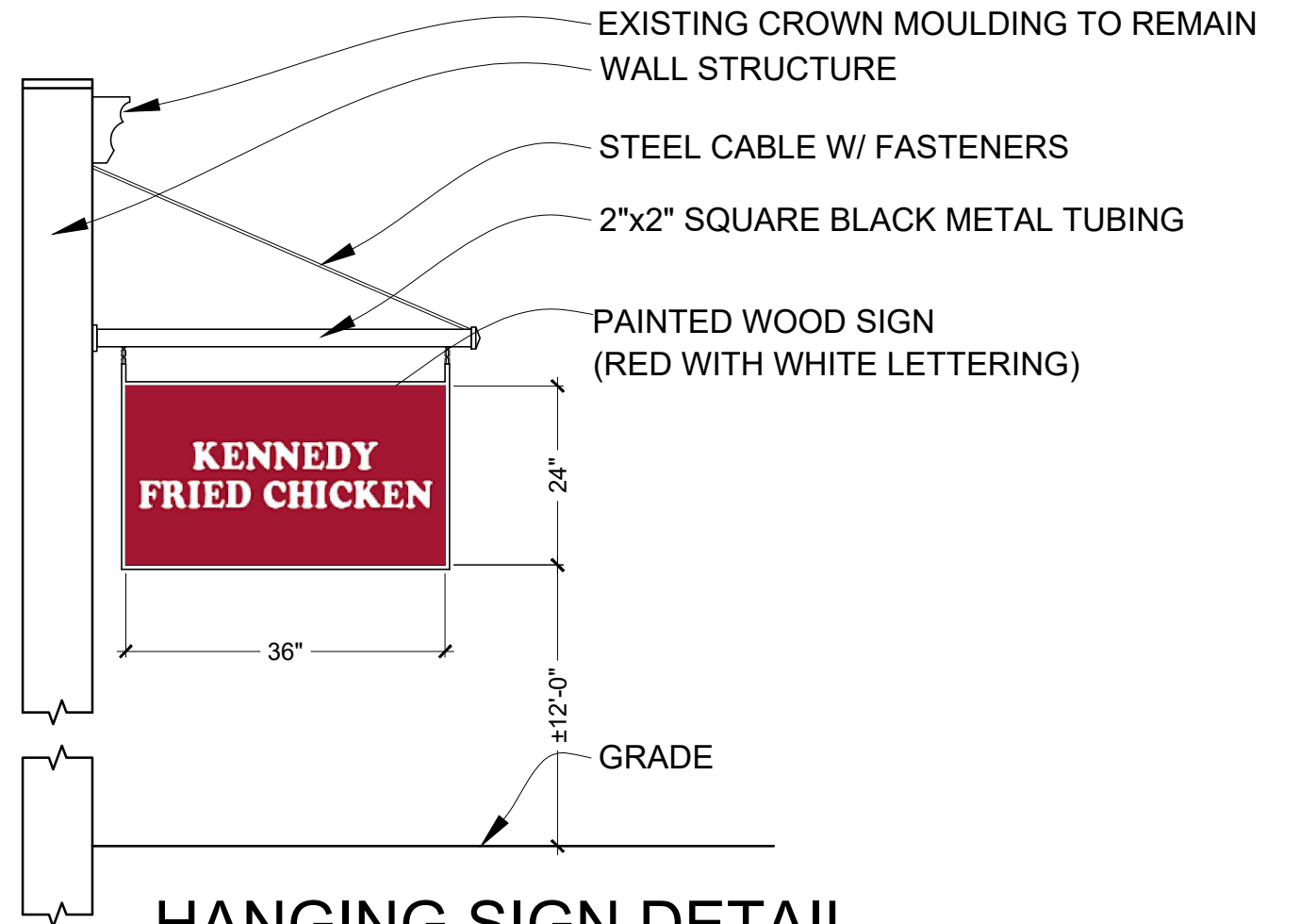
Sign Permit Application referred to Planning Board Date _____

Comments: _____

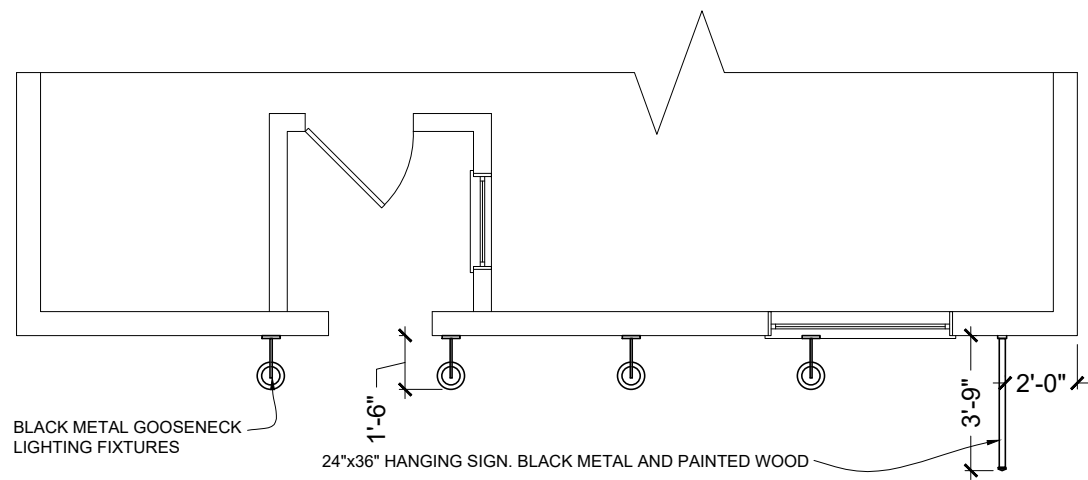


FRONT ELEVATION

SCALE: 3/16" = 1'-0"



HANGING SIGN DETAIL



FLOOR PLAN

SCALE: 3/16" = 1'-0"

N.T.S.



ROY A. FREDRIKSEN, PE
DESIGN . PLANNING . CONSULTING ENGINEERING
 266 SHEAR HILL RD. • MAHOPAC, NY 10541 • 845-621-4000
 RAYEXDESIGN@GMAIL.COM

OWNER: MICHAEL TREYBICH	JOB #
LEASEE: TARIQ MAHMOOD	DRN BY:
DBA: KENNEDY FRIED CHICKEN	CHKD BY:

PROJECT: FACADE RENOVATION AND NEW PLANTER WALL AT 2667 E. MAIN ST. IN WAPPINGERS FALLS, NY.	TAX MAP #: 135601-6158-14-302265
--	----------------------------------

SHEET TITLE: SIGN ELEVATION & 1 OF 1 DETAILS

8/23/2022
 REVISIONS: DATE: 7/29/2022





VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Name of Applicant Top Notch Automotive (Robert Taber)
 Address 11 Delavergne Ave
Wappingers Falls, NY 12590
 Email topnotchauto845@gmail.com
 Phone 845-218-9466 C-845-332-8913

Owner of Property ~~7~~ Christina Contelmo, partner
 Address 7 Delavergne Ave LLC.
Wappingers Falls, NY 12590
 Phone 845-297-1284

Location of Property 11 Delavergne Ave Wappingers falls
 Linear Frontage of building 39ft 42in. Zoning District _____

Types of Signs Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:

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Awning, Window, Wall or Projecting signs- the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications Type _____ Placement Above Garage Doors on front of building
 Landscaping ___ Yes ___ No Size of Sign 18 in. Height 192 in Width _____
 _____ Single Faced Double Faced _____ Lighted _____
 Material _____ Wood Metal _____ other Durable _____

The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- ___ Application form (ten sets)
- ___ Sign design drawings (ten sets)
- ___ Color swatch (if any color other than black/white)
- ___ Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Robert + Taber

Applicant Signature [Signature] Date: 8/2/22

Owner of Property Signature Christina Cortese Date: 8/2/22

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____

192"

TOP NOTCH AUTOMOTIVE

18"



6mm Aluminum Composite with printed / UV gloss laminated vinyl applied with black, red, and white graphics.

Overall size is 192"w x 18"h. Client will be doing their own installation. This is replacing an existing sign of the same dimensions.

Customers Name: **Top Notch Automotive**

FASTSIGNS

PH: 845-298-5600

FAX: 845-297-0105

FASTSIGNS.COM/455

1839 South Rd Suite 2B, Wappingers Falls, NY 12590

SIGNS AND GRAPHICS REMAIN THE PROPERTY OF FASTSIGNS UNTIL PAID IN FULL

PLEASE CHECK EACH:

- FONT
- COLOR
- SPELLING
- POSITIONING
- SIZE

SIGNATURE OF APPROVAL

DATE



8/05/2022

File Name:

Order #:

68641

COLORS OF PRINT ARE NOT EXACT * CHANGES ARE CHARGED SEPARATELY