



Letter of Transmittal

1/9/2024

Recipient: Village of Wappingers Falls
 Office of Building, Planning & Zoning
 Village Hall
 2582 South Avenue
 Wappingers Falls, NY 12590

Four Corners Planning
 45 Montgomery Street
 Tivoli, NY 12583
greig@hvc.rr.com

Project: 7-Eleven Store No. 46895/7645
 1542 Route 9
 Wappinger Falls, NY 12590

Re: Response to Comments on the 7-Eleven (Speedway) Tank Replacement Project

Enclosed: Drawings Specifications Applications Other (See Description)
For: Approval Comments Information Other (See Description)
Via: USPS Mail Express Mail Email

Non-Drawing Enclosures (8.5" x 11"):

Copies	Date	Description
5	1/9/24	Transmittal
5	1/9/24	Comment Response Letter
5	11/6/23	Planning Board Site Plan Review Request Application
5	10/23/23	Short Environmental Assessment Form

Drawings Enclosed:

Copies	Rev	Date	Sht. No.	Sheet Title
5	1	1/8/24	7	Brand Book
5	1	1/8/24	3	24" x 36" Parking Lot Plan & Erosion and Sediment Control Plan

Comments:

Please see attached information required to address the Four Corners Planning comment letter dated December 5, 2023. The project is the 7-Eleven / Speedway Store No. 46895/7645, fueling remodel project located at 1542 Route 9, Wappinger Falls, NY 12590.

The application materials can be downloaded from the following link:

20240109_Response to Four Corners Planning Comments_Final
 Password: 72UcbACu
<https://sevan.egnyte.com/fl/lcN9ku3XwF>

Please contact me if you have any questions.

Regards,



Project Manager
 Seven Multi-Site Solutions, Project Manager
 Agent for 7-Eleven Inc. & Speedway
 412-651-6182
Kristen.Schawalder@sevansolutions.com



Letter of Transmittal

1/9/2024

Recipient: Village of Wappingers Falls
 Office of Building, Planning & Zoning
 Village Hall
 2582 South Avenue
 Wappingers Falls, NY 12590

J. Robert Folchetti & Associates
 Todd W. Atkinson, P.E., Village Engineer
 31 Sodom Road
 Brewster, NY 10509

Project: 7-Eleven Store No. 46895/7645
 1542 Route 9
 Wappinger Falls, NY 12590

Re: Response to Comments on the 7-Eleven (Speedway) Tank Replacement Project

Enclosed: Drawings Specifications Applications Other (See Description)
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Non-Drawing Enclosures (8.5" x 11"):

Copies	Date	Description
5	1/9/24	Transmittal
5	1/9/24	Comment Response Letter
5	10/23/23	Short Environmental Assessment Form
5	10/12/23	Revised Soil Excavation Plan and Stipulation Agreement Request, AECOM
5	10/17/23	Stipulation Agreement, New York State Department of Environmental Conservation

Drawings Enclosed:

Copies	Rev	Date	Sht. No.	Sheet Title
5	1	1/8/24	7	11" x 17" Brand Book
5	2	1/8/24	3	36" x 24" Parking Lot Plan & Erosion and Sediment Control Plan
5	3	6/19/23	1	36" x 24" ALTA Survey

Comments:

Please see attached information required to address the J. Robert Folchetti & Associates comment letter dated December 5, 20 23. The project is the 7-Eleven / Speedway Store No. 46895/7645, fueling remodel project located at 1542 Route 9, Wappinger Falls, NY 12590.

The application materials can be downloaded from the following link:

20240109_Response to Engineer Comments_Final
 Password: v8WBLC3U
<https://sevan.egnyte.com/fl/XsxR2Nyzgh>

Regards,

Project Manager
 Seven Multi-Site Solutions, Agent for 7-Eleven Inc. & Speedway
 412-651-6182
Kristen.Schawalder@sevansolutions.com

Submittal Cover Letter



Date: 1/9/2024

TO: Village of Wappingers Falls
Office of Building, Planning & Zoning
Village Hall
2582 South Avenue
Wappingers Falls, NY 12590

J. Robert Folchetti & Associates
Todd W. Atkinson, P.E., Village Engineer
31 Sodom Road
Brewster, NY 10509

RE: 7-Eleven Existing Store with Underground Storage Tank Replacement
Store No. 46895/7645
1542 Route 9
Wappingers Falls, NY 12590

Brian Murphy and Todd Atkinson, P.E.,

Sevan Multi-Site Solutions, on behalf of the applicant, 7-Eleven, Inc., is submitting the following responses, **in red**, to the comment letter prepared by J. Robert Folchetti & Associates, LLC dated December 5, 2023.

Engineering Review.

- 1. Will the site be shut down for commercial customers during construction or will the convenient store be operated?**
Response: The fuel sales and convenience store will be temporarily closed during construction.
- The applicant should submit a completed Environmental Assessment Form.
Response: Please see the Part 1 Environmental Assessment Form included in the November 11, 2023 application package. Re-attached for your review.
- Applicant should provide a metes and bounds survey signed and sealed by a NYS Licensed Surveyor.
Response: Please see the attached ALTA survey.
- The plan should show all existing and proposed utilities; water, sewer, stormwater, gas, fuel, electric and telephone lines. If new infrastructure is required, provide details, profiles, and types of materials used.
Response: Utilities are shown on the architectural site plan and demolition plan. In addition, the ALTA survey shows the existing utilities.
- Provide an erosion and sediment control plan in accordance with the NYSDEC Erosion and Sediment Control Manual.
Response: Please see enclosed Erosion and Sediment Control Plan.
- The applicant should provide sidewalks on the property parallel to the Route 9 corridor to be consistent with the village comprehensive plan.
Response: 7-Eleven will not be installing a sidewalk adjacent to Route 9 as there are no sidewalks or connections on any neighboring properties. In addition, there are multiple utilities that would need to be relocated to accommodate a sidewalk and the sidewalk would likely need to be placed off 7-Eleven Inc. property and within the New York State Department of Transportation right-of-way and property. The utilities include two fire hydrants, stormwater drainage inlets, overhead electric lines, electric utility

Submittal Cover Letter

poles, site lighting and underground electric lines. The relocation of the utilities would be exceptionally burdensome on the applicant to relocate.

7. There is currently a stormwater drainage issue at the entrance to the site. The design should reflect how this issue will be addressed.

Response: Re-paving the parking lot and cleaning out the stormwater inlet will occur. Both of those actions will correct the drainage issue identified at the meeting.

8. A lighting plan should be provided and revised with plans and cut sheets if it is determined it does not meet the current Village Code requirements.

Response: The brand book has been revised with the refacing of the main identification sign and addition of LED lighting. Revision 1 of the Brand Book is attached. The lighting plan will be updated to reflect this changes; however, a site visit is scheduled and will need to be conducted to confirm the existing light fixtures. The lighting plan will be submitted when it has been revised.

9. Provide a detailed construction schedule.

Response: Construction is scheduled from March 11, 2024 through April 24, 2024. Attached is a step-by-step breakdown of construction activities that will occur.

10. Applicant should provide a plan to combat any possible leakage or contamination which may be encountered when excavating to remove existing tanks or installing new tanks.

Response: 7-Eleven Inc. will follow the New York State Department of Environmental Conservation (NYSDEC), Petroleum Bulk Storage requirements for the permanent closure of Petroleum Storage Tanks. AECOM is engaged to oversee the tank removal process and test, as required, per the Petroleum Bulk Storage Regulation requirements. The tanks will be disposed of in an approved disposal facility once they have been properly cleaned. AECOM has prepared a Soil Excavation Plan and Stipulation (STIP) Agreement request which has been reviewed by the NYSDEC. The Soil Excavation Plan and STIP are designed to document the proposed management of impacted soils observed during tank removal activities. Copies of the Soil Excavation Plan and the STIP Agreement are attached.

An electronic copy of the responses can be downloaded from the following link:

20240109_Response to Engineer Comments_Final

Password: v8WBLC3U

<https://sevan.egnyte.com/fl/XsxR2Nyzgh>

Please contact me with any questions or correspondence.

Thank you,



Kristen Schawalder, Project Manager
Agent for 7-Eleven Inc. and Speedway
P: 412-651-6182

Kristen.Schawalder@sevansolutions.com

Submittal Cover Letter



Date: 1/9/2024

TO: Village of Wappingers Falls
Office of Building, Planning & Zoning
Village Hall
2582 South Avenue
Wappingers Falls, NY 12590

Four Corners Planning
Michèle Robinson Greig, AICP
45 Montgomery Street
Tivoli, NY 12583
greig@hvc.rr.com

RE: 7-Eleven Existing Store with Underground Storage Tank Replacement
Store No. 46895/7645
1542 Route 9
Wappinger Falls, NY 12590

Brian Murphy and Michèle Robinson Greig, AICP,

Sevan Multi-Site Solutions, on behalf of the applicant, 7-Eleven, Inc., is submitting the following responses, **in red**, to the comment letter prepared by Four Corners Planning dated December 5, 2023.

- Proposed Project.** The applicant proposes to remove existing underground fuel storage tanks and install new tanks in a new location north of the existing pump islands, replace the canopy deck and fascia, and replace six existing fuel dispensers with new dispensers on a ± 0.53-acre parcel located at 1542 Route 9 in the Commercial Mixed Use (CMU) Zoning District. The proposed project requires Amended Site Plan approval from the Planning Board.

Response: A request for an Amended Site Plan review was submitted to the Office of Building, Planning & Zoning on November 11, 2023. Re-attached for your review.
- SEQR.** The applicant should submit a Part 1 Environmental Assessment Form so the Planning Board can classify the project and initiate SEQR, if applicable.

Response: Please see the Part 1 Environmental Assessment Form included in the November 11, 2023 application package. Re-attached for your review.
- Site Plan Application.** The applicant should submit an application for Planning Board Review for amended site plan review.

Response: Please see the Part 1 Site Plan Application Form included in the November 11, 2023 application package. Re-attached for your review.
- Setbacks for Automotive Use Structures.** Section 151-20D of the Zoning Law requires that automotive use structures be set back a minimum of 25 feet from all property boundaries (this supersedes the setbacks specified in Table 2F). The Code Enforcement Officer should determine whether area variances are required for the location of the new underground tanks within 25 feet of the property boundaries to the north and west.

Submittal Cover Letter



Response: Please note that the proposed storage tanks are to be installed underground and will not be an aboveground structure. The existing USTs (Underground Storage Tanks) proposed to be removed and the current proposed location of the new USTs are both located within this 25-foot setback.

There are a few logistical and safety reasons that went into the decision to relocate the new USTs from the existing UST location. The existing UST location has the fuel tanker truck off-loading fuel in very close proximity to the store front. Furthermore, the fuel tanker truck will also block parking spaces and fueling positions underneath the canopy with the existing UST location. Relocating the new USTs to the north end of the property allows for better traffic circulation while the fuel tanker truck is off-loading fuel and places both the fuel tanker truck and USTs farther away from traffic. The NFPA 30 Section 23.4.2 requires the tanks to be a minimum of 3 feet from the property line. This new location does meet this NFPA 30 requirement. The proposed UST location places the USTs at approximately 19 feet from the property line along State Route 9 and approximately 9 feet from the adjacent property line to the north.

5. Lighting.

- a. Section 151-12D(10) of the Zoning Law requires that all outdoor lighting be brought into compliance with the 2015 Zoning Law by 2018. The applicant should identify all existing outdoor lighting fixtures on the property so the Planning Board can determine whether the fixtures are in compliance.
Response: A site survey is required to assess the existing light fixtures. Once the survey is complete, the photometrics plan will be updated and provided.
- b. Section 151-12D(6) states that lighting levels shall be based on the recommendations of the Illuminating Engineering Society of North America (IESNA). The IESNA recommends a maximum of 5 footcandles for gas station pump island canopies in dark areas and 10 footcandles for canopies in light surroundings. The applicant's photometric plan shows an average of 36.55 footcandles which exceeds the recommended levels. Lighting levels should be reduced.
Response: A site survey is required to assess the existing light fixtures. Once the survey is complete, the photometrics plan will be updated and provided.
- c. Section 151-20G requires that island canopy lighting fixtures shall be recessed into the canopy ceiling so that the bottom of the fixture is flush with the ceiling. The applicant should demonstrate compliance with this requirement.
Response: A site survey is required to assess the existing light fixtures. Once the survey is complete, the lighting selection, cut sheets, and photometrics plan will be updated and provided.
- d. Manufacturer's cut sheets of all outdoor lighting fixtures should be provided. Fixtures should have a maximum color temperature of 2700K.
Response: A site survey is required to assess the existing light fixtures. Once the survey is complete, the lighting selection, cut sheets, and photometrics plan will be updated and provided.

6. **Canopy.** The canopy elevations should identify the color of the canopy, whether any signage is proposed on the canopy, and whether the canopy is proposed to be internally illuminated.

Response: Please see the revised Brand Book, attached.

7. **Signage.** Submission of signage details is a requirement of site plan review. Section 151-25M requires that all signs that do not conform to the provisions of the 2015 Zoning Law shall be brought into compliance by 2018. Details of all existing and proposed signs should be submitted, including but not limited to signs advertising the business on the new dispensers, the new canopy, and other objects such as trash cans.

Response: A brand book showing the signage has been provided. The signage vendor will seek and obtain the appropriate permits for the signs.

8. **Sidewalk.** The applicant should provide a sidewalk adjacent to Route 9 to improve pedestrian circulation in the area consistent with the Village's recently adopted Comprehensive Plan.

Submittal Cover Letter



Response: 7-Eleven will not be installing a sidewalk adjacent to Route 9 as there are no sidewalks or connections on any neighboring properties. In addition, there are multiple utilities that would need to be relocated to accommodate a sidewalk and the sidewalk would likely need to be placed off 7-Eleven Inc. property and within the New York State Department of Transportation right-of-way and property. The utilities include two fire hydrants, stormwater drainage inlets, overhead electric lines, electric utility poles, site lighting and underground electric lines. The relocation of the utilities would be exceptionally burdensome on the applicant to relocate.

9. **Parking.** The Zoning Law requires that all parking spaces be a minimum of 9 by 18 feet, including accessible spaces.
Response: The Parking Lot Plan has been revised to show all parking stalls at a 9' x 18' dimension.
10. **Zoning District.** Sheet C1.20 should identify the Zoning District as CMU rather than VC, and should include the required area and bulk requirements for the CMU District, as well as the setbacks for automotive use structures in § 151-20.
Response: The Parking Lot Plan has been revised to show the Commercial Mixed Use Zoning District.
11. **239-m Review.** The Site Plan application must be referred to Dutchess County Department of Planning and Development for review under General Municipal Law 239-m since the property is located within 500' of a State highway and a municipal boundary.
Response: Acknowledged. It is our understanding that the Village forwards the plans to the Dutchess County Department of Planning and Development.
12. **Public Hearing.** A public hearing, if deemed necessary by the Planning Board, must be held within 62 days following the receipt of a complete application.
Response: Acknowledged.
13. **239-nn Notification.** Notice of the public hearing, if held, must be sent to the Clerk of the Town of Wappinger at least ten (10) days prior to the hearing, in accordance with General Municipal Law § 239-nn.
Response: Acknowledged.

An electronic copy of the responses can be downloaded from the following link:

20240109_Response to Four Corners Planning Comments_Final
Password: 72UcbACu
<https://sevan.egnyte.com/fl/lcN9ku3XwF>

Please contact me with any questions or correspondence.

Thank you,

Kristen Schawalder, Project Manager
Agent for 7-Eleven Inc. and Speedway
P: 412-651-6182
Kristen.Schawalder@sevansolutions.com

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
7-Eleven, Inc.			
Name of Action or Project: Fuel Remodel at Store No. 46895			
Project Location (describe, and attach a location map): 1542 Route 9, Wappingers Falls, NY 12590 (The Village of Wappingers Falls)			
Brief Description of Proposed Action: Replacement of the existing underground storage tanks and associated equipment. The canopy deck (roof) will be replaced as well.			
Name of Applicant or Sponsor: 7-Eleven Inc. (Brandie K. Lehman)		Telephone: 937.207.1712	
		E-Mail: <small>Brandie.Lehman@7-11.com</small>	
Address: PO Box 711, Attn: Gasoline Compliance			
City/PO: Dallas		State: TX	Zip Code: 75221
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO
			<input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO
Village of Wappingers Falls, Site Review and Building Permit			<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<small>0.53</small> _____ acres	
b. Total acreage to be physically disturbed?		<small>0.18</small> _____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<small>0.53</small> _____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
Urban	Rural (non-agriculture)	Industrial	<input checked="" type="checkbox"/> Commercial Residential (suburban)
Forest Agriculture Parkland		Aquatic	Other (specify): _____

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?			<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
		<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
		<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: <u>Use of existing connections will continue</u>	NO	YES	
			<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ <small>Use of existing connections will continue</small>	NO	YES	
			<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
			<input checked="" type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	NO	YES	
		<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural/grassland Early mid-successional Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
			<input checked="" type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	NO	YES	
		<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems off and storm drains)? If Yes, briefly describe: <small>Existing drainage patterns will be maintained</small>	NO	YES	
		<input checked="" type="checkbox"/>	
			<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Kristen Schawalder		Date: 9/5/2023
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
<hr/> Name of Lead Agency	<hr/> October 23, 2023 Date
<hr/> Print or Type Name of Responsible Officer in Lead Agency	<hr/> Project Manager Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Kristen Schawalder <small>Digitally signed by Kristen Schawalder DN: cn=Kristen Schawalder, o=City of Tacoma, ou=City of Tacoma, email=kschawal@cityoftacoma.gov, c=US</small> Signature of Preparer (if different from Responsible Officer)



VILLAGE OF WAPPINGERS FALLS

**BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov**

APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: November 6, 2023

Date of Meeting: December 7, 2023

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website www.wappingersfallsny.gov.

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision Site Review Lot Line Adjustment

Items to be submitted for review: (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

(Separate Application)



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: November 6, 2023 Date of Meeting : December 7, 2023

Property Identification:

Address: 1542 Route 9, Wappingers Falls, NY 12590

Zoning District: Commercial Mixed Use (CMU) - Proposed Zoning District
Village Commercial (VC) - Existing/Former Zoning District Existing site area: 0.53

Owner Information:

Name : Samuel Finnerman

Address : 2678 South Road, Suite 103

City: Poughkeepsie State: NY Zip: 12601

Contact Numbers: (H) 713-980-5631 (C) 713-302-1962

(E-mail) sam@hudsoncommercial.com

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name : 7-Eleven, Inc.

Address: PO Box 711, Attn: Gasoline Compliance

City: Dallas State: TX Zip: 75221

Contact Numbers: (H) 937-863-7071 (C) 937-207-1712

E-mail Address: Brandie.Lehman@7-11.com

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: David Leiffer

Title: PE

Architect Engineer

Company: Core States Group

Address: 6060 North Central Expressway, Suite 850, Dallas, TX 75221

Telephone # : 972-689-5412

E-mail Address: ccarr@core-states.com



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
(Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): Retail Gas Station

Proposed square footage: No change to existing square footage.

Project Description :*(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

Scope of work is detailed on Sheet G0.1. Install new: 2 x 20,000 gallon, double walled, fiberglass USTs, pumps, dispensers, OPW loop system, vapor/vent risers, fiberglass piping, concrete at disturbed areas, U bollards, Intercoms, fire extinguishers, trash cans / wash buckets, Veeder Root TLS-450 Plus, E-stop on building exterior, E-stop on building interior, pump toppers, and dispenser islands. Paint LED sign frame, poles, bollards, and canopy columns per Speedway brand specifications.
Removal of existing 4 x 10,000 gallon USTs.

Items to be submitted for review: (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.

Brandis K. Lehman

Signature of Applicant Signed

9/5/2023

Date

Office use only:

[] FEE : _____ Receipt No. : _____ Cash / Check # _____ Date: _____

Revised by : _____ Revision date : _____
Zoning Administrator/Code Enforcement Officer



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: Samuel Finnerman
Address of property owner: 2678 South Road, Suite 103
City: Poughkeepsie State: NY Zip: 12601
Phone number of property owner: (Include home, work, mobile number and e-mail address):
(H) _____ (C) 713-302-1962
(W) 713-980-5631 (Email) rfinnerman@welcomegroup.com
Address of site where work is being conducted: 1542 Route 9, Wappingers Falls, NY 12590
7-Eleven Store No. 45895 / Speedway Store No. 7645
Description of work: Fuel remodel - removal of 4 existing 10,000 gallon underground storage tanks. Installation of 2 x 20,000 gallon USTs, dispensers, pumps, and associated work.

Name of person doing work: Metro Environmental Services, LLC
Address of person doing work: 208 Route 109, Suite 106
City: Farmingdale State: NY Zip: 11735
Phone number of person doing work (Include home, work, mobile numbers and e-mail address):
(H) 631-393-6655 (C) _____
(W) _____ (Email) stephent@mesllc.org

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.

Samuel N. Finnerman

Signature of Property Owner

9/19/2023

Date Signed

Sam@hudsoncommercial.com

PART "A"
OWNER AFFIDAVIT

State of New York }
County of Dutchess } ss:

Samuel Finnerman being duly sworn, deposes and says:

1. That I/we are the Owner(s) of the within property as described in the foregoing application for Subdivision / Lot Line Change (Site Plan) / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That I/we hereby authorize Sevan Multi Site Solutions & 7-Eleven Inc., to act as my/our representative in all matters regarding said application(s), and that I/we have the legal right to make or authorize the making of said application.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action.
4. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
5. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Town Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
6. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we have examined this affidavit and that it is true and correct.

Samuel H. Finnerman
Applicant/Owner

Applicant/Owner

Sworn to before me this 19 day of
September, 2023.

Theresa A. Walters
Notary Public

Theresa A. Walters
Notary Public, State of New York
No. 01WA4939897
Qualified in Dutchess County
Commission Expires August 08, 2026

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of _____)
County of _____) ss:

Brandie Lehman being duly sworn, deposes and says:

1. That I/we are the Applicant named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 1542 Route 9, Wappingers Falls in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Brandie Lehman
Applicant/Agent

Applicant/Agent

Sworn to before me this 8 day of
September, 2023.

Meghan Allen
Notary Public exp 11-17-24



October 12, 2023

AECOM project #60703827

Ms. Meagan Lenna
Environmental Program Specialist
New York State Department of Environmental
Conservation – Region 3
21 S Putt Corners Rd
New Paltz, NY 12561

**RE: Revised Soil Excavation Plan and Stipulation Agreement Request
7-Eleven Store 46895/Speedway Store 7645
1542 Route 9
Wappinger Falls, New York
NYSDEC Spill Number 2209439**

Ms. Lenna:

AECOM Technical Services, Inc. (AECOM), on behalf of 7 Eleven, Inc. (7 Eleven), has prepared this Revised Soil Excavation Plan and Stipulation (STIP) Agreement request for the upcoming tank replacement activities to take place at 7-Eleven Store 46895 / Speedway 7645 located at 1542 Route 9 in Wappinger Falls, New York (the "Site"). Tank replacement activities are scheduled to take place between October 16 and November 30, 2023, and will include the excavation of three, 10,000-gallon gasoline and one, 10,000-gallon diesel underground storage tank (UST) from the eastern portion of the property, replacement of underground piping and dispensers. New USTs will be installed in the area on the northern side of the Site. A Site Plan is included as **Figure 1**.

The purpose of this Soil Excavation Plan and STIP Agreement Request is to document the proposed management of impacted soils observed during tank removal activities and to request a STIP agreement that would allow the discharge of treated groundwater to the Village of Wappinger Falls owned catch basin. The Village of Wappinger Falls approved, contingent upon New York State Department of Conservation (NYSDEC) approval, use of their system in an email dated September 26, 2023. The Construction and Dewatering Plan was previously provided to the Village of Wappinger Falls and the NYSDEC in emails dated September 27, 2023.

Background

On February 24, 2023, in preparation for tank replacement activities, AECOM, on behalf of 7 Eleven conducted pre-characterization of soil and groundwater at the Site. The work included a pump test to evaluate the expected gallons per minute (gpm) groundwater discharge during replacement activities.

Results of the pump test conducted on March 9, 2023 identified an expected discharge rate of between 20 and 30 gpm. The discharge system documented in the Construction and Discharge Plan dated September 27, 2024, was designed based on the discharge rate as well as the groundwater data obtained from monitoring well MW-1.

During pre-characterization activities, one soil boring (B-1/MW-1) was advanced at the Site on February 24, 2023. The boring consisted of possible fill material consisting of gravelly clay from 0 to 5 feet below grade surface (ft bgs), primarily gravelly clay and silt from 5 to 9 ft bgs, and then primarily silt from 9 ft bgs to boring termination at 20 ft bgs where the boring met refusal. Weathered bedrock was observed at boring termination at 20 ft bgs but is not expected to be encountered during the removal and replacement activities. Petroleum staining was observed from 5 to 5.5 ft bgs and a slight petroleum odor was observed from 5 to 13 ft bgs. During advancement of the soil boring, photoionization detector (PID) readings above 100 parts per million (ppm) were noted. Due to the elevated PID readings the NYSDEC spills hotline was notified, and spill number 2209439 was issued. Groundwater was observed at approximately 4 ft bgs. A copy of the boring log is included as **Attachment I**.

Laboratory analysis of the soil samples obtained from soil boring B-1 identified volatile organic compounds (VOCs), semi-volatile organic compounds (SVOCs), polychlorinated biphenyls (PCBs) and total metals below regulatory guidance values. Refer to **Table 1** for a summary of the VOC and SVOC data.

On March 9, 2023, AECOM returned to the Site to obtain a groundwater sample from MW-1. A review of the groundwater analytical results identified VOCs above regulatory guidance values. Semi-volatile organic compounds (SVOCs) polychlorinated biphenyls (PCBs) and total metals were below laboratory detection limits. Refer to **Table 2** for a summary of the laboratory data.

Revised Soil Excavation Plan During Tank Removal Activities

During tank replacement activities (removal and installation) AECOM, on behalf of 7 Eleven, will field screen soils with a PID. Soils from grade to the bottom of the tanks (approximately 13 fbg), and accessible soils exhibiting PID readings in excess of 20 ppm and soils exhibiting evidence of petroleum contamination (visual or olfactory or above 20 ppm) will be excavated and transported off-site, under a non-hazardous waste manifest, to an approved disposal facility. Due to the location of the USTs, accessible soils will be limited by the Site building to the east, property boundary to the south and tank canopy and dispensers to the west. After soil removal, confirmatory soil samples will be obtained from the former UST excavation sidewalls and bottom and submitted for VOC and SVOC analysis.

Results of the confirmatory sampling will be provided in a UST Closure Report to be submitted within 90-days of project completion.

Summary

AECOM, on behalf of 7-Eleven, is requesting the issuance of a STIP Agreement for the management of soil and groundwater during tank replacement activities. Conformance with the water discharge limits to be outlined in the STIP Agreement will be managed in accordance with the Construction and Dewatering Plan, provided under separate cover.

If you should have any questions regarding this submission or require additional information, please contact Karen Bourque by e-mail at karen.bourque@aecom.com or by phone at 203-731-9329.

Yours sincerely,
AECOM



Karen Bourque
Project Manager



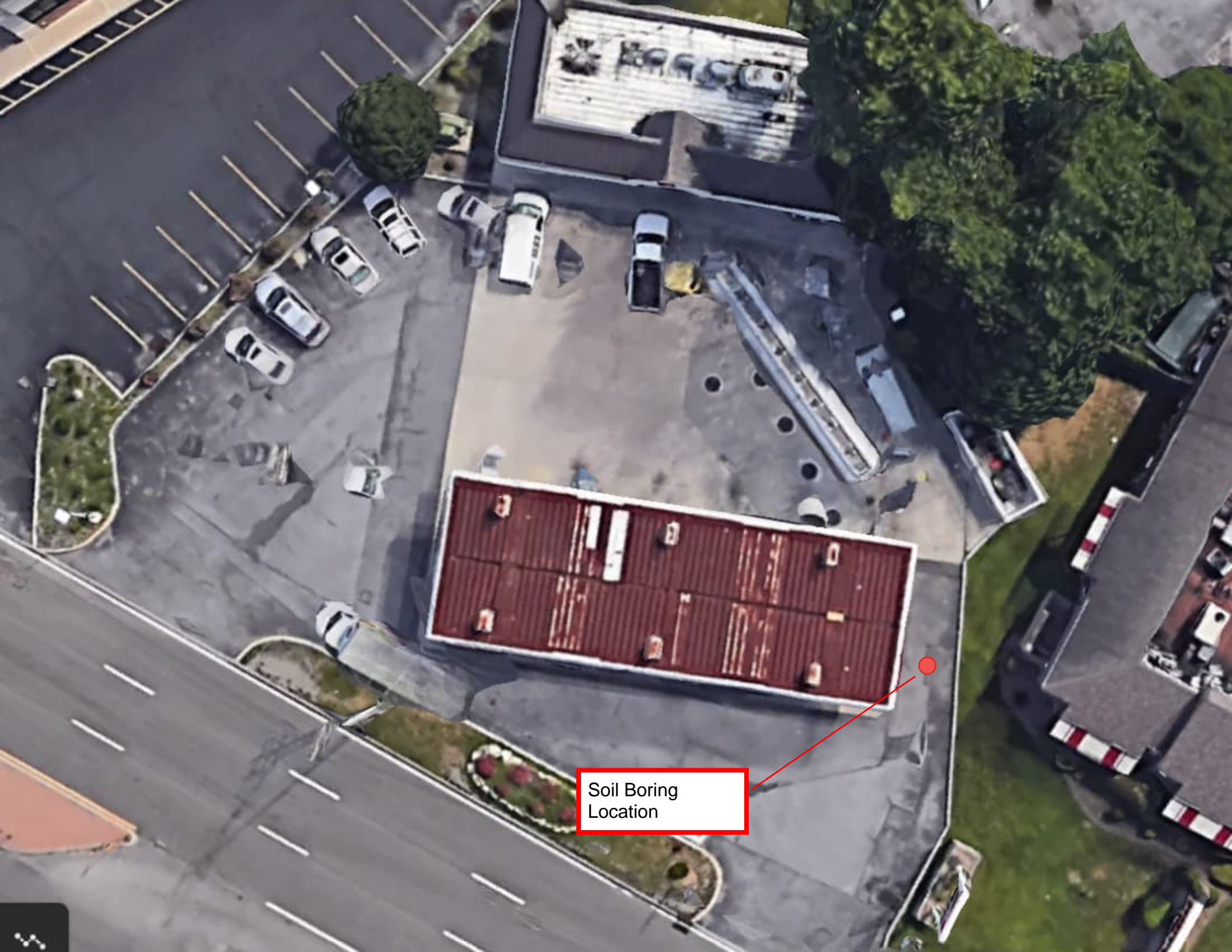
Dan Taylor, LSP, LEP
Technical Specialist

Cc: Keith Browne, NYSDEC
7-Eleven Project File

Attachments:

- Figure 1: Site Plan
- Table 1: Summary of Soil VOC and SVOC Results
- Table 2: Summary of Groundwater VOCs and SVOCs Results
- Attachment I: Soil Boring Log

Figures



Soil Boring
Location

Tables

TABLE 1
Summary of Soil VOC and SVOC Results
7-Eleven Store No. 46895
1542 Route 9
Wappingers Falls, New York

	Sample ID Depth (feet bsg) Sample Collection Date PID Readings (ppm)	B-1/5-7 5 to 7 23-Feb 165
Parameter	NYSDEC CP-51	
VOCs by 8260D (mg/kg)	ug/kg	
Benzene	60	<0.060
n-Butylbenzene	12,000	5.0
sec-Butylbenzene	11,000	3.0
tert-Butylbenzene	5,900	<0.060
Ethylbenzene	1,000	0.091
Isopropylbenzene	2,300	2.2
4-Isopropyltoluene	10,000	<0.060
Methyl tert-butyl ether	930	<0.060
Naphthalene	12,000	1.7
N-Propylbenzene	3,900	9.6
Toluene	700	<0.060
1,2,4-Trimethylbenzene	3,600	<0.060
1,3,5-Trimethylbenzene	8,400	<0.060
Xylenes, Total	260	<0.18
SVOCs by 8260E (mg/kg)	ug/kg	
Benzo(a)anthracene	1,000	<0.22
Benzo(a)pyrene	1,000	<0.22
Benzo(b)fluoranthene	1,000	<0.22
Benzo(g,h,i)perylene	100,000	<0.22
Chrysene	1,000	<0.22
Fluoranthene	100,000	<0.22
Indeno(1,2,3-cd)pyrene	500	<0.22
1-Methylnaphthalene	NSA	<0.22
2-Methylnaphthalene	NSA	<0.22
Naphthalene	12,000	1.0
Phenanthrene	100,000	<0.22
Pyrene	100,000	<0.22

Notes:

mg/kg - milligrams per kilogram

VOCs - Volatile Organic Compounds

SVOCs - Semi-Volatile Organic Compounds

ND - not detected

PID - Photoionization Detector

ppm - parts-per-million

bsg - below surface grade

Bold and highlighted values indicate concentrations above NYSDEC CP-51

Italic values are laboratory reporting limits exceed the guidance value.

V-05 - Continuing calibration verification (CCV) did not meet method specifications and was biased on the low side for this compound.

1 - New York State Department of Environmental Conservation
(NYSDEC) CP-51 Soil Cleanup Guidance, Tables 2 and 3
(NYSDEC 2010).

http://www.dec.ny.gov/docs/remediation_hudson_pdf/cpsoil.pdf

2 - Total xylenes is the sum of m,p-Xylene and o-Xylene.

http://www.dec.ny.gov/docs/remediation_hudson_pdf/cpsoil.pdf



Attachment I Boring Logs



PROJECT NAME: Speedway 7645 PROJECT NUMBER: 60703827

B-1/MW-1

SITE LOCATION: 1542 Route 9 Wappingers Falls, NY

SHEET: 1 of 1

GENERAL LOCATION ON-SITE: North of Canopy

CASING DIAMETER (inches): 2"

DRILLING CONTRACTOR: Cascade

DATE STARTED: 4/23/2023

TOP OF CASING ELEV: 6" bsg

DRILLING METHOD: HSA

DATE FINISHED: 4/24/2023

BORING DEPTH: 20'

RIG TYPE: Geoprobe

DEPTH TO WATER - OBSERVED IN BORING (feet): ~5'

BORING DIAMETER: 8"

FIELD GEOLOGIST: J. Harshman

DEPTH TO WATER - FIRST GAUGED (feet): 3.79'

WELL FINISH: Flush mount

WEATHER: 30s, Rain

PRE-DIG METHODS: Hand clear with hand auger

SCREEN INTERVAL (feet bgs): 2-20'

Depth (ft)	Lab Sample ID	Lab Sample Depth (ft.)	Blow Counts per 6 inches	Recovery (%)	Headspace (ft)	Sampling Method	MATERIALS:	
							Main component, additional components, color, moisture, plasticity, density/consistency, odor or other descriptive information	
							<i>Pre-clear 0-5' via soft dig with hand tools</i>	
1								Well Construction Protective Cover Concrete 0-1 ft Bentonite Seal 1-1.5 ft Riser pipe: 2' Filter Pack: #0 Sand, 2.5'-20' Screen Slot: 0.01" Screen Length: 18'
2					0.1	HA	Dense grey/tan gravelly clay, dry (Fill Likely)	
3					0.1		Same as above (SAA) Dry	
4					0.1			
5							SAA Dry	
6	Disposal-2, Disposal-3 (Full Suite), Disposal-3A (VOCs) Disposal-1, Disposal-2, Disposal-3 @ 5-20'		1		0.1		Loose grey with black petroleum staining at 5-5.5'. 5-6' f-m silty sand with some gravel (GM) 6-7' gravelly clay, wet, petroleum odor	
			3	14"	120	SS		
			2		165			
7				3		28		
8				5		2.1		7-8' Soft M Stiff gravelly clay (CL) Wet
				12	24"	1.0	SS	8-9' Stiff grey lt grey tan silt (ML) mostly dry, no staining, slight petroleum odor
				13		34.0		
				13		12.0		
10				1		7.8		M Stiff Light grey/tansilt (ML), slight plasticity, very slight petroleum odor, damp
				4		4.6		
				4	16"	7.0	SS	
				5		2.0		
12				4		13.0		M- stiff grey tan, becoming all brownish/tan silt (ML). Very Slight petroleum odor, Damp
			5		3.0			
			6	22"	1.0	SS		
			7		0.5			
14			6		0.9		Stiff orange/ brown and grey silt (ML) Dampish	
			8	20"	0.6	SS		
			8		0.2			
			8		0.2			
16			4		0.0		M-stiff stiff. Light grey/grey silt (ML) dampish	
			4	22"	0.0	SS		
			6		0.0			
17			7		0.0			
18			6		0.1		SAA (ML)	
			7	21"	0.1	SS		
			7		0.0			
19			10		0.0			
20			10		0.0		M Dense, grey, till like. Silt/clay/rock fragments, Possibly weathered bedrock. Refusal at 20'	
			50	7"	0.0	SS		
HSA Refusal at 20', END of B-1/MW-1 at 20'								

NOTES: PHD: post hole digger, HSA: hollow stem auger, HA: hand auger, SAA: same as above, SS: split spoon

Checked by _____ Date: _____

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
7-Eleven, Inc.			
Name of Action or Project: Fuel Remodel at Store No. 46895			
Project Location (describe, and attach a location map): 1542 Route 9, Wappingers Falls, NY 12590 (The Village of Wappingers Falls)			
Brief Description of Proposed Action: Replacement of the existing underground storage tanks and associated equipment. The canopy deck (roof) will be replaced as well.			
Name of Applicant or Sponsor: 7-Eleven Inc. (Brandie K. Lehman)		Telephone: 937.207.1712	
		E-Mail: <small>Brandie.Lehman@7-11.com</small>	
Address: PO Box 711, Attn: Gasoline Compliance			
City/PO: Dallas		State: TX	Zip Code: 75221
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO
			<input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO
Village of Wappingers Falls, Site Review and Building Permit			<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<small>0.53</small> _____ acres	
b. Total acreage to be physically disturbed?		<small>0.18</small> _____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<small>0.53</small> _____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
Urban	Rural (non-agriculture)	Industrial	<input checked="" type="checkbox"/> Commercial Residential (suburban)
Forest Agriculture Parkland		Aquatic	Other (specify): _____

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?			<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
		<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
		<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: <u>Use of existing connections will continue</u>	NO	YES	
			<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ <small>Use of existing connections will continue</small>	NO	YES	
			<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
			<input checked="" type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	NO	YES	
		<input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural/grassland Early mid-successional Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
			<input checked="" type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	NO	YES	
		<input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems off and storm drains)? If Yes, briefly describe: <small>Existing drainage patterns will be maintained</small>	NO	YES	
		<input checked="" type="checkbox"/>	
			<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Kristen Schawalder	Date: 9/5/2023	
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
<hr/> Name of Lead Agency	<hr/> October 23, 2023 Date
<hr/> Print or Type Name of Responsible Officer in Lead Agency	<hr/> Project Manager Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Kristen Schawalder <small>Digitally signed by Kristen Schawalder DN: cn=Kristen Schawalder, o=City of Seattle, ou=City of Seattle, email=kschawal@seattle.gov, c=US</small> Signature of Preparer (if different from Responsible Officer)

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Remediation, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3000 | F: (845) 255-2987
www.dec.ny.gov

SENT VIA EMAIL: Samuel.kraner@7-11.com

October 17, 2023

Samuel Jacob Kramer
7-Eleven, Inc and Speedway LLC
500 Speedway Drive
Enon, OH 45323

Re: Spill No.: 22-09439
PBS No.: 3-180394
Location: Speedway #7645
1542 Route 9
T/ Wappinger, Dutchess County

Dear Samuel Jacob Kramer:

Based on information obtained by the New York State Department of Environmental Conservation (the Department), you are responsible for the above-referenced petroleum spill, which occurred or was reported on February 23, 2023.

Section 173 of the New York State Navigation Law prohibits the discharge of petroleum, and Section 176 requires the immediate cleanup and removal of all discharges. Under Section 181 of the Navigation Law, any responsible party is strictly liable for all cleanup and removal costs and all direct and indirect damages no matter by whom sustained. Navigation Law Section 192 authorizes penalties of up to \$25,000 per day for violations of the above-referenced provisions.

Your failure to complete timely and proper spill cleanup may result in an enforcement action and the Department hiring a contractor to perform the necessary work. You would then be subject to a legal action by the Office of the New York State Attorney General to recover all costs incurred by the State of New York, as well as interest and penalties.

In order to avoid the initiation of a legal enforcement action, you must sign the enclosed Stipulation agreement providing for your expeditious completion of the required work. While the Stipulation does not affect the Department's right to pursue any claims against you, by signing the Stipulation you neither admit liability nor waive any defenses you may have.

Please send me the signed original of the Stipulation within 15 days of the date of this letter, or the Department will proceed to secure site access for a state-funded



remediation contractor and the matter will be referred for legal enforcement. If you have any questions, please contact me at either (845) 256-2023 or by email at Meagan.Lenna@dec.ny.gov.

Sincerely,

Meagan Lenna

Meagan Lenna
Environmental Program Specialist
NYSDEC, Region 3

ec: A. Johnson, Regional Attorney, NYSDEC Region 3
D. Pollock, Regional Environmental Quality Engineer, NYSDEC Region 3
M. O'Connor, Regional Spill Engineer, NYSDEC Region 3
K. Browne, NYSDEC Region 3
K. Bourque, AECOM
J. Jackson, AECOM

cc: File
Chron

**NEW YORK STATE
DEPARTMENT OF ENVIRONMENTAL CONSERVATION**

**STIPULATION PURSUANT TO SECTION 17-0303
OF THE ENVIRONMENTAL CONSERVATION LAW
AND SECTION 176 OF THE NAVIGATION LAW BY:**

**NYSDEC Spill No.
2209439**

**NYDEC PBS No.
3-180394**

7-Eleven, INC. and Speedway LLC.,

Respondent.

1. The New York State Department of Environmental Conservation (NYSDEC or the Department) is responsible for the cleanup and removal of discharges of petroleum pursuant to Article 12 of the Navigation Law and Article 17 of the Environmental Conservation Law.

2. The Respondent has agreed to investigate and remediate the petroleum discharge reported at 1542 Route 9, New York (the Site), also known as NYSDEC spill number 2209439, by taking the steps and according to the conditions set forth in the Corrective Action Plan below. This Stipulation shall take effect upon execution on behalf of the Department.

3. This Stipulation does not affect the Department's right to pursue any claims that the Department may have against the Respondent, including but not limited to claims for violation of the Navigation Law and/or the Environmental Conservation Law. This Stipulation does not affect any defenses that the Respondent may have to any such claims.

4. The Respondent, without admitting liability, consents to the issuance of this Stipulation, waives the right to notice and hearing with respect to the issuance and entry of this Stipulation as provided by law, and agrees to be bound by the terms of this Stipulation, including any attachments hereto.

5. This Stipulation is equivalent to an order pursuant to ECL § 17-0303 and a directive pursuant to NL § 176 and is enforceable as such.

6. The Corrective Action Plan may be modified in writing as may be agreed between the parties. The Corrective Action Plan may be modified by the Department in the same manner as a Department permit. In the event of a conflict between the terms of this Stipulation and any Corrective Action Plan submitted pursuant to this Stipulation, the terms of this Stipulation shall control over the terms of the Corrective Action Plan.

7. This Stipulation shall terminate when the Department issues a written determination that no further remedial activities are required with respect to the petroleum discharge at the Site (the Termination Date).

8. The Respondent and its employees, servants, agents, lessees, sublessees, successors, and assigns hereby waive any right to pursue reimbursement of monies expended prior to the Termination Date as against the State of New York or the New York Environmental Protection and Spill Compensation Fund (the Spill Fund), and agree to indemnify and hold harmless the Spill Fund from any and all legal or equitable claims, suits, causes of action, or demands whatsoever with respect to the Site that any of same has or may have as a result of the Respondent's entering into or fulfilling the terms of this Stipulation with respect to the Site.

Respondent: Brandie Lehman

Date

BY: _____
Respondent signature

Print name and title

NYSDEC

Date

BY: _____
Maryanne O'Connor, P.E.
Regional Spill Engineer
NYSDEC Region 3

CORRECTIVE ACTION PLAN

NYSDEC SPILL NUMBER 22-09439

1. Upon receiving Department approval of the RAWP and Dewatering plan, the Respondent shall complete the RAWP pursuant to the implementation schedule set forth therein.
2. All approved submittals are an enforceable part of this Stipulation. If a submittal is disapproved, the Department shall specify any deficiencies and required modifications in writing. Within 15 days of receipt of a disapproval notice, the Respondent shall submit a revised submittal addressing the Department's comments, and correcting all deficiencies identified in the disapproval notice.
3. By entering this Stipulation, the Respondent consents to the Department or its contractors having access to the subject site during regular business hours for the purpose of observing or conducting any investigation or remediation activities in compliance with this Stipulation or applicable law.
4. Any modifications to this Corrective Action Plan must be approved in advance in writing by the Department. The Department reserves the right to require additional investigation and/or remedial action due to environmental conditions related to the subject site and/or spill which were unknown to the Department.
5. All submittals and communications regarding this Corrective Action Plan shall be made to Meagan Lenna, NYSDEC Region 3, at Meagan.Lenna@dec.ny.gov dec.ny.gov (845-256-3120).



7-ELEVEN Canopy Project – 2023 SPEEDWAY Reimage

Canopy Reimage, New Dispensers

PROJECT LOCATION

7 ELEVEN #46895
 1542 Route 9
 Wappingers Falls NY 12590



SCOPE OVERVIEW

1. Canopy Reimage
2. New Dispenser

DRAWING LIST

- COVER
- SP-1 (SIGN PLAN)
- B-1 (BUILDING)
- GC-1 (GAS CANOPY IMAGE)
- D-1 (FUEL DISPENSER IMAGE)

FACILITY INFORMATION

7 ELEVEN #46895
 1542 Route 9
 Wappingers Falls NY 12590

PERMITTING INFORMATION

Jurisdiction:
 Dutchess

Zoning Classification:
 CMU

PIN Recorder/ Parcel ID:

Sheet:
 Cover

Drawing Set Revision:
 R1



LSI Graphic Solutions
 5127 Boyer Parkway
 Akron, OH 45242
 (330) 494-8515

Project: Canopy Reimage

Drawn By: Kevin Sommer

Date: 10/27/2023

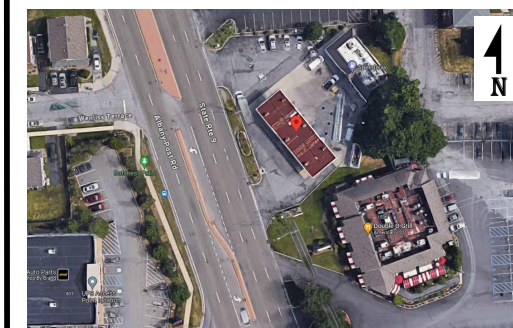
Approved By Wassie Lind

Date: 11/9/23

**BRAND CONVERSION
DETAILS**

**JURISDICTION
REQUIREMENTS**


SIGN LOCATION MAP



FACILITY INFORMATION

7 ELEVEN #46895
1542 Route 9
Wappingers Falls NY 12590

Sheet:
B-1 (BUILDING SIGNS)
Sheet Revision:
R0

 **LSI Graphic Solutions**
5127 Boyer Parkway
Akron, OH 45242
(330) 494-8515

Existing Building – NO SCOPE of WORK

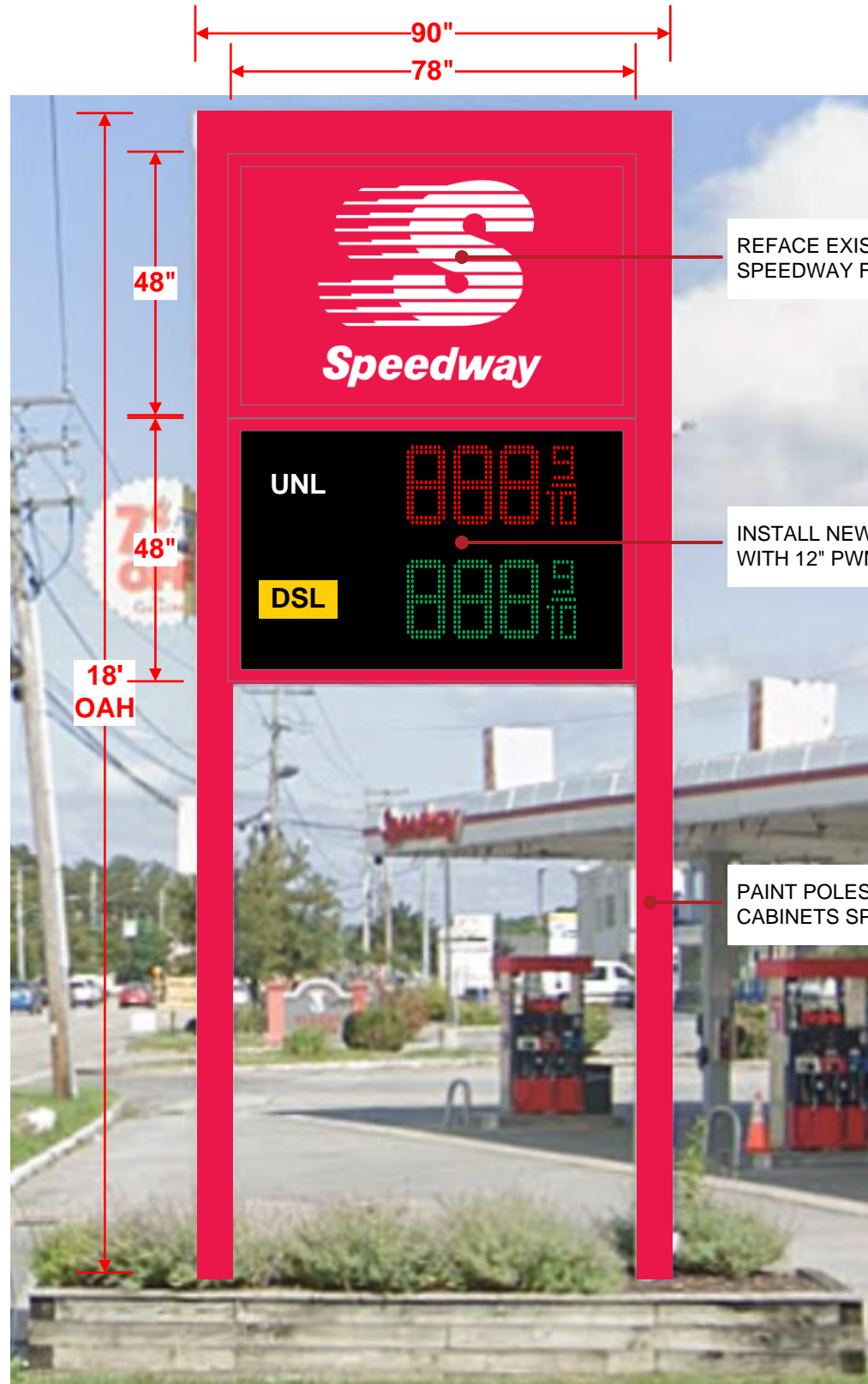


B **PROPOSED MAIN ID SIGN (52 SF)**
 Speedway Cabinet = 78" X 48" = 26 SF
 Price Cabinet = 78" X 48" = 26 SF



B **PROPOSED MAIN ID SIGN (52 SF)**
 Speedway Cabinet = 78" X 48" = 26 SF
 Price Cabinet = 78" X 48" = 26 SF

THIS IS A REFACE OF EXISTING SIGN



REFACE EXISTING CABINET WITH NEW SPEEDWAY FACES

INSTALL NEW FUEL GRADE CABINET WITH 12" PWM DIGITS

PAINT POLES, RETAINERS AND CABINETS SPEEDWAY APPROVED RED

BRAND CONVERSION DETAILS

1. REFACE EXISTING CABINET WITH NEW SPEEDWAY FACES
2. INSTALL NEW FUEL GRADE CABINET WITH 12" PWM DIGITS
3. PAINT POLES, RETAINERS AND CABINETS SPEEDWAY APPROVED RED

JURISDICTION REQUIREMENTS

36 SF
 15 FT
 LED'S ALLOWED.
 CAN BE REFACED.

SIGN LOCATION MAP EXISTING MAIN ID SIGN



FACILITY INFORMATION

7 ELEVEN #46895
 1542 Route 9
 Wappingers Falls NY 12590

Sheet:
 S-1 (MAIN ID SIGN)
Sheet Revision:
 R1

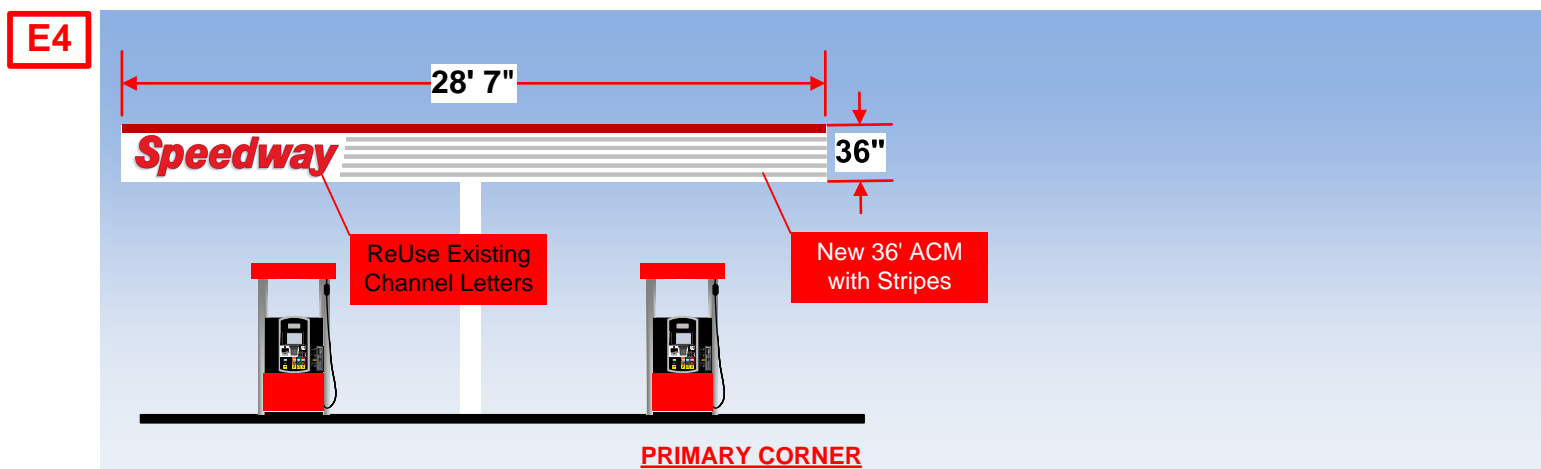
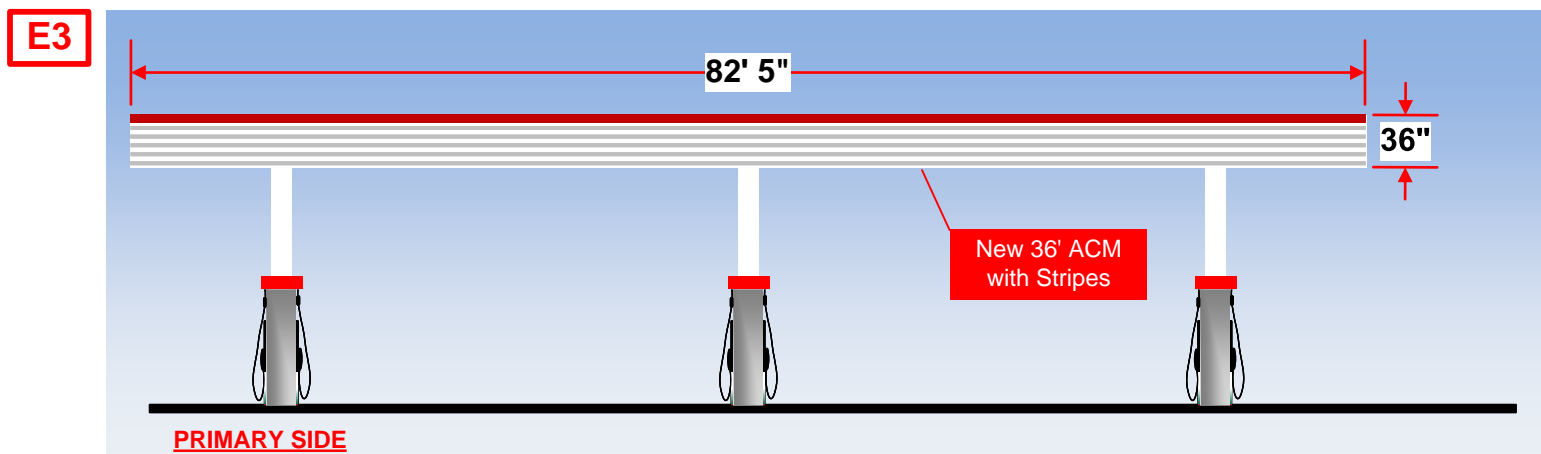
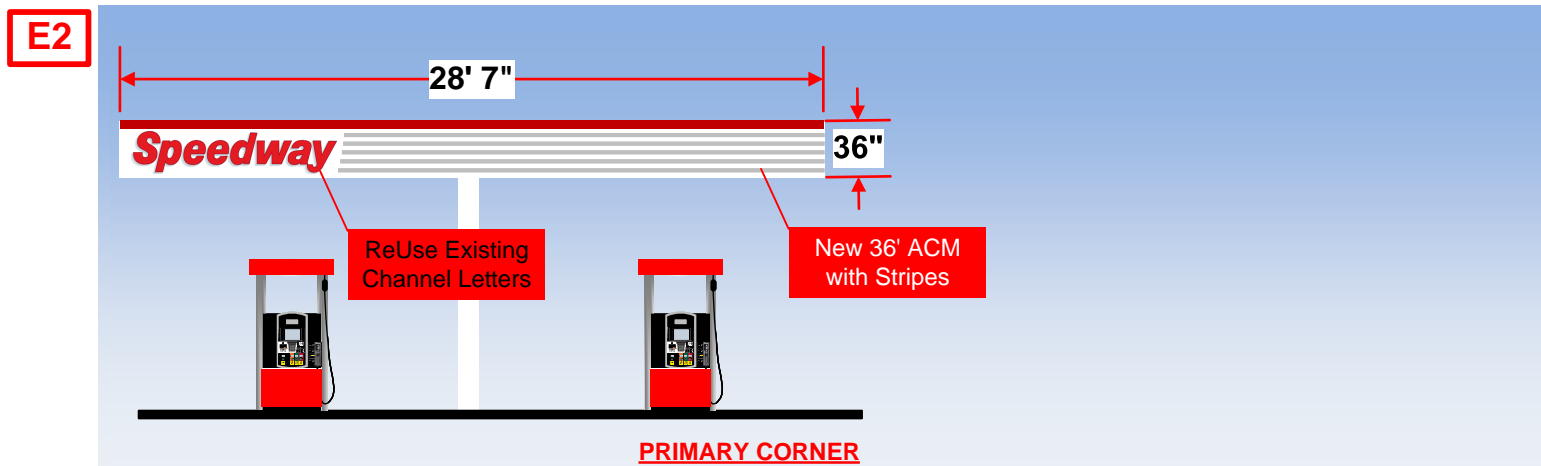
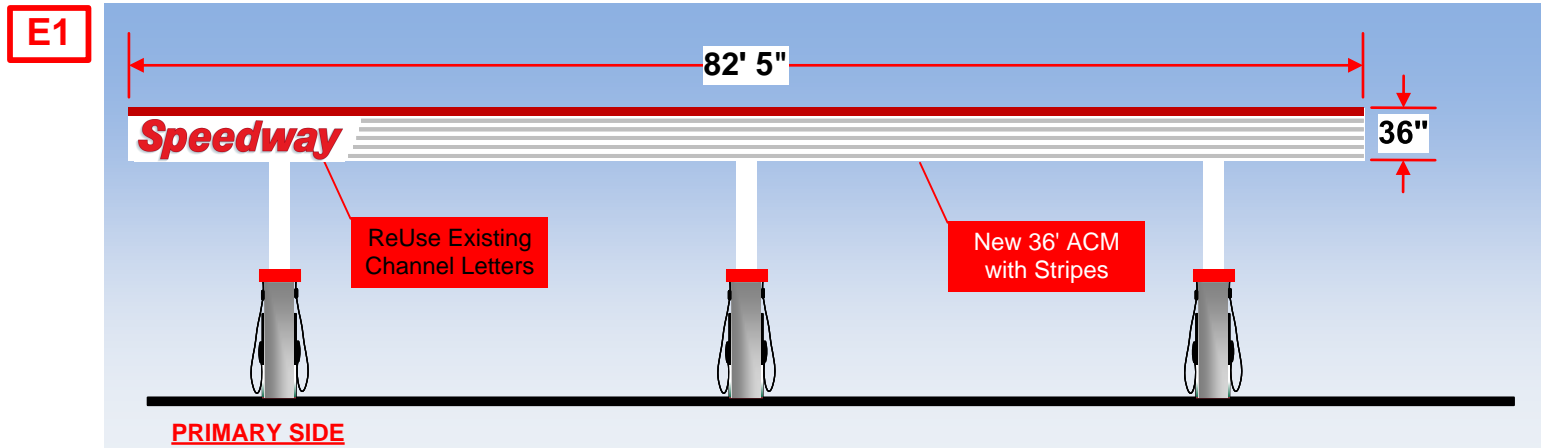
LSI Graphic Solutions
 5127 Boyer Parkway
 Akron, OH 45242
 (330) 494-8515

ORIENTATION MAP

ELEVATIONS 1 through 4



EXISTING CANOPY IMAGE



CANOPY SIGN DETAILS

E1
 (1) REUSE SET OF ILLUMINATED CHANNEL LETTERS
 New ACM Install with Striping

E2
 (1) REUSE SET OF ILLUMINATED CHANNEL LETTERS
 New ACM Install with Striping

E3
 New ACM and with Striping

E4
 (1) REUSE SET OF ILLUMINATED CHANNEL LETTERS
 New ACM Install with Striping

NOTES:
 PAINT COLUMNS WHITE. REUSE ALL CANOPY SIGNAGE. NEW CANOPY FASCIA TO BE 36"

JIMCO TO MANUFACTURE NON ILLUMINATED VINYL TRI-STRIPE ON ACM. SIGN INSTALLER TO INSTALL CANOPY CHANNEL LETTERS

JURISDICTION REQUIREMENTS

FACILITY INFORMATION

7 ELEVEN #46895
 1542 Route 9
 Wappingers Falls NY 12590

Sheet:
 GC-1 (GAS CANOPY IMAGE)

Sheet Revision:
 R0

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 5127 Boyer Parkway
 Akron, OH 45242
 (330) 494-8515

Installing New Dispensers

BRAND CONVERSION DETAILS

EXISTING
QTY (4) – 3+0



EXISTING
QTY (2) – 3+1



PROPOSED
QTY (4) – 3+0



PROPOSED
QTY (2) – 3+1



WILL HAVE TO ADD DIESEL TO
THIS TOPPER

1. (4) NEW ENCORE 700S 3+0 DISPENSERS AND (2) NEW ENCORE 700S 3+1 DISPENSERS TO BE INSTALLED BY OTHERS (AUTHORIZED SERVICE CONTRACTOR)
2. ALL DECALS, VALANCES, PUMP TOP PRICE SIGNS, FIRE EXTINGUISHERS, WARNING SIGNS, ETC TO BE SUPPLIED BY OTHERS AND INSTALLED BY OTHERS.

FACILITY INFORMATION

7 ELEVEN #46895
1542 Route 9
Wappingers Falls NY 12590

Sheet:
D-1 (FUEL DISPENSER IMAGE)
Sheet Revision:
R1

LSI Graphic Solutions
5127 Boyer Parkway
Akron, OH 45242
(330) 494-8515

REVISION LOG

R0	10/27/2023	INITIAL SUBMITTAL
R1	1/8/24	ADDED MID TO SCOPE DIS-1: ADDED PUMP TOPPER TO DISPENSERS

KEYNOTES:

- ACCESSIBLE RESERVED PARKING SIGN AS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES. SEE DETAIL 3/C1.20.
- VAN ACCESSIBLE RESERVED PARKING SPACE WITH PAINTED ACCESSIBILITY SYMBOL AS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES. SEE DETAILS 1/C1.20 AND 2/C1.20.
- 4" PAINTED PARKING STRIPE. COLOR: YELLOW.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING CONCRETE RAMP TO REMAIN.
- NEW CANOPY DECK, DISPENSERS, TANKS, PIPING AND VENTS. REFER TO FUEL DRAWINGS FOR ALL FUEL IMPROVEMENTS.
- CONCRETE DISPENSER MAT. REFER TO FUEL DRAWINGS.
- CONCRETE TANK MAT. REFER TO FUEL DRAWINGS.
- NO WORK TO BE DONE IN STATE RIGHT OF WAY.
- MILL AND OVERLAY EXISTING PAVEMENT. MINIMUM 1" DEPTH.

BULK REGULATIONS		
CURRENT USE	GAS STATION	
CURRENT ZONING	COMMERCIAL MIXED USE - CMU*	
	REQUIRED	PROPOSED
PARKING REQUIREMENTS:		
SPACE REQUIREMENTS	N/A	N/A
NUMBER OF SPACES	N/A	9
MIN. STANDARD SPACE SIZE	9' X 18'	9' X 18'

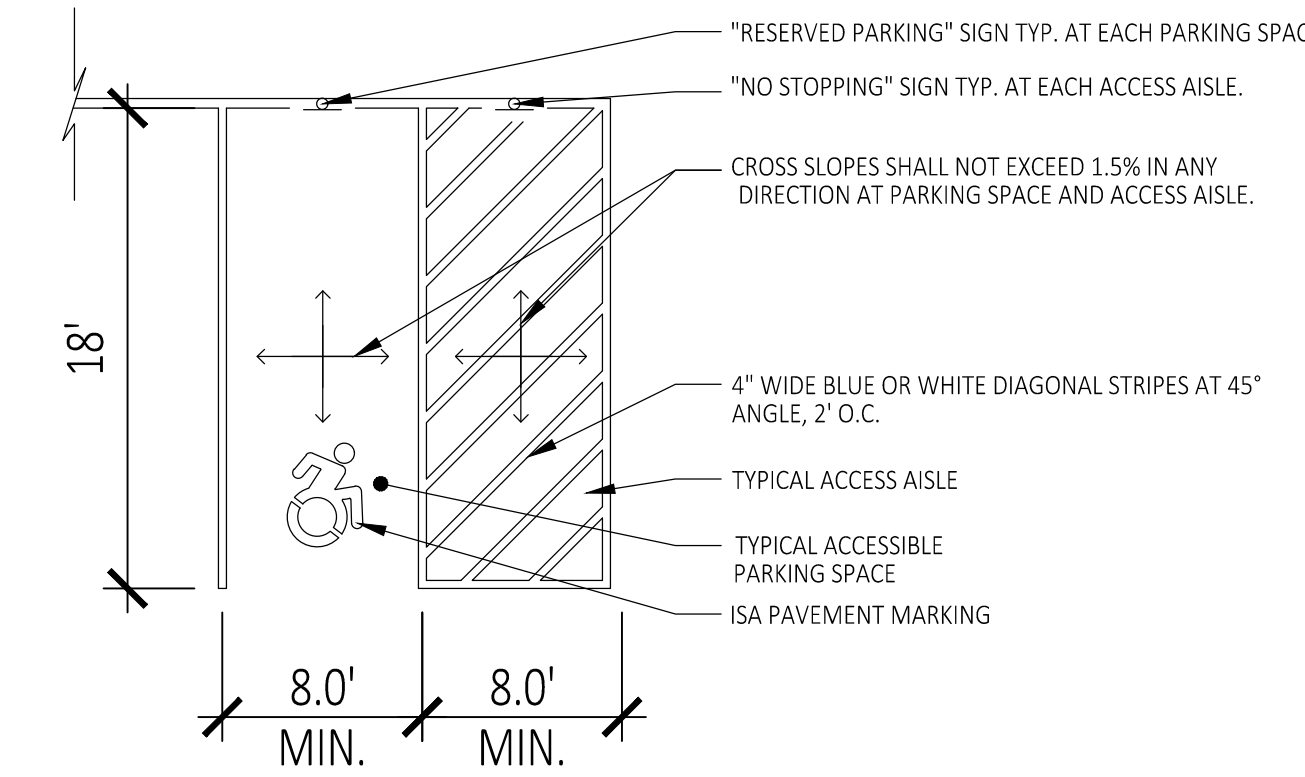
ADA MAXIMUM SLOPE REQUIREMENTS:	
RAMP:	2.0% CROSS SLOPE
	8.33% RUNNING SLOPE
RAMP LANDING:	2.0% SLOPE IN ANY DIRECTION
ACCESSIBLE PATH:	2.0% CROSS SLOPE
	5.0% RUNNING SLOPE
ACCESSIBLE PARKING	2.0% SLOPE IN ANY DIRECTION

*CMU ZONING DISTRICT PER PENDING TOWN ZONING DISTRICT UPDATES, EXISTING ZONING IS VILLAGE COMMERCIAL - VC.

PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL FIELD VERIFY THAT THE SLOPES OF THE ACCESSIBLE PARKING SPACE, PATH, RAMP, AND RAMP LANDINGS ARE IN COMPLIANCE WITH MAXIMUM ADA SLOPES AND MINIMUM ADA DIMENSIONS. THE PROPOSED SITE IMPROVEMENTS ARE TO PROVIDE AN ACCESSIBLE ROUTE AND CAN NOT VIOLATE ADA REGULATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

NOTE: REFER TO CIVIL STANDARD PROTOTYPE SHEET CPC-1 FOR PAVEMENT DETAILS.

NO.	DATE	DESCRIPTION	PLANNING COMMISSION SUBMITTAL					
			0	1	2	3	4	5
0	11.01.2023	PLANNING COMMISSION SUBMITTAL						
1	01.05.2024	PLANNING REVISIONS						
CIVIL								
C1.20		DEVELOPMENT PLAN						
C5.00		SOIL EROSION AND SEDIMENT CONTROL PLAN						
C5.01		SESC DETAILS						



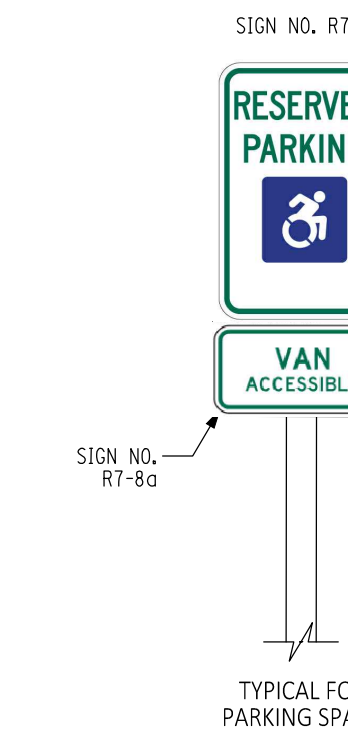
NOTES:

- LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.
- DIMENSIONS - ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 8' WIDE AND SHALL HAVE AN ADJACENT ACCESS AISLE 8' WIDE MEASURED PERPENDICULAR TO THE STALL STRIPE TO ACCOMMODATE VANS WITH LIFTS.
- COMMON ACCESS AISLES FOR 90° PARKING - TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. FOR ACUTE ANGLED PARKING, SUCH AS 60° PARKING, OR WHERE ONE WAY DRIVEWAY AISLES WOULD PREVENT VANS WITH PASSENGER SIDE LIFTS FROM BACKING INTO ACCESSIBLE SPACES, AN ACCESSIBLE AISLE MUST BE PROVIDED FOR EACH ACCESSIBLE PARKING SPACE. WIDTH OF ACCESS AISLES AND PARKING SPACES ARE MEASURED PERPENDICULAR TO THE STRIPING.
- SIGNING - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL FOR ACCESS. EACH ACCESS AISLE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS INDICATING THAT STOPPING IS NOT PERMITTED IN THE AISLE. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE POST BASE DETAIL. THE BOTTOMS OF SIGNS LOCATED ON POSTS INSTALLED IN PAVED AREAS SHALL BE 7" MINIMUM ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" MINIMUM ABOVE THE PAVEMENT SURFACE.
- PAVEMENT MARKING COLORS - REQUIRED ACCESSIBLE PARKING SPACE AND ACCESS AISLE STRIPING AND OTHER OPTIONAL PAVEMENT MARKINGS, SUCH AS THE INTERNATIONAL ACCESS SYMBOL, SHALL BE PAINTED BLUE.

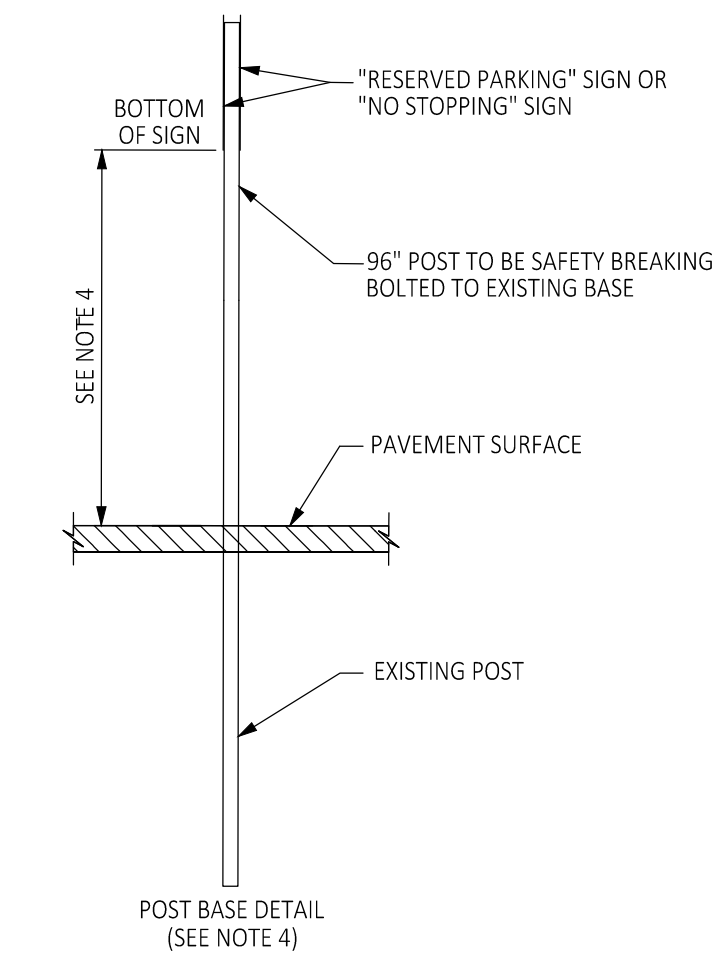
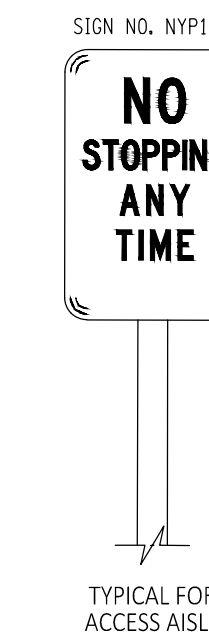
1 TYPICAL ACCESSIBLE PARKING STRIPING
C1.20 NOT TO SCALE



2 ACCESSIBLE PARKING SYMBOL DETAIL
C1.20 NOT TO SCALE



*SIGN IDENTIFICATION BY MUTCD AND NYSDOT STANDARDS.

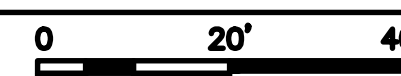


3 ACCESSIBLE PARKING SIGN DETAIL
C1.20 NOT TO SCALE



MONUMENT	UNKNOWN MANHOLE	WATER VALVE
IRON PIPE/REBAR	ELECTRIC MANHOLE	WATER METER
BOOK	SANITARY MANHOLE	FIRE HYDRANT
PAGE	CLEAN OUT	WATER SHUT OFF
FILED MAP	TELEPHONE MANHOLE	WELL
RIGHT OF WAY	STORM MANHOLE	IRRIGATION CONTROL VALVE
SIGN	CATCH BASIN	GAS VALVE
FLAGPOLE	LIGHT POLE	GAS METER
MAILBOX	WALL-MOUNTED LIGHT	UTILITY POLE
DUMPSTER	BOLLARD	GUY WIRE
HANDICAP SYMBOL	TREE	ELECTRIC METER
PROPERTY LINE (PO)	WATER LINE	
PROPERTY LINE	GAS LINE	
SETBACK LINE	ELECTRIC LINE	
WETLANDS BOUNDARY	TELEPHONE LINE	
STREAM OR BROOK	OVERHEAD WIRES	
TREE LINE	SANITARY SEWER	
CHAIN LINK FENCE	STORM SEWER	
WOOD FENCE	GUIDE RAIL	

LEGEND

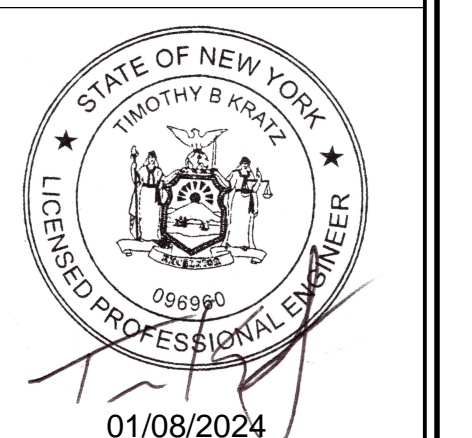


REVISIONS

NO.	DATE	DESCRIPTION
0	11.01.2023	PLANNING COMMISSION SUBMITTAL
1	01.05.2024	PLANNING REVISIONS

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

**STORE 46895
TANK REPLACEMENT**

PROJECT LOCATION

**1542 ROUTE 9
WAPPINGERS FALLS, NY 12590**

(DUTCHESS COUNTY)

SHEET TITLE

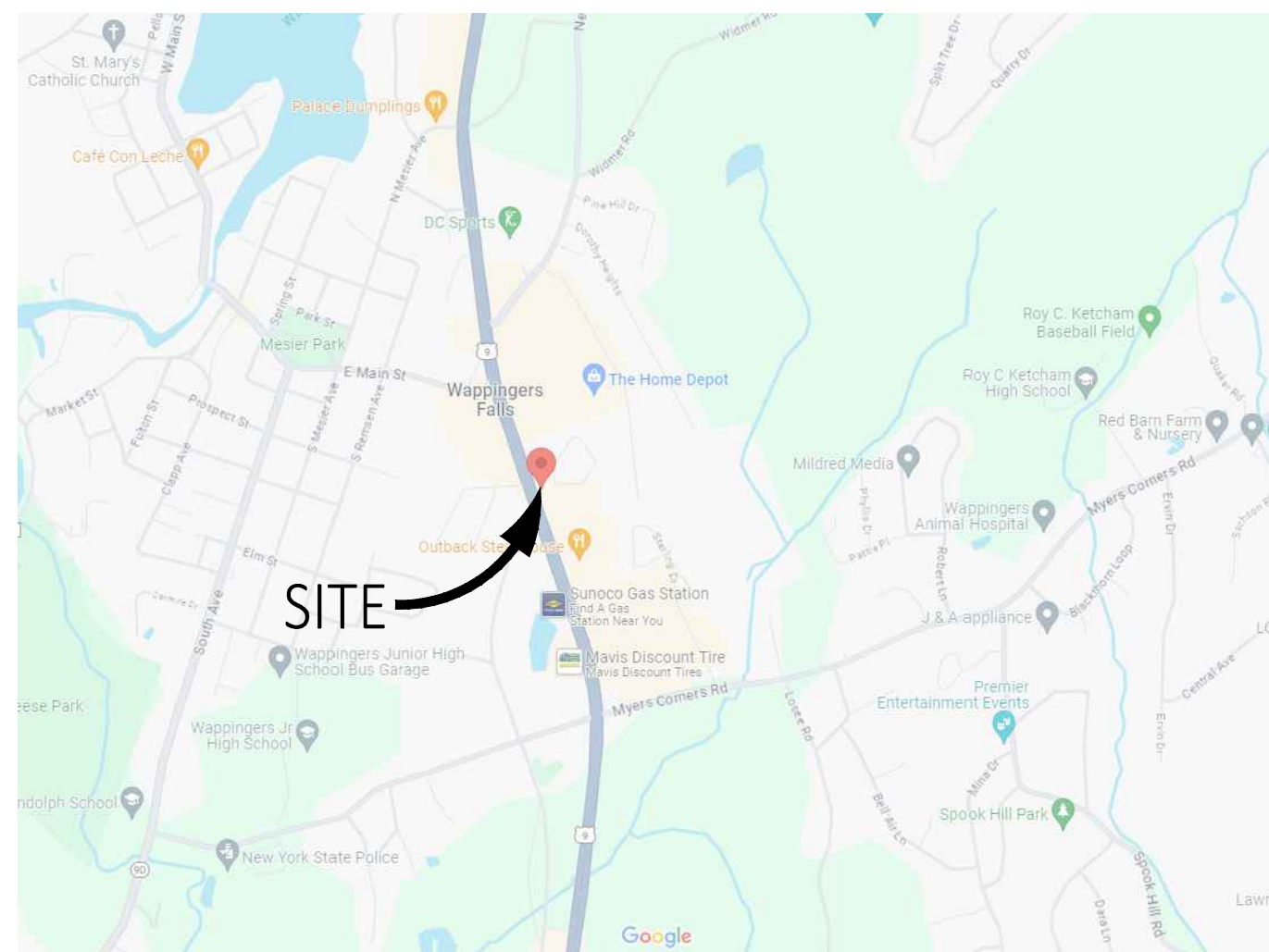
DEVELOPMENT PLAN

SHEET MANAGEMENT

PROJECT NO.: 46895
DATE: 10.31.2023
CRITERIA:
PROJECT MANAGER: K. SCHAWALDER
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SHEET NUMBER

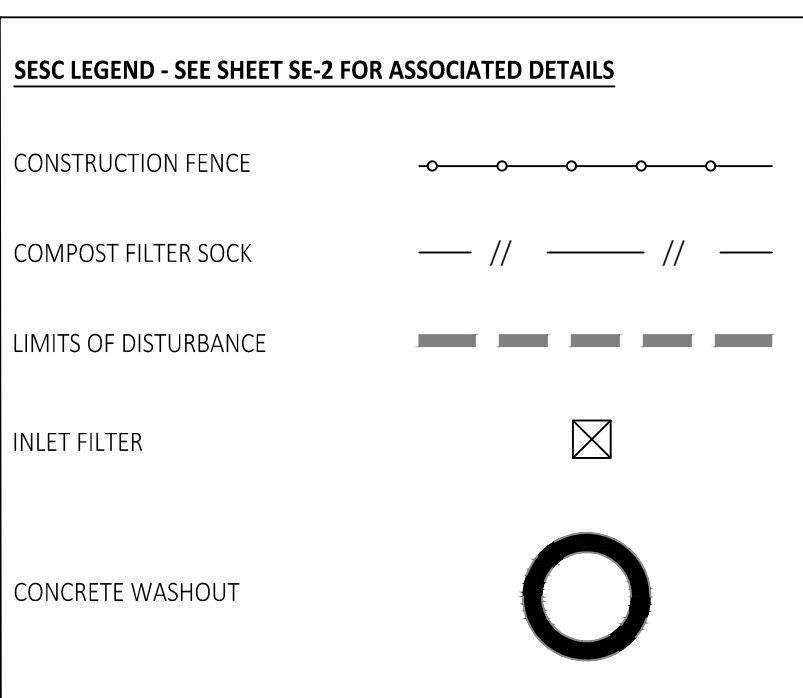
C1.20



LOCATION MAP

MONUMENT	UNKNOWN MANHOLE	WATER VALVE
IRON PIPE/REBAR	ELECTRIC MANHOLE	WATER METER
BOOK	SANITARY MANHOLE	FIRE HYDRANT
PAGE	CLEAN OUT	WATER SHUT OFF
FILED MAP	TELEPHONE MANHOLE	WELL
RIGHT OF WAY	STORM MANHOLE	IRRIGATION CONTROL VALVE
SIGN	CATCH BASIN	GAS VALVE
FLAGPOLE	LIGHT POLE	GAS METER
MAILBOX	WALL-MOUNTED LIGHT	UTILITY POLE
DUMPSTER	BOLLARD	GUY WIRE
HANDICAP SYMBOL	TREE	ELECTRIC METER
PROPERTY LINE (PG)	WATER LINE	
PROPERTY LINE	GAS LINE	
SETBACK LINE	ELECTRIC LINE	
WETLANDS BOUNDARY	TELEPHONE LINE	
STREAM OR BROOK	OVERHEAD WIRES	
TREE LINE	SANITARY SEWER	
CHAIN LINK FENCE	STORM SEWER	
WOOD FENCE	GUIDE RAIL	

LEGEND



CONSTRUCTION SITE DEWATERING NOTES

TAKE CARE WHEN DEWATERING CONSTRUCTION SITES. DO NOT PUMP SEDIMENT-LADEN WATER DIRECTLY TO LAKES, STREAMS, COUNTY DRAINS, STORM DRAINS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS. THE PROPER WAY TO DEWATER A CONSTRUCTION SITE IS AS FOLLOWS:

- PLACE A GEOTEXTILE FILTER BAG OR GEOTUBE ON THE END OF THE DISCHARGE HOSE.
- DISCHARGE DIRECTLY TO A SEDIMENT BASIN.
- DISCHARGE TO A WELL VEGETATED AREA (NOT WETLANDS).
- DISCHARGE INTO A CONSTRUCTED CONTAINMENT AREA.

DISSIPATE ENERGY TO PREVENT SCOURING, AND INSPECT DEWATERING OPERATIONS SEVERAL TIMES DAILY.

CONSTRUCTION SEQUENCE:

1. INSTALL TRAFFIC AND PEDESTRIAN SAFETY BARRICADES.
2. INSTALL TEMPORARY EROSION CONTROL MEASURES. PROTECT ALL AREAS THAT COULD ALLOW SEDIMENT TO MIGRATE OFF-SITE VIA SURFACE RUNOFF, VIA ENCLOSED DRAINAGE SYSTEMS OR VIA TRACKING CAUSED BY CONSTRUCTION EQUIPMENT, ETC. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
3. COMPLETE REQUIRED REMOVALS AND LEGALLY DISPOSE OF DEBRIS AND WASTE OFF-SITE.
4. PERFORM PAVING AND CONSTRUCT SITE IMPROVEMENTS.
5. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DITCHES, SILT FENCING, SEDIMENT TRAPS, ETC. SEED AND MULCH AS REQUIRED.
6. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES PER JURISDICTIONAL AUTHORITY REQUIREMENTS.
7. REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN SITE IS STABILIZED.

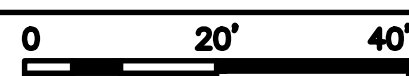
SOIL EROSION AND SEDIMENT CONTROL PLAN KEYNOTES:

1. INSTALL CONSTRUCTION FENCE. CONTRACTOR TO FIELD VERIFY AND COORDINATE LOCATION(S) OF CONSTRUCTION ACCESS GATE(S) WITH OWNER'S REPRESENTATIVE. SEE DETAIL 2/C5.01
2. PROVIDE AND INSTALL CONCRETE WASHOUT AREA. SEE DETAIL 1/C5.01
3. PROVIDE AND INSTALL INLET PROTECTION AT EXISTING CATCH BASIN. SEE DETAIL 5/C5.01
4. PROVIDE, INSTALL, AND MAINTAIN 12" COMPOST FILTER SOCK. SEE DETAIL 3/C5.01



SOIL EROSION AND SEDIMENT CONTROL PLAN

SCALE: 1" = 20'-0"



SOIL EROSION AND SEDIMENT CONTROL AND MAINTENANCE NOTES:

1. A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT, OR SIMILAR PERMIT FROM THE JURISDICTIONAL AUTHORITY, MUST BE SECURED AND POSTED ON-SITE PRIOR TO ANY EARTH CHANGES.
2. ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
3. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. THE GENERAL CONTRACTOR SHALL STAGE ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK AS DIRECTED IN THE DRAWINGS AND PROJECT MANUAL, AND AS OTHERWISE NECESSARY OR APPROPRIATE TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SESC DEVICES.
6. THE GENERAL CONTRACTOR SHALL IMPLEMENT AND MAINTAIN THE SESC MEASURES AS SHOWN IN THE DRAWINGS AND PROJECT MANUAL, AND AT ALL TIMES DURING THE CONSTRUCTION OF THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SESC MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR AS DIRECTED BY THE JURISDICTIONAL AUTHORITY.
7. IF ANY OF THE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE JURISDICTIONAL AUTHORITY HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE GENERAL CONTRACTOR.
8. THE GENERAL CONTRACTOR SHALL INSPECT THE SESC DEVICES ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. A LOG OF INSPECTION REPORTS SHALL BE MAINTAINED AND ACCESSIBLE IN ACCORDANCE WITH NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. ANY REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
9. INSTALL SILT FENCE AS INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PER ATTACHED DETAILS, AND AT ADDITIONAL AFFECTED AREAS AS NECESSARY.
 - A. SILT FENCE SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - B. BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATED TO 1/3 OF THE HEIGHT OF THE SILT FENCE.
 - C. IF SILT FENCE DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY.
10. INSTALL INLET FILTERS ON ALL PAVEMENT CATCH BASINS PER DETAIL.
 - A. INLET FILTERS SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - B. BUILD-UP OF SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY.
 - C. IF FILTER FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FABRIC SHALL BE REPLACED PROMPTLY.
11. INSTALL DRAIN GUARD ON ALL CATCH BASINS PER DETAIL, SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.
 - A. DRAIN GUARDS SHALL BE INSPECTED ONCE A WEEK UNDER ANY CIRCUMSTANCES, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT.
 - B. BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE.
 - C. IF FILTER FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FABRIC SHALL BE REPLACED PROMPTLY.
12. ALL STOCKPILED SOILS SHALL BE MAINTAINED IN SUCH A WAY AS TO PREVENT EROSION FROM LEAVING THE SITE. SILT FENCE MUST BE INSTALLED AROUND THE PERIMETER OF THE STOCKPILE. IF THE STOCKPILE WILL BE ON SITE FOR MORE THAN 30 DAYS, THE STOCKPILE MUST BE SEEDED.
 - A. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW, SPREAD UNIFORMLY AT THE RATE OF 1 TO 2 TONS PER ACRE OR 100 POUNDS (2-3 BALES) PER 1000 SQUARE FEET.
 - B. THE MULCH SHOULD BE ANCHORED WITH DISC TYPE MULCH ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE JURISDICTIONAL AUTHORITY. MULCH MATTING MAY BE USED IN LIEU OF LOOSE MULCH.
13. IF ANY PUMP-DRIVEN DEWATERING IS NEEDED, IT SHALL BE DISCHARGED THROUGH A FILTER BAG OVER A WELL-VEGETATED AREA. THE PUMP MUST DISCHARGE AT A NON-EROSIVE VELOCITY. IF NECESSARY, AN APPROVED ENERGY DISSIPATER MAY BE USED. IF ANY DEWATERING IS NEEDED OR ANTICIPATED, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN FOR REVIEW.
14. CONSTRUCTION ACCESS TO BE FROM THE EXISTING APPROACH, OR OTHER EXPRESSLY DESIGNATED AREA. NO ACCESS SHOULD BE MADE FROM ADJACENT PROPERTIES WITHOUT PRIOR CONSENT.
15. ALL MUD, DIRT, AND DEBRIS TRACKED ONTO ANY ROADWAY SHALL BE REMOVED IMMEDIATELY BY THE GENERAL CONTRACTOR.
16. STREETS AND/OR PARKING AREAS WILL BE SCRAPED AND SWEEPED ON A DAILY BASIS BY THE GENERAL CONTRACTOR.
17. ALL DISTURBED AREAS SHALL BE MAINTAINED FOR DUST CONTROL. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES AND USED ON HAUL ROADS, ON-SITE DISTURBED AREAS, AND OTHER AREAS WHERE DUST BECOMES A PROBLEM AS A RESULT OF CONSTRUCTION ACTIVITY.
18. PERMANENT SESC MEASURES FOR ANY DISTURBED LAND AREA SHALL BE COMPLETED BY THE GENERAL CONTRACTOR WITHIN FIVE (5) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER EARTH CHANGE ACTIVITY CEASES, TEMPORARY SESC MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SESC MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SESC MEASURES ARE IMPLEMENTED.
19. THE GENERAL CONTRACTOR SHALL FINAL GRADE, ESTABLISH VEGETATION, AND/OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON.
20. THE GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY SESC DEVICES AFTER PERMANENT STABILIZATION IS ESTABLISHED.
21. 3-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
22. SLOPES STEEPER THAN 1V:6H (16%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.
23. EXISTING DRAINAGE OUTLET FOR SITE: EXISTING STORM WATER MANAGEMENT SYSTEM CAPTURES RUNOFF ON-SITE ALONG THE WESTERN PROPERTY LINES. THE EXISTING SYSTEM CONNECTS TO THE STATE ROUTE 9 STORM WATER MANAGEMENT SYSTEM.
24. PROPOSED DRAINAGE OUTLET FOR SITE: NO CHANGE PROPOSED FOR DRAINAGE PATTERNS AND OUTLET
25. TOTAL AREA OF DISTURBANCE: 0.34± AC
26. SOIL TYPE(S): U; URBAN LAND
27. NAME OF AND DISTANCE TO NEAREST LAKE, STREAM, OR DRAIN: WAPPINGERS CREEK, LOWER, AND MINOR TRIBS - 1,580 FT



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Downers Grove, IL 60515
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REVISIONS

NO.	DATE	DESCRIPTION
1	01.05.2024	PLANNING REVISIONS

CONSULTANT

SEAL



CUSTOMER



PROJECT DESCRIPTION

STORE 46895
TANK REPLACEMENT

PROJECT LOCATION

1542 ROUTE 9
WAPPINGERS FALLS, NY 12590

(DUTCHESS COUNTY)

SHEET TITLE

SOIL EROSION
AND SEDIMENT
CONTROL PLAN

SHEET MANAGEMENT

PROJECT NO.: 46895
DATE: 10.31.2023
CRITERIA:
PROJECT MANAGER: K. SCHAWALDER
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SHEET NUMBER

C5.00



7-ELEVEN Canopy Project – 2023 SPEEDWAY Reimage

Canopy Reimage, New Dispensers

PROJECT LOCATION

7 ELEVEN #46895
 1542 Route 9
 Wappingers Falls NY 12590



SCOPE OVERVIEW

1. Canopy Reimage
2. New Dispenser

DRAWING LIST

- COVER
- SP-1 (SIGN PLAN)
- B-1 (BUILDING)
- GC-1 (GAS CANOPY IMAGE)
- D-1 (FUEL DISPENSER IMAGE)

FACILITY INFORMATION

7 ELEVEN #46895
 1542 Route 9
 Wappingers Falls NY 12590

PERMITTING INFORMATION

Jurisdiction:
 Dutchess
Zoning Classification:
 CMU
PIN Recorder/ Parcel ID:

Sheet:
 Cover
Drawing Set Revision:
 R1



LSI Graphic Solutions
 5127 Boyer Parkway
 Akron, OH 45242
 (330) 494-8515

Project: Canopy Reimage

Drawn By: Kevin Sommer

Date: 10/27/2023

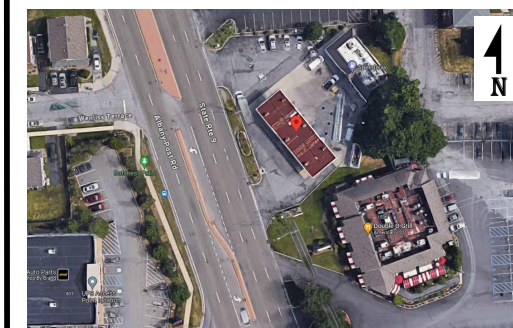
Approved By Wassie Lind

Date: 11/9/23

**BRAND CONVERSION
DETAILS**

**JURISDICTION
REQUIREMENTS**


SIGN LOCATION MAP



FACILITY INFORMATION

7 ELEVEN #46895
1542 Route 9
Wappingers Falls NY 12590

Sheet:
B-1 (BUILDING SIGNS)
Sheet Revision:
R0

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Akron, OH 45242
(330) 494-8515

Existing Building – NO SCOPE of WORK

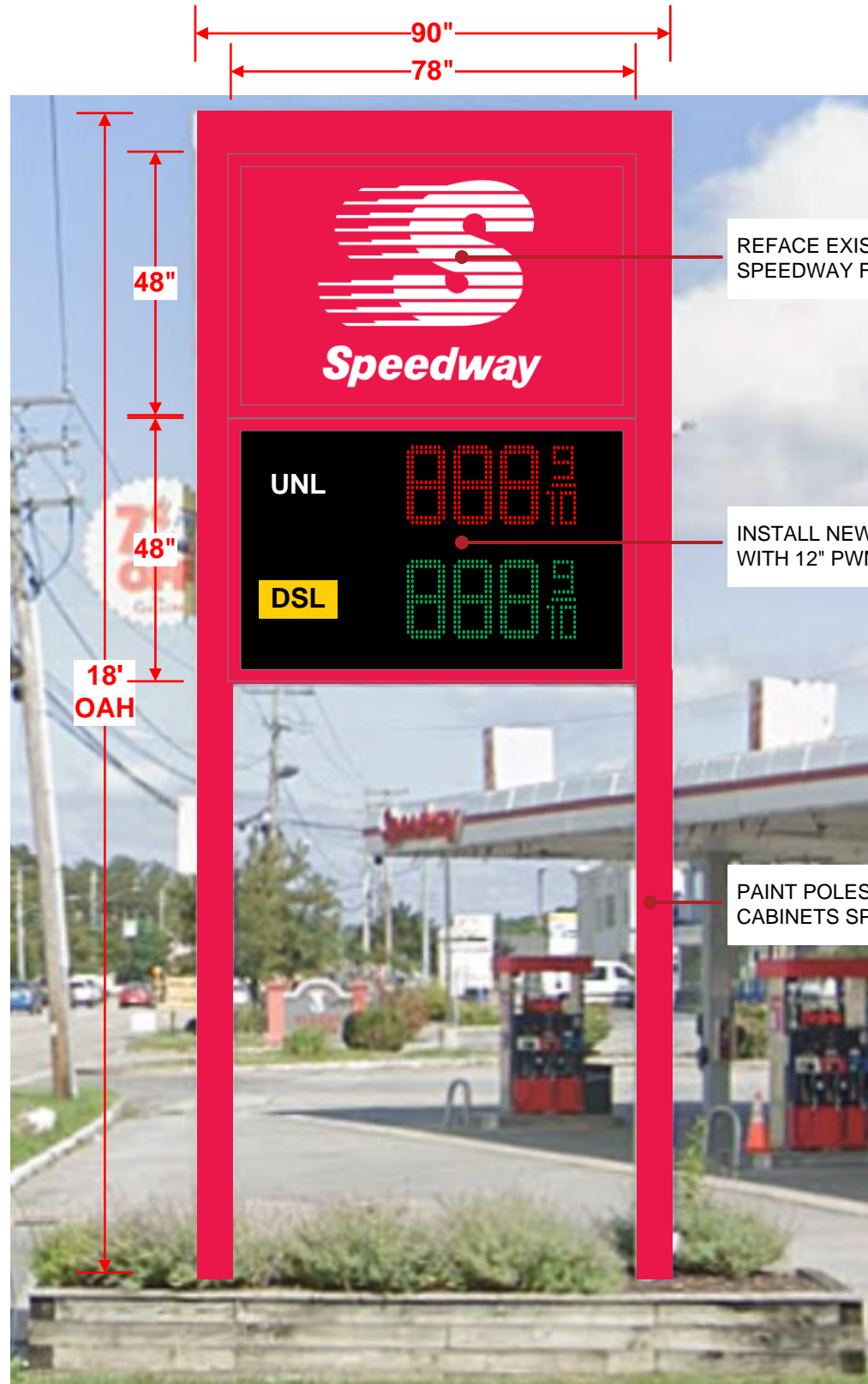


B **PROPOSED MAIN ID SIGN (52 SF)**
 Speedway Cabinet = 78" X 48" = 26 SF
 Price Cabinet = 78" X 48" = 26 SF



B **PROPOSED MAIN ID SIGN (52 SF)**
 Speedway Cabinet = 78" X 48" = 26 SF
 Price Cabinet = 78" X 48" = 26 SF

THIS IS A REFACE OF EXISTING SIGN



REFACE EXISTING CABINET WITH NEW SPEEDWAY FACES

INSTALL NEW FUEL GRADE CABINET WITH 12" PWM DIGITS

PAINT POLES, RETAINERS AND CABINETS SPEEDWAY APPROVED RED

BRAND CONVERSION DETAILS

1. REFACE EXISTING CABINET WITH NEW SPEEDWAY FACES
2. INSTALL NEW FUEL GRADE CABINET WITH 12" PWM DIGITS
3. PAINT POLES, RETAINERS AND CABINETS SPEEDWAY APPROVED RED

JURISDICTION REQUIREMENTS

36 SF
 15 FT
 LED'S ALLOWED.
 CAN BE REFACED.

SIGN LOCATION MAP EXISTING MAIN ID SIGN



FACILITY INFORMATION

7 ELEVEN #46895
 1542 Route 9
 Wappingers Falls NY 12590

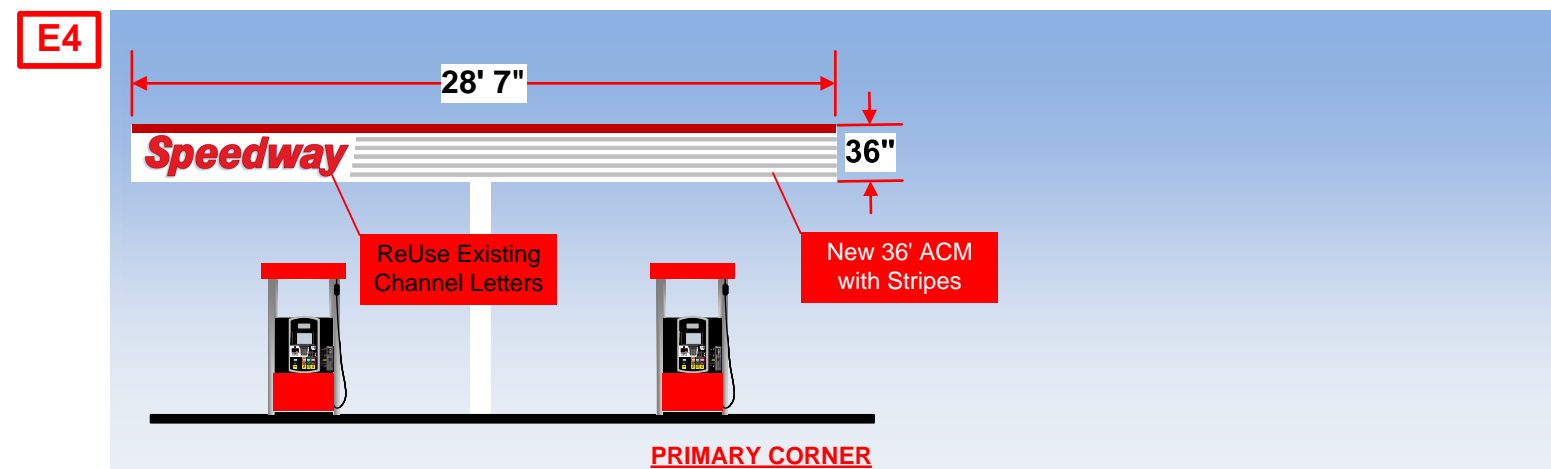
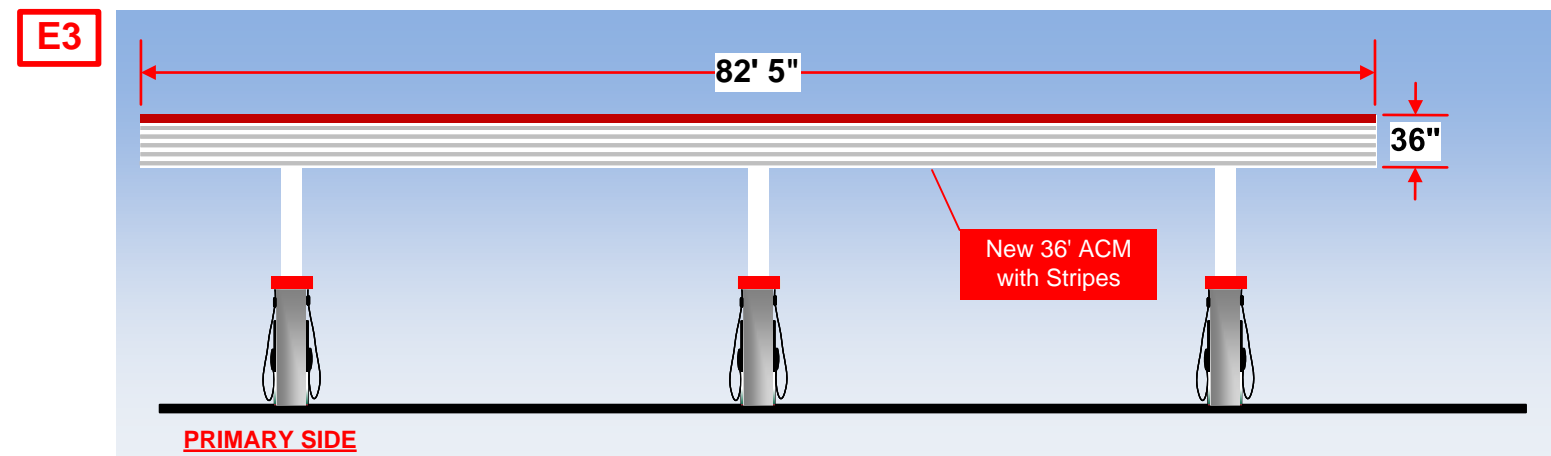
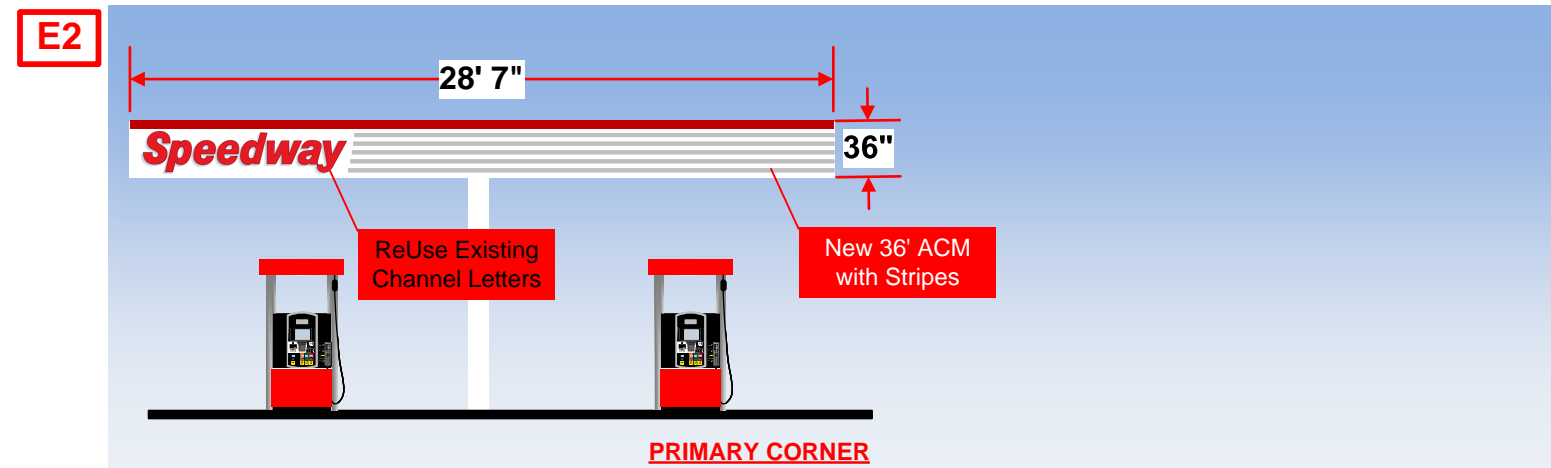
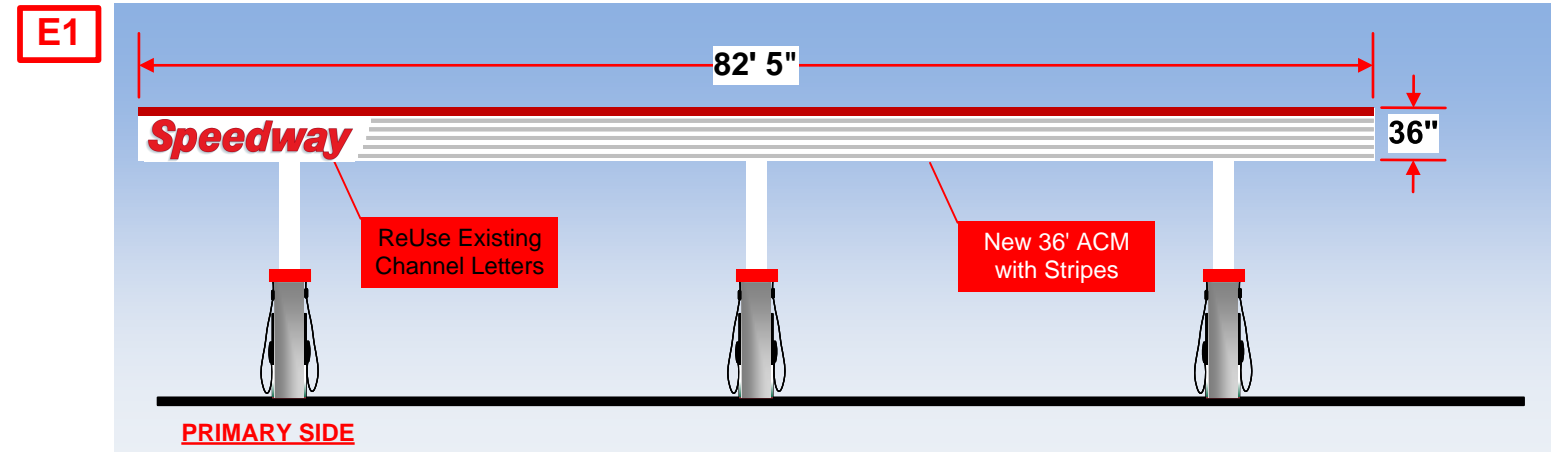
Sheet:
 S-1 (MAIN ID SIGN)
Sheet Revision:
 R1

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ORIENTATION MAP
ELEVATIONS 1 through 4



EXISTING CANOPY IMAGE



CANOPY SIGN DETAILS

E1
 (1) REUSE SET OF ILLUMINATED CHANNEL LETTERS
 New ACM Install with Striping

E2
 (1) REUSE SET OF ILLUMINATED CHANNEL LETTERS
 New ACM Install with Striping

E3
 New ACM and with Striping

E4
 (1) REUSE SET OF ILLUMINATED CHANNEL LETTERS
 New ACM Install with Striping

NOTES:
 PAINT COLUMNS WHITE. REUSE ALL CANOPY SIGNAGE. NEW CANOPY FASCIA TO BE 36"

JIMCO TO MANUFACTURE NON ILLUMINATED VINYL TRI-STRIPE ON ACM. SIGN INSTALLER TO INSTALL CANOPY CHANNEL LETTERS


JURISDICTION REQUIREMENTS

FACILITY INFORMATION

7 ELEVEN #46895
 1542 Route 9
 Wappingers Falls NY 12590

Sheet:
 GC-1 (GAS CANOPY IMAGE)

Sheet Revision:
 R0

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Installing New Dispensers

BRAND CONVERSION DETAILS

EXISTING
QTY (4) – 3+0



EXISTING
QTY (2) – 3+1



PROPOSED
QTY (4) – 3+0



PROPOSED
QTY (2) – 3+1



WILL HAVE TO ADD DIESEL TO
THIS TOPPER

1. (4) NEW ENCORE 700S 3+0 DISPENSERS AND (2) NEW ENCORE 700S 3+1 DISPENSERS TO BE INSTALLED BY OTHERS (AUTHORIZED SERVICE CONTRACTOR)
2. ALL DECALS, VALANCES, PUMP TOP PRICE SIGNS, FIRE EXTINGUISHERS, WARNING SIGNS, ETC TO BE SUPPLIED BY OTHERS AND INSTALLED BY OTHERS.

FACILITY INFORMATION

7 ELEVEN #46895
1542 Route 9
Wappingers Falls NY 12590

Sheet:
D-1 (FUEL DISPENSER IMAGE)
Sheet Revision:
R1

LSI Graphic Solutions
5127 Boyer Parkway
Akron, OH 45242
(330) 494-8515

REVISION LOG

R0	10/27/2023	INITIAL SUBMITTAL
R1	1/8/24	ADDED MID TO SCOPE DIS-1: ADDED PUMP TOPPER TO DISPENSERS

KEYNOTES:

- ACCESSIBLE RESERVED PARKING SIGN AS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES. SEE DETAIL 3/C1.20.
- VAN ACCESSIBLE RESERVED PARKING SPACE WITH PAINTED ACCESSIBILITY SYMBOL AS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES. SEE DETAILS 1/C1.20 AND 2/C1.20.
- 4" PAINTED PARKING STRIPE. COLOR: YELLOW.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING CONCRETE RAMP TO REMAIN.
- NEW CANOPY DECK, DISPENSERS, TANKS, PIPING AND VENTS. REFER TO FUEL DRAWINGS FOR ALL FUEL IMPROVEMENTS.
- CONCRETE DISPENSER MAT. REFER TO FUEL DRAWINGS.
- CONCRETE TANK MAT. REFER TO FUEL DRAWINGS.
- NO WORK TO BE DONE IN STATE RIGHT OF WAY.
- MILL AND OVERLAY EXISTING PAVEMENT. MINIMUM 1" DEPTH.

BULK REGULATIONS		
CURRENT USE	GAS STATION	
CURRENT ZONING	COMMERCIAL MIXED USE - CMU*	
	REQUIRED	PROPOSED
PARKING REQUIREMENTS:		
SPACE REQUIREMENTS	N/A	N/A
NUMBER OF SPACES	N/A	9
MIN. STANDARD SPACE SIZE	9' X 18'	9' X 18'

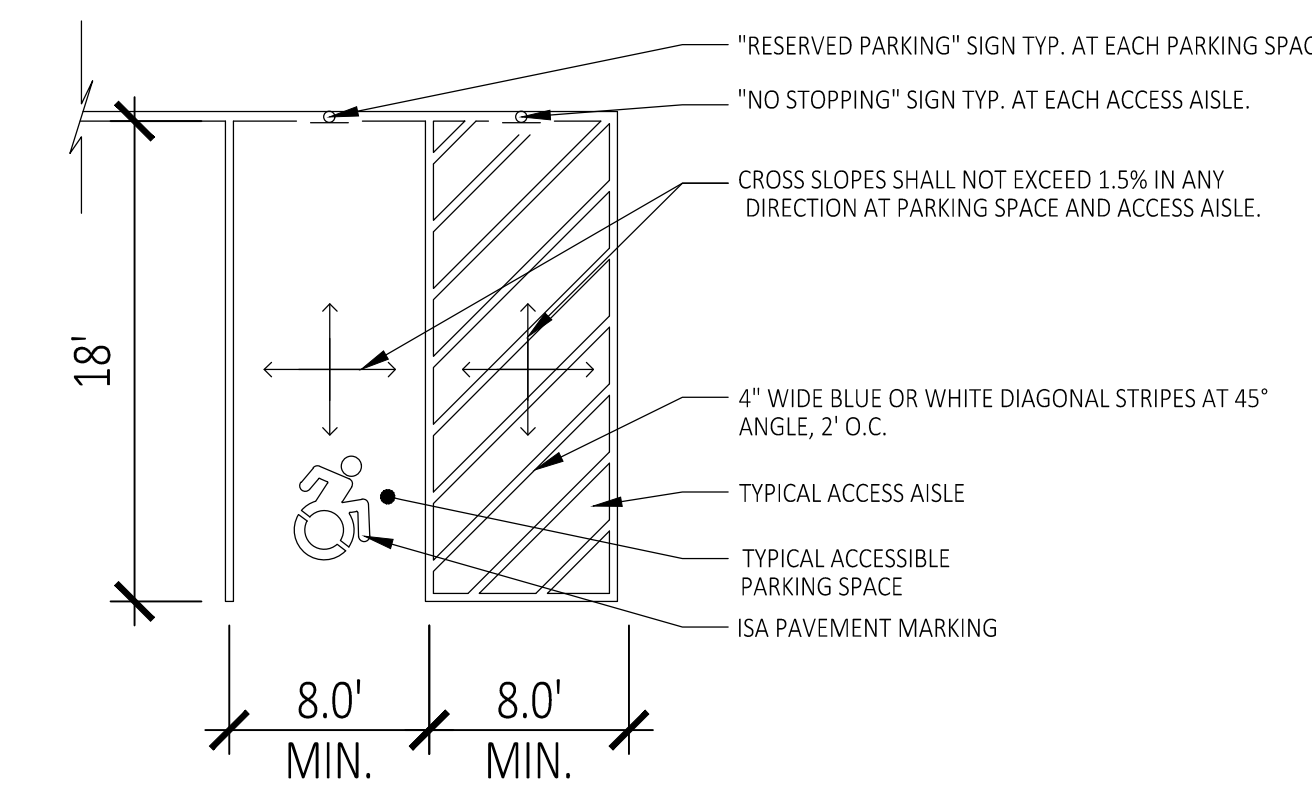
ADA MAXIMUM SLOPE REQUIREMENTS:	
RAMP:	2.0% CROSS SLOPE
	8.33% RUNNING SLOPE
RAMP LANDING:	2.0% SLOPE IN ANY DIRECTION
ACCESSIBLE PATH:	2.0% CROSS SLOPE
	5.0% RUNNING SLOPE
ACCESSIBLE PARKING	2.0% SLOPE IN ANY DIRECTION

*CMU ZONING DISTRICT PER PENDING TOWN ZONING DISTRICT UPDATES, EXISTING ZONING IS VILLAGE COMMERCIAL - VC.

PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL FIELD VERIFY THAT THE SLOPES OF THE ACCESSIBLE PARKING SPACE, PATH, RAMPS, AND RAMP LANDINGS ARE IN COMPLIANCE WITH MAXIMUM ADA SLOPES AND MINIMUM ADA DIMENSIONS. THE PROPOSED SITE IMPROVEMENTS ARE TO PROVIDE AN ACCESSIBLE ROUTE AND CAN NOT VIOLATE ADA REGULATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

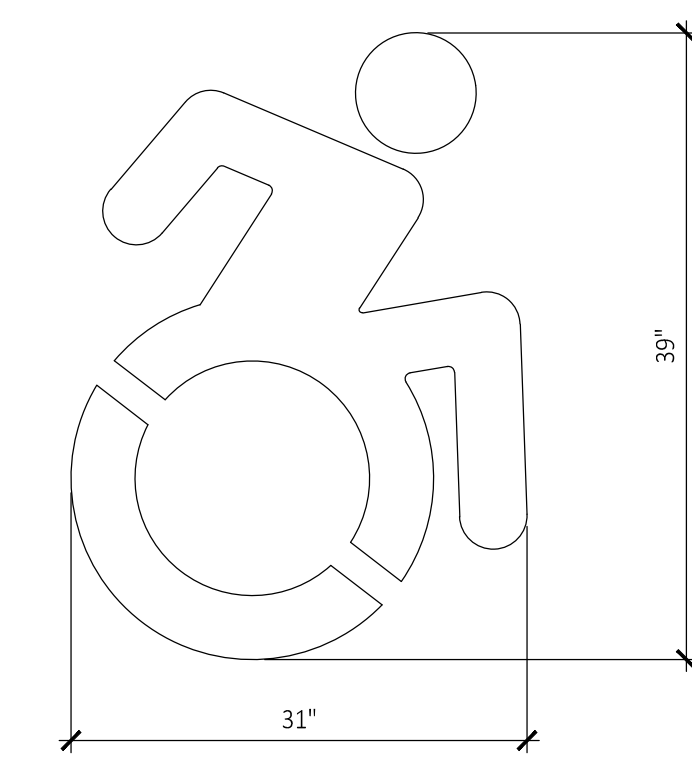
NOTE: REFER TO CIVIL STANDARD PROTOTYPE SHEET CPC-1 FOR PAVEMENT DETAILS.

NO.	DATE	DESCRIPTION	PLANNING COMMISSION SUBMITTAL					
			0	1	2	3	4	5
0	11.01.2023	PLANNING COMMISSION SUBMITTAL						
1	01.05.2024	PLANNING REVISIONS						
CIVIL								
C1.20		DEVELOPMENT PLAN						
C5.00		SOIL EROSION AND SEDIMENT CONTROL PLAN						
C5.01		SESC DETAILS						

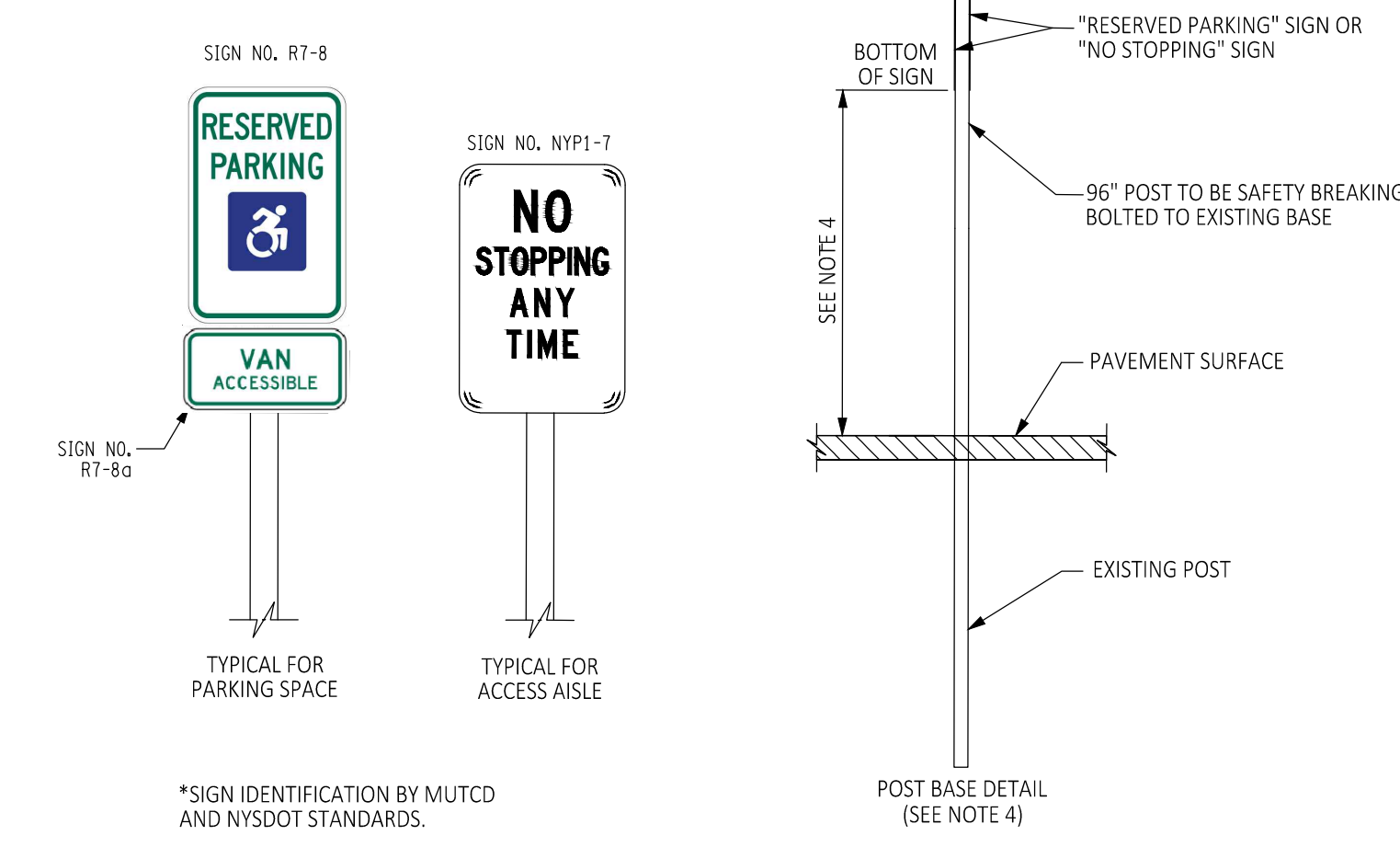


- NOTES:
- LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.
 - DIMENSIONS - ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 8' WIDE AND SHALL HAVE AN ADJACENT ACCESS AISLE 8' WIDE MEASURED PERPENDICULAR TO THE STALL STRIPE TO ACCOMMODATE VANS WITH LIFTS.
 - COMMON ACCESS AISLES FOR 90° PARKING - TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. FOR ACUTE ANGLED PARKING, SUCH AS 60° PARKING, OR WHERE ONE WAY DRIVEWAY AISLES WOULD PREVENT VANS WITH PASSENGER SIDE LIFTS FROM BACKING INTO ACCESSIBLE SPACES, AN ACCESSIBLE AISLE MUST BE PROVIDED FOR EACH ACCESSIBLE PARKING SPACE. WIDTH OF ACCESS AISLES AND PARKING SPACES ARE MEASURED PERPENDICULAR TO THE STRIPING.
 - SIGNING - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL FOR ACCESS. EACH ACCESS AISLE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS INDICATING THAT STOPPING IS NOT PERMITTED IN THE AISLE. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE POST BASE DETAIL. THE BOTTOMS OF SIGNS LOCATED ON POSTS INSTALLED IN PAVED AREAS SHALL BE 7" MINIMUM ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" MINIMUM ABOVE THE PAVEMENT SURFACE.
 - PAVEMENT MARKING COLORS - REQUIRED ACCESSIBLE PARKING SPACE AND ACCESS AISLE STRIPING AND OTHER OPTIONAL PAVEMENT MARKINGS, SUCH AS THE INTERNATIONAL ACCESS SYMBOL, SHALL BE PAINTED BLUE.

1 TYPICAL ACCESSIBLE PARKING STRIPING
NOT TO SCALE



2 ACCESSIBLE PARKING SYMBOL DETAIL
NOT TO SCALE



3 ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



MONUMENT	UNKNOWN MANHOLE	WATER VALVE
IRON PIPE/REBAR	ELECTRIC MANHOLE	WATER METER
BOOK	SANITARY MANHOLE	FIRE HYDRANT
PAGE	CLEAN OUT	WATER SHUT OFF
FILED MAP	TELEPHONE MANHOLE	WELL
RIGHT OF WAY	STORM MANHOLE	IRRIGATION CONTROL VALVE
SIGN	CATCH BASIN	GAS VALVE
FLAGPOLE	LIGHT POLE	GAS METER
MAILBOX	WALL-MOUNTED LIGHT	UTILITY POLE
DUMPSTER	BOLLARD	GUY WIRE
HANDICAP SYMBOL	TREE	ELECTRIC METER
PROPERTY LINE (PO)	WATER LINE	
PROPERTY LINE	GAS LINE	
SETBACK LINE	ELECTRIC LINE	
WETLANDS BOUNDARY	TELEPHONE LINE	
STREAM OR BROOK	OVERHEAD WIRES	
TREE LINE	SANITARY SEWER	
CHAIN LINK FENCE	STORM SEWER	
WOOD FENCE	GUIDE RAIL	

LEGEND



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 INTEGRITY | RESPECT | TEAMWORK | EXCELLENCE | CHARITY

REVISIONS		
NO.	DATE	DESCRIPTION
0	11.01.2023	PLANNING COMMISSION SUBMITTAL
1	01.05.2024	PLANNING REVISIONS

CONSULTANT

CUSTOMER

PROJECT DESCRIPTION

STORE 46895
TANK REPLACEMENT

PROJECT LOCATION

1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
 (DUTCHESS COUNTY)

SHEET TITLE

DEVELOPMENT PLAN

SHEET MANAGEMENT

PROJECT NO.: 46895
 DATE: 10.31.2023
 CRITERIA:
 PROJECT MANAGER: K. SCHAWALDER

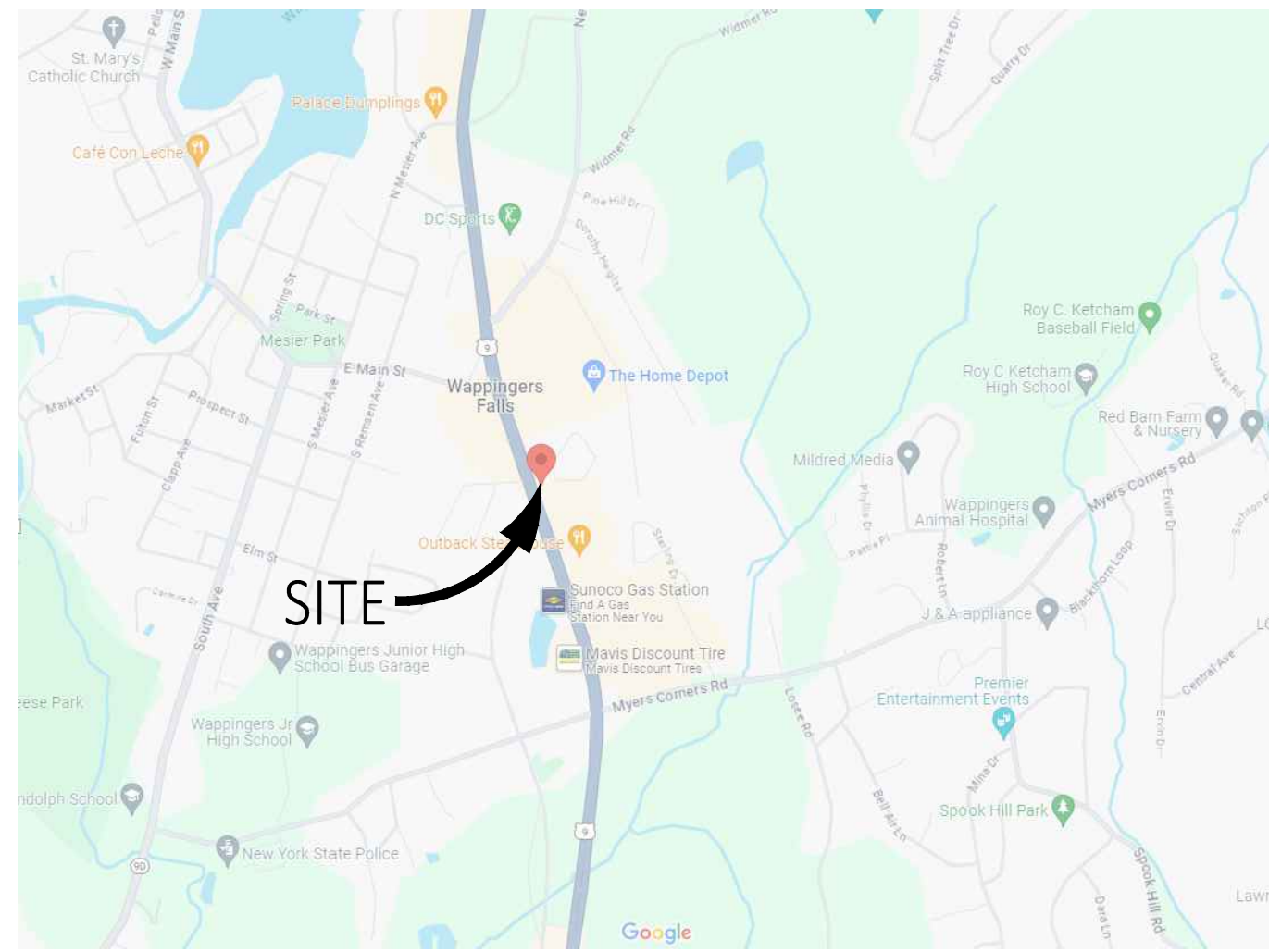
SHEET NUMBER

C1.20

DEVELOPMENT PLAN

SCALE: 1" = 20'-0"

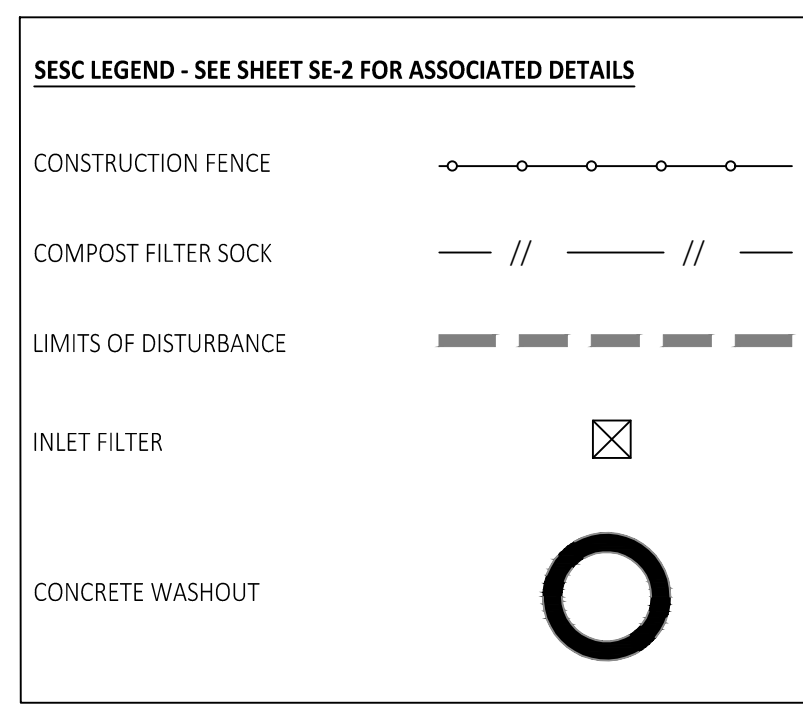
FILE NAME: Y:\Shared\Clients\7-11\2022\North East Tank Replacement\2023 NE Fuel Projects\46895 Wappingers Falls, NY - Tank Replacement\05\Conduct\C1.20.dwg LAST SAVED BY: Jamerson, Austin LAST SAVED DATE: 1/4/2024 4:17 PM PLOTTED: 1/5/2024 11:28 AM



LOCATION MAP

MONUMENT	UNKNOWN MANHOLE	WATER VALVE
IRON PIPE/REBAR	ELECTRIC MANHOLE	WATER METER
BOOK	SANITARY MANHOLE	FIRE HYDRANT
PAGE	CLEAN OUT	WATER SHUT OFF
FILED MAP	TELEPHONE MANHOLE	WELL
RIGHT OF WAY	STORM MANHOLE	IRRIGATION CONTROL VALVE
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WETLANDS BOUNDARY	TELEPHONE LINE	
STREAM OR BROOK	OVERHEAD WIRES	
TREE LINE	SANITARY SEWER	
CHAIN LINK FENCE	STORM SEWER	
WOOD FENCE	GUIDE RAIL	

LEGEND



CONSTRUCTION SITE DEWATERING NOTES

TAKE CARE WHEN DEWATERING CONSTRUCTION SITES. DO NOT PUMP SEDIMENT-LADEN WATER DIRECTLY TO LAKES, STREAMS, COUNTY DRAINS, STORM DRAINS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS. THE PROPER WAY TO DEWATER A CONSTRUCTION SITE IS AS FOLLOWS:

- PLACE A GEOTEXTILE FILTER BAG OR GEOTUBE ON THE END OF THE DISCHARGE HOSE.
- DISCHARGE DIRECTLY TO A SEDIMENT BASIN.
- DISCHARGE TO A WELL VEGETATED AREA (NOT WETLANDS).
- DISCHARGE INTO A CONSTRUCTED CONTAINMENT AREA.

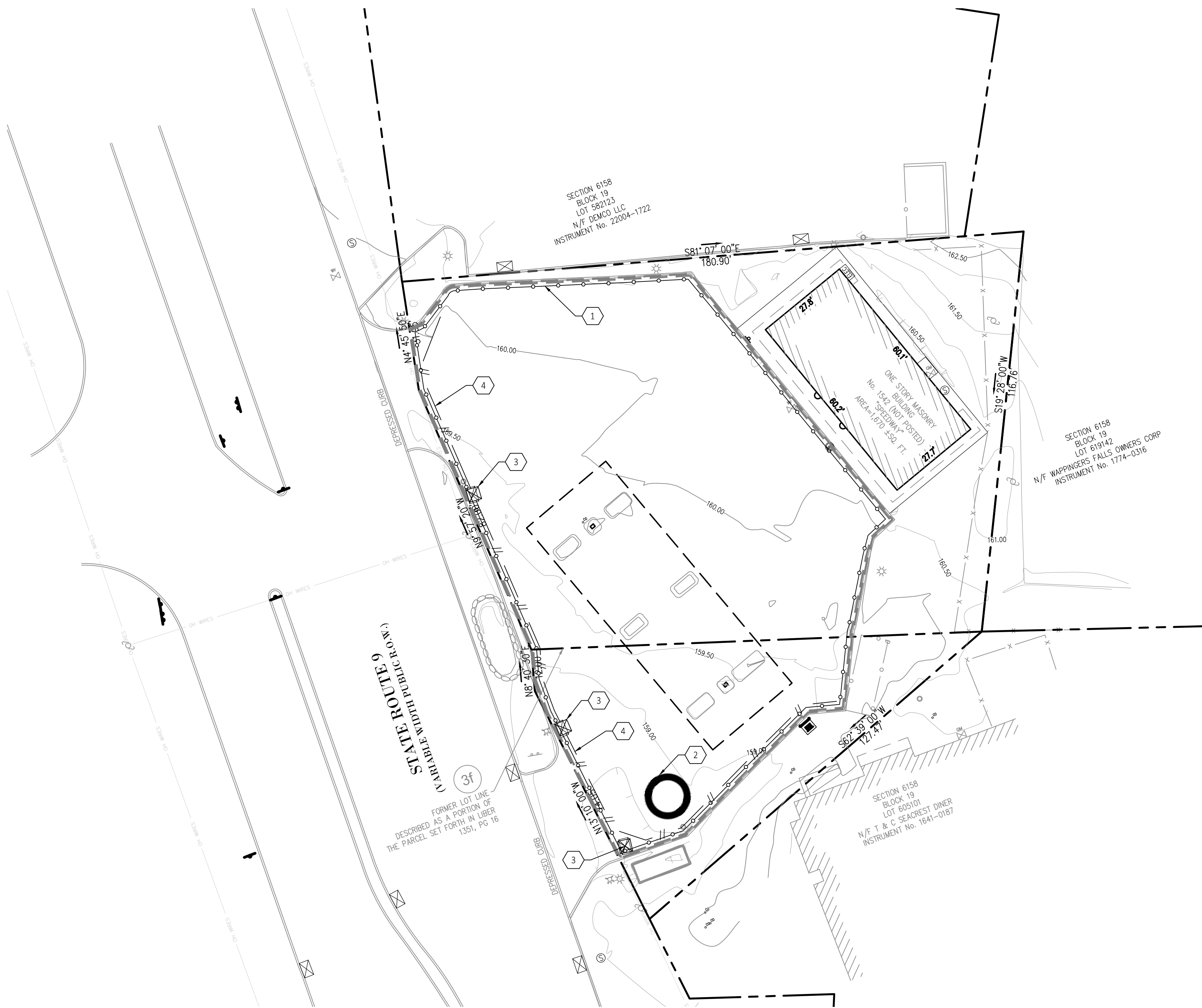
DISSIPATE ENERGY TO PREVENT SCOURING, AND INSPECT DEWATERING OPERATIONS SEVERAL TIMES DAILY.

CONSTRUCTION SEQUENCE:

- INSTALL TRAFFIC AND PEDESTRIAN SAFETY BARRICADES.
- INSTALL TEMPORARY EROSION CONTROL MEASURES. PROTECT ALL AREAS THAT COULD ALLOW SEDIMENT TO MIGRATE OFF-SITE VIA SURFACE RUNOFF, VIA ENCLOSED DRAINAGE SYSTEMS OR VIA TRACKING CAUSED BY CONSTRUCTION EQUIPMENT, ETC. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- COMPLETE REQUIRED REMOVALS AND LEGALLY DISPOSE OF DEBRIS AND WASTE OFF-SITE.
- PERFORM PAVING AND CONSTRUCT SITE IMPROVEMENTS.
- DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DITCHES, SILT FENCING, SEDIMENT TRAPS, ETC. SEED AND MULCH AS REQUIRED.
- INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES PER JURISDICTIONAL AUTHORITY REQUIREMENTS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN SITE IS STABILIZED.

SOIL EROSION AND SEDIMENT CONTROL PLAN KEYNOTES:

- INSTALL CONSTRUCTION FENCE. CONTRACTOR TO FIELD VERIFY AND COORDINATE LOCATION(S) OF CONSTRUCTION ACCESS GATE(S) WITH OWNER'S REPRESENTATIVE. SEE DETAIL 2/C5.01
- PROVIDE AND INSTALL CONCRETE WASHOUT AREA. SEE DETAIL 1/C5.01
- PROVIDE AND INSTALL INLET PROTECTION AT EXISTING CATCH BASIN. SEE DETAIL 5/C5.01
- PROVIDE, INSTALL, AND MAINTAIN 12" COMPOST FILTER SOCK. SEE DETAIL 3/C5.01



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REVISIONS		
NO.	DATE	DESCRIPTION
1	01.05.2024	PLANNING REVISIONS

CONSULTANT

CUSTOMER

PROJECT DESCRIPTION

STORE 46895
TANK REPLACEMENT

PROJECT LOCATION

1542 ROUTE 9
WAPPINGERS FALLS, NY 12590
 (DUTCHESS COUNTY)

SHEET TITLE

SOIL EROSION AND SEDIMENT CONTROL PLAN

SHEET MANAGEMENT

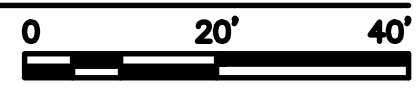
PROJECT NO.: 46895
 DATE: 10.31.2023
 CRITERIA:
 PROJECT MANAGER: K. SCHAWALDER

SHEET NUMBER

C5.00

FILE NAME: Y:\Shared\Clients\7-11\2022\North East Tank Replacement\2023 NE Fuel Projects\46895 Wappingers Falls, NY - Tank Replacement\05\Conduct\C5.00.dwg LAST SAVED BY: Jamerson, Austin SAVED DATE: 1/14/2024 10:34 AM PLOTTED: 1/16/2024 11:29 AM

SOIL EROSION AND SEDIMENT CONTROL PLAN
 SCALE: 1" = 20'-0"



LEGAL NOTICE

Please take notice that the Planning Board of the Village of Wappingers Falls will hold a public hearing on February 2, 2024, at 7:00 pm, or as soon thereafter as the matter may be heard, at the American Legion Hall, 7 Spring Street, Wappingers Falls, New York, on the application submitted by Ernst Martin Jr., applicant, for property having an address of 58 McKinnley Street, Wappingers Falls, NY (Grid #6158-13-208259), and located in the Bleachery (B) Zoning District. The applicant is seeking approval to realign the property line to reflect the actual site conditions of the parking area and rear patio.

A copy of this application is on file in the Planning and Zoning Department and is available for inspection when the Department is open, Monday-Friday, 8:30 AM to 3:00 PM. The telephone number is 845-297-5277. All interested persons may appear in person, by agent, or by attorney, and all will be heard.

Date: January 9, 2024

Alford Equities LLC
657 E Main St
Mount Kisco, NY 10549
For Property: 13460100615800130713250000

Trent R. Atkinson
27 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800131773720000

Michael T. Batira
17 Church St
Wappingers Falls, NY 12590
For Property: 13460100615800132343390000

Dennis Beltran
238 E 95th St
Apt 5A
New York, NY 10128
For Property: 13460100615800132223210000

Patricia Buonanno
21 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800131993630000

Community Services Programs
5 Givens Ave
Wappingers Falls, NY 12590
For Property: 13460100615800142662870000

County Players Inc
2681 W Main St
Wappingers Falls, NY 12590
For Property: 13460100615800142723070000

Christopher L. Davis
7 Walker Pl
Wappingers Falls, NY 12590
For Property: 13460100615800142633220000

Dutchess Bleachery
400 Market Industrial Park
Ste 50
Wappingers Falls, NY 12590
For Property: 13560100615800132082590000

Dutchess Bleachery LLC
400 Market Industrial Park
50
Wappingers Falls, NY 12590
For Property: 13560100615800131862520000

Dutchess Bleachery LLC
400 Market Industrial Park
50
Wappingers Falls, NY 12590
For Property: 13560100615800131992540000

Dutchess Bleachery LLC
400 Market Industrial Park
50
Wappingers Falls, NY 12590
For Property: 13560100615800132202540000

Dutchess Bleachery LLC
400 Market Industrial Park
50
Wappingers Falls, NY 12590
For Property: 13560100615800182592440000

George Girola
20 Buchanan St
Beacon, NY 12508
For Property: 13560100615800131542570000

Hillside Realty Enterprises
47 Watch Hill Dr
Fishkill, NY 12524
For Property: 13460100615800132173300000

Hudson Valley Housing Dvlpmnt
5 Givens Ave
Wappingers Falls, NY 12590
For Property: 13460100615800142712980000

Hudson Valley Housing Dvlpmnt
5 Givens Ave
Wappingers Falls, NY 12590
For Property: 13460100615800142702960000

Market Properties Inc
400 Market Industrial Park
Ste 50
Wappingers Falls, NY 12590
For Property: 13560100615800131572700000

Market Properties Inc
400 Market Industrial Park
50
Wappingers Falls, NY 12590
For Property: 13560100615800131702650000

Market Properties Inc
400 Market Industrial Park
Ste 50
Wappingers Falls, NY 12590
For Property: 13460100615800131783030000

Donald W. McCormick, Jr
25 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800131823560000

Marie G. Megna, Trustee
4 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800132363300000

George H. Moran
17 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800132033550000

Andrew Mullings
12 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800132263480000

Joseph Nicholas
15 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800132053480000

Douglas Outwater
5 Walker Pl
Wappingers Falls, NY 12590
For Property: 13460100615800142523170000

Carl V. Pantaleo
24 Church St
Wappingers Falls, NY 12590
For Property: 13460100615800131943420000

Putnam Highlands
PO Box 292
Cold Spring, NY 10516
For Property: 13468900605700088219700000

Putnam Highlands
PO Box 292
Cold Spring, NY 10516
For Property: 13460100615800131042870000

Sheila Rosewhite-Dolfinger
13 Givens Ave
Wappingers Falls, NY 12590
For Property: 13460100615800142622800000

Sheafe Woods Realty LLC
1136 Route 9
Wappingers Falls, NY 12590
For Property: 13460100615800132063460000

Anthony J. Sidote, Jr
79 Nelson Ave
Wappingers Falls, NY 12590
For Property: 13460100615800131444020000

Roland A. Tannini
2 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800132383250000

Threeco Inc
15 W Willow St
Beacon, NY 12508
For Property: 13560100615800171802370000

Benjamin D. Trissel
13 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800132073440000

Village Of Wappingers Falls
PO Box 92
Wappingers Falls, NY 12590
For Property: 13460100615800132393090000

Wappingers Falls Estuary
510 Maloney Rd
Apt E-3
Poughkeepsie, NY 12603
For Property: 13560100615800171152270000

Wappingers Falls Estuary
17 Levine Ln
Unit 1703
Poughkeepsie, NY 12603
For Property: 13560100615800171502500000

James Thomas Williams
6 Hillside Ave
Wappingers Falls, NY 12590
For Property: 13460100615800132283360000

Windsor Machinery Company Inc
16 Orbit Ln
Hopewell Junction, NY 12533
For Property: 13460100615800132482680000

Windsor Machinery Company Inc
16 Orbit Ln
Hopewell Junction, NY 12533
For Property: 13560100615800142722530000



FOUR CORNERS
PLANNING

45 Montgomery Street
Tivoli, NY 12583
845.757.1017
greig@hvc.rr.com

Innovative Planning
for Traditional Towns

To: Tom Morris, Chairman
Village of Wappingers Falls Planning Board

From: Michèle Robinson Greig, AICP

Date: December 5, 2023

Subject: 7-Eleven (Speedway) Tank Replacement

For the captioned project we have reviewed a Site Plan entitled “7-Eleven Existing Store W/ Fueling Remodel” prepared by Core States Group (27 Sheets: G0.2, G1.0, G3.0, G4.0, G4.1, G5.0, G6.0, G6.1, G7.0, G8.1, G10.0 to G17.0, CPC-1, and SCB-1 dated 2/14/23; Sheets G0.0, G0.1, G0.3, G7.1, G8.0, G9.0, and G9.1 dated 2/14/23 and last revised 10/30/23); a Development Plan prepared by Sevan Engineering (Sheet C1.20 dated 10/31/2023 and revised 11/1/23); Canopy Structural Plans prepared by Jimco Sales and Manufacturing (Sheets CS1 and CS2 dated 10/27/23); a photometric plan prepared by Cree Lighting dated 10/27/23; an Excavation Permit Application dated 10/2/23; a Tank Closure/Abandonment/Removal Permit dated 12/6/23; and a New Commercial Building/Addition to Commercial Building Permit Package dated 10/2/23. We offer the following comments for the Planning Board’s consideration. These comments should not be considered all inclusive. We may have additional comments as further information is provided for our review.

1. **Proposed Project.** The applicant proposes to remove existing underground fuel storage tanks and install new tanks in a new location north of the existing pump islands, replace the canopy deck and fascia, and replace six existing fuel dispensers with new dispensers on a ± 0.53-acre parcel located at 1542 Route 9 in the Commercial Mixed Use (CMU) Zoning District. The proposed project requires Amended Site Plan approval from the Planning Board.
2. **SEQR.** The applicant should submit a Part 1 Environmental Assessment Form so the Planning Board can classify the project and initiate SEQR, if applicable.
3. **Site Plan Application.** The applicant should submit an application for Planning Board Review for amended site plan review.
4. **Setbacks for Automotive Use Structures.** Section 151-20D of the Zoning Law requires that automotive use structures be set back a minimum of 25 feet from all

property boundaries (this supersedes the setbacks specified in Table 2F). The Code Enforcement Officer should determine whether area variances are required for the location of the new underground tanks within 25 feet of the property boundaries to the north and west.

5. **Lighting.**

- (a) Section 151-12D(10) of the Zoning Law requires that all outdoor lighting be brought into compliance with the 2015 Zoning Law by 2018. The applicant should identify all existing outdoor lighting fixtures on the property so the Planning Board can determine whether the fixtures are in compliance.
 - (b) Section 151-12D(6) states that lighting levels shall be based on the recommendations of the Illuminating Engineering Society of North America (IESNA). The IESNA recommends a maximum of 5 footcandles for gas station pump island canopies in dark areas and 10 footcandles for canopies in light surroundings. The applicant's photometric plan shows an average of 36.55 footcandles which exceeds the recommended levels. Lighting levels should be reduced.
 - (c) Section 151-20G requires that island canopy lighting fixtures shall be recessed into the canopy ceiling so that the bottom of the fixture is flush with the ceiling. The applicant should demonstrate compliance with this requirement.
 - (d) Manufacturer's cut sheets of all outdoor lighting fixtures should be provided. Fixtures should have a maximum color temperature of 2700K.
6. **Canopy.** The canopy elevations should identify the color of the canopy, whether any signage is proposed on the canopy, and whether the canopy is proposed to be internally illuminated.
7. **Signage.** Submission of signage details is a requirement of site plan review. Section 151-25M requires that all signs that do not conform to the provisions of the 2015 Zoning Law shall be brought into compliance by 2018. Details of all existing and proposed signs should be submitted, including but not limited to signs advertising the business on the new dispensers, the new canopy, and other objects such as trash cans.
8. **Sidewalk.** The applicant should provide a sidewalk adjacent to Route 9 to improve pedestrian circulation in the area consistent with the Village's recently adopted *Comprehensive Plan*.
9. **Parking.** The Zoning Law requires that all parking spaces be a minimum of 9 by 18 feet, including accessible spaces.

10. **Zoning District.** Sheet C1.20 should identify the Zoning District as CMU rather than VC, and should include the required area and bulk requirements for the CMU District, as well as the setbacks for automotive use structures in § 151-20.
11. **239-m Review.** The Site Plan application must be referred to Dutchess County Department of Planning and Development for review under General Municipal Law 239-m since the property is located within 500' of a State highway and a municipal boundary.
12. **Public Hearing.** A public hearing, if deemed necessary by the Planning Board, must be held within 62 days following the receipt of a complete application.
13. **239-nn Notification.** Notice of the public hearing, if held, must be sent to the Clerk of the Town of Wappinger at least ten (10) days prior to the hearing, in accordance with General Municipal Law § 239-nn.

cc: Todd W. Atkinson, P.E., J. Robert Folchetti & Associates, LLC
Lisa Cobb, Esq., Wallace & Wallace LLP



WALLIN & GOMEZ
ARCHITECTS, LTD.

711 S. Dearborn Street
Suite 606
Chicago, Illinois 60605
312.427.4702
wallingomez.com

January 9, 2024

Village of Wappingers Falls
2582 South Ave
Wappingers Falls, NY 12590

RE: Planning Review
Wendy's Remodel
1601 US-9
Wappingers Falls, NY 12590

To Whom It May Concern,

As follows is our response to your plan review comments issued:

1. SEQR

The Planning Board adopted a resolution classifying the proposed project as a Type II action on November 2, 2023, concluding the SEQR review of the application.

Response: Acknowledged.

2. Signage

(a) The Code Enforcement Officer should determine whether any area variances are required for signage. Three signs are permitted, including one freestanding sign a maximum of 36 square feet in size. Section 151-25M of the Zoning Law requires that all signs that do not conform to the provisions of the Zoning Law must be brought into compliance within three years of the effective date of the Zoning Law (which was 2015).

Response: Acknowledged. We await the officer's determination if a variance is required for the proposed signage re-facing.

(b) The Sign Detail labeled "Corrugated Panel" dated 10/18 shows two (2) wall signs; this should be revised to depict only one wall sign.

Response: Rendering on the cut sheet is for reference only, the building depicted is not the specific project location. Our proposed project will not have two wall signs, only one as depicted on the architectural exterior elevations and color elevations previously submitted.

(c) The applicant has demonstrated that the sign on the building is a wall sign, and has reduced the size of the sign to 22.29 square feet to meet the requirements of the Zoning Law.

Response: Acknowledged.

(d) The LED bulbs for the wall sign's channel letters have a color temperature of 6,500k. This should be reviewed by the Planning Board

Response: Understood.

3. Outdoor Lighting

(a) The downlighting on the building is proposed with a color temperature of 3,500k; this should be reviewed by the Planning Board.

Response: Understood.

(b) The applicant should discuss whether existing outdoor lighting complies with the requirements of the Zoning Law. Section 151-12D(10)(a) of the Zoning Law, which was adopted in 2015, states that “All outdoor lighting fixtures that do not conform to the provisions herein shall be deemed nonconforming and shall be brought into compliance with the provisions of this section within three years from the effective date of this code, and such lapse of time shall be deemed sufficient to amortize the cost thereof.

Response: Will comply. Cut sheets for the proposed outdoor wall mounted light fixtures will be submitted for review. See attached. The existing parking lot lights are compliant with the current code.

4. Zoning District

The application for Planning Board Review and the Sign Permit Application should be revised to state that the property is located in the Commercial Mixed Use (CMU) District, not the Village Commercial District.

Response: Will comply. See attached revised applications.

5. 23-m Review

The Amended Site Plan application must be referred to Dutchess County Department of Planning and Development for review under General Municipal Law 239-m since the property is located on a State highway.

Response: Understood.

6. Public Hearing

A public hearing on the Amended Site Plan application is not required, but if deemed necessary by the Planning Board, must be held within 62 days following the receipt of a complete application.

Response: Understood.

Should you require any further information, please contact my office.

Sincerely,

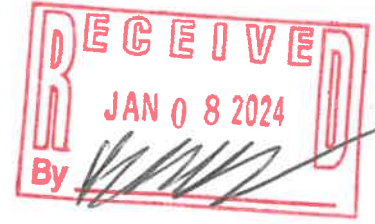


Donald J Wallin



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov



APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: _____ Date of Meeting: 2/9/24

Meetings are held at the American Legion Hall, 7 Spring Street, on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned by the submittal deadline. For the complete list of Planning Board meeting dates and submittal deadlines go to the Building, Planning and Zoning page on the village website: www.wappingersfallsny.gov

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

Items to be submitted for review: (Only items pertaining to project)

- PDF Emailed to Building Dept. and Seven (7) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Sign permit application for proposed sign (*this is a separate application*)- Including renderings/sketch of proposed sign/ elevation/size/ exact color samples.



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: _____ Date of Meeting: _____

Property Identification:

Address: 2659 EAST MAIN ST

Zoning District: _____ Existing site area: _____

Owner Information:

Name: ELMI BERISHA

Address: 21 SOUTH MESIER AV

City: WAPPINGERS FALLS State: NY Zip: _____

Contact Numbers: (H) 845-590-4807 (C) SAME

(E-mail) ELMI.BERISHA70@gmail.com

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name: SAME

Address: _____

City: _____ State: _____ Zip: _____

Contact Numbers: (H) _____ (C) _____

E-mail Address: _____

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: WEST CHESTER MODULAR HOMES TW ENGINEERING

Title: TROY A. WDJCIEKOSKY P.E.

Architect Engineer

Company: WEST CHESTER MODULAR / TW ENH.

Address: PO BOX 913 WFN 12590

Telephone #: _____

E-mail Address: _____



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
 (Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): VACANT LAND

Proposed square footage: 9,500

Project Description : *(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

CONSTRUCT NEW BUILDING ON VACANT LOT
1ST FLOOR COMMERCIAL
2ND, 3RD, 4TH FLOORS RESIDENTIAL

Items to be submitted for review: (Only items pertaining to project)

- Seven (7) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form NA
- Application for proposed sign NA
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.


 Signature of Applicant Signed

Jan 5/24
 Date

Office use only:

[] FEE: 316.80 Receipt No. : _____ Cash / Check # _____ Date: 1/8/2024

Revised by : 
 Zoning Administrator/Code Enforcement Officer Revision date : _____



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: _____

Address of property owner: _____

City: _____ State: _____ Zip: _____

Phone number of property owner: (Include home, work, mobile number and e-mail address):

(H) _____ (C) _____

(W) _____ (Email) _____

Address of site where work is being conducted: _____

Description of work: _____

Name of person doing work: _____

Address of person doing work: _____

City: _____ State: _____ Zip: _____

Phone number of person doing work (Include home, work, mobile numbers and e-mail address):

(H) _____ (C) _____

(W) _____ (Email) _____

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.

Signature of Property Owner

Date Signed

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		
Name of Action or Project: ARIAN TOWERS		
Project Location (describe, and attach a location map): 2659 E. MAIN ST		
Brief Description of Proposed Action: CONSTRUCT NEW 4 STORY BUILDING 1ST FLOOR COMMERCIAL 2-4TH RESIDENTIAL		
Name of Applicant or Sponsor: ELMI BERISHA	Telephone: 845-590-4807	Email: ELMI.BERISHA70@GMAIL
Address: 21 SOUTH MESIER AVE WENY 12590		
City/PO:	State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?	0.4 acres	
b. Total acreage to be physically disturbed?	0.7 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	1.4 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.		
Urban	Rural (non-agriculture)	Industrial
		<u>Commercial</u>
		<u>Residential</u> (suburban)
Forest Agriculture Parkland	Aquatic	Other (specify): _____

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		<input checked="" type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
			<input checked="" type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
			<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
			<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:		NO	YES
	<input checked="" type="checkbox"/>		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural/grassland Early mid-successional Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties?	NO	YES	
		<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems off and storm drains)? If Yes, briefly describe: _____		<input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <i>Shrinagar</i>	Date: <i>Jun 5/24</i>	
Signature: _____		



Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: <ul style="list-style-type: none"> a. public / private water supplies? b. public / private wastewater treatment utilities? 		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of New York }
County of Dutchess } ss:

_____ being duly sworn, deposes and says:

1. That I/we are the owner named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 81 South Mesier in the County of Dutchess and the State of New York.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Applicant/Agent

Applicant/Agent

Sworn to before me this 8 day of
JANUARY, 2024.

Notary Public

JOHN M. BURGE NO. 01KA6081945
NOTARY PUBLIC, STATE OF NEW YORK
QUALIFIED IN DUTCHESS COUNTY
COMMISSION EXPIRES 10-15 2026

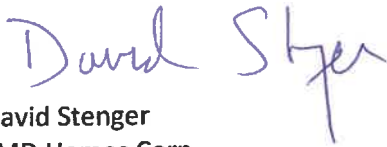
LMD Homes Corp
PO Box 1670
Wappingers Falls, NY 12590
(845) 226-6300

January 2, 2024

To Whom It May Concern:

LMD Homes Corp gives permission to Elmi Berisha to use all site plans and building plans however he sees fit, that were prepared for 2659 Main Street, aka Goring Hall in the Village of Wappingers Falls.

Sincerely,



David Stenger
LMD Homes Corp
President



SERIAL NUMBER

1



WESTCHESTER MODULAR HOMES, INC.

AN EMPLOYEE OWNED COMPANY

CONSTR. TYPE.

USE GROUP

DATE

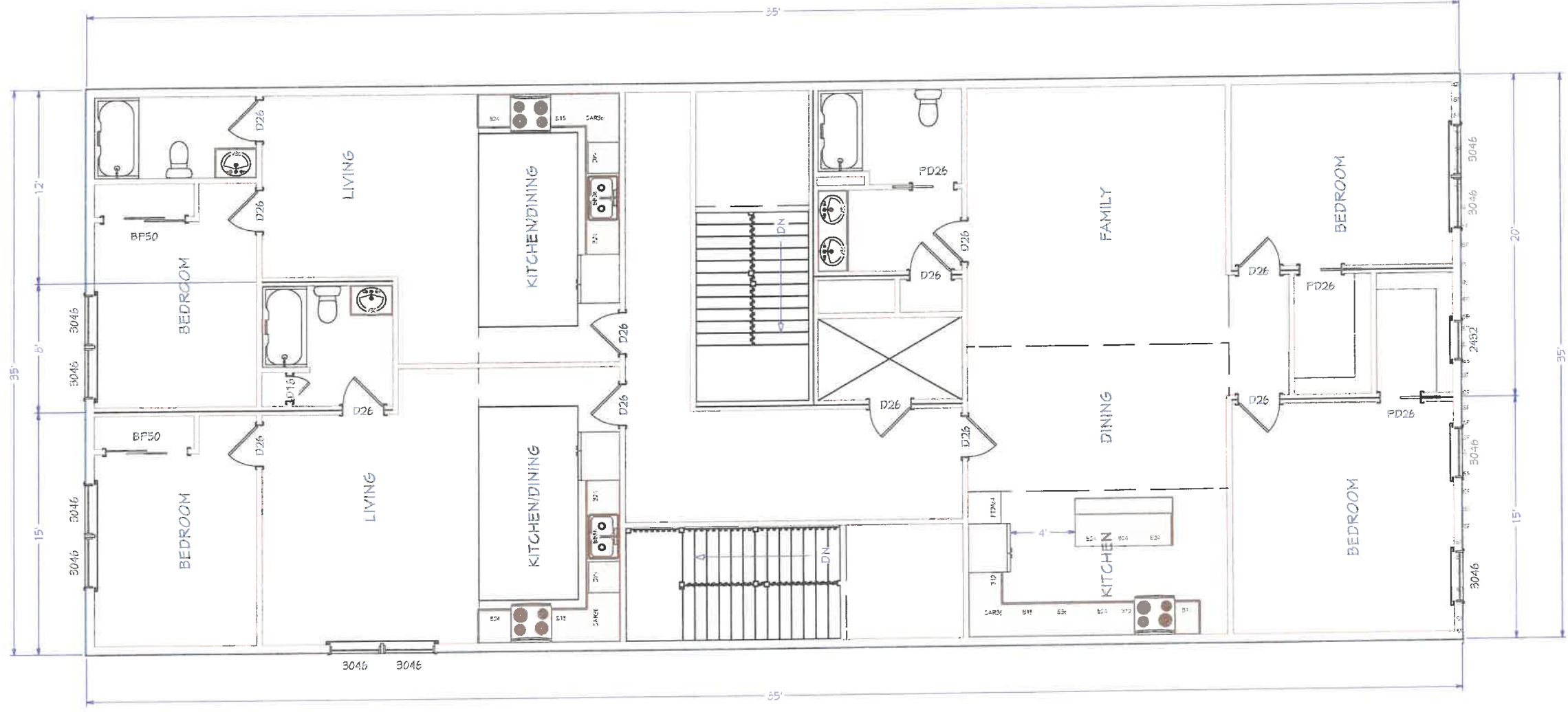
7/24/2016

Custom

Note: Drawings are for study purposes only.
Plans are subject to change pending review by
WMH as well as PFS or Dept. of State.

REVISION

DATE



SERIAL NUMBER

6



WESTCHESTER MODULAR HOMES, INC.
AN EMPLOYEE OWNED COMPANY

CONSTR TYPE	
USE GROUP	
DATE	7/24/2019

Custom

REVISION	DATE

Note: Drawings are for study purposes only. Plans are subject to change pending review by WMH as well as PFS or Dept. of State.

Dutchess County Department of Planning and Development

Fax Info Only	To	Date	#pgs
	Co./Dept.	From	
	Fax #	Phone #	

239 Planning/Zoning Referral - Exemption Communities

Municipality: **Village of Wappingers Falls**

Referring Agency: **Planning Board**

Tax Parcel Number(s): **2466210000**

Project Name: **Toje-Delavergne Ave**

Applicant: **Lawrence J. Paggi, PE, PC**

Address of Property: **Delavergne Ave, V. Wappingers Falls, NY 12590**

Please Fill in this section

Exempt Actions:* 239 Review is NOT Required

- Administrative Amendments (fees, procedures, penalties, etc.)
- Special Permits for residential uses (accessory apts, home occupations, etc.)
- Use Variances for residential uses
- Area Variances for residential uses
- Renewals/Extension of Site Plans or Special Permits that have no changes from previous approvals

No Authority to review these Actions

- Subdivisions / Lot Line Adjustments
- Interpretations

Exempt Action submitted for informal review

Actions Requiring 239 Review

- Comprehensive/Master Plans
- Zoning Amendments (standards, uses, definitions, district regulations, etc.)
- Other Local Laws associated with zoning (wetlands, historic preservation, affordable housing, architectural review, etc.)
- Rezoning involving all map changes
- Architectural Review
- Site Plans (all)
- Special Permits for all non-residential uses
- Use Variances for all non-residential uses
- Area Variances for all non-residential uses
- Other (Describe):

Parcels within 500 feet of:

- State Road:
- County Road:
- State Property (with recreation area or public building)
- County Property (with recreation area or public building)
- Municipal Boundary
- Farm operation in an Agricultural District

Date Response Requested: **1/31/2024**

Entered By: **Alfonso, Brenda**

These actions are only exempt in municipalities that signed an intermunicipal agreement with Dutchess County to that effect.

For County Office Use Only

Response From Dutchess County Department of Planning and Development

No Comments:

- Matter of Local Concern
- No Jurisdiction
- No Authority
- Withdrawn
- Incomplete - municipality must resubmit to County
- Exempt from 239 Review
- None

Comments Attached:

- Local Concern with Comments
- Conditional
- Denial
- Incomplete with Comments- municipality must resubmit to County
- Informal Comments Only (Action Exempt from 239 Review)

Date Submitted: **1/10/2024**

Date Received: **1/10/2024**

Date Requested: **1/31/2024**

Date Required: **2/9/2024**

Date Transmitted: **1/10/2024**

Notes:

Major Project

Referral #: **ZR24-010**

Also mailed hard copy

Reviewer:

Emily S. Dozier

December 5, 2023

Village of Wappingers Falls Planning Board
Mr. Tom Morris, Chairman
2582 South Avenue
Wappingers Falls, New York 12590

Re: 1524 Route 9, 7-Eleven, Speedway, 1st Review
Tax ID#: 6158-19-582114
JRFA Job #06120228

Dear Chairman Morris and Members of the Board:

Our office has received and reviewed the following documents submitted for the above referenced project, prepared by Core States Group:

- Application for Planning Board Review, dated October 2, 2023.
- Excavation Permit Application, dated October 2, 2023.
- Tank Closure/Abandonment/Removal Permit Application, dated October 2, 2023
- Consent Form dated September 19, 2023.
- Owner / Applicant Affidavit dated September 19, 2023.
- Sheet G0.0 FUELING CANOPY COVER SHEET AND INDEX, revised September 19, 2023.
- Sheet G0.1 FUELING ARCHITECTURAL SITE PLAN, dated February 14, 2023.
- Sheet G0.2 FUELING TRUCK ROUTE, dated February 14, 2023.
- Sheet G0.3 FUELING DEMOLITION PLAN, dated February 14, 2023.
- Sheet G1.0 FUELING PIPING AND TANK PLAN, dated February 14, 2023.
- Sheet G3.0 TANK SECTIONS, dated February 14, 2023.
- Sheet G4.0 TANK SUMP DETAILS - DUAL OUTPUT, dated February 14, 2023.
- Sheet G4.1 TANK SUMP DETAILS, dated February 14, 2023.
- Sheet G5.0 DISPENSER AND SUMP DETAILS, dated February 14, 2023.
- Sheet G6.0 REMOTE VENT AND DETAILS, dated February 14, 2023.
- Sheet G6.1 FUELING DIMENSIONAL PLAN, dated February 14, 2023.
- Sheet G7.0 EQUIPMENT SCHEDULES, dated February 14, 2023.
- Sheet G7.1 EQUIPMENT SCHEDULES, revised September 19, 2023.
- Sheet G8.0 FUELING CANOPY LAYOUT, dated February 14, 2023.
- Sheet G8.1 SIGNAGE DETAILS, dated February 14, 2023.
- Sheet G9.0 UST ELECTRICAL PLAN, ONE-LINE DIAGRAM AND PANEL SCHEDULE, dated February 14, 2023.
- Sheet G9.1 N.E.C. CLASSIFIED AREA, dated February 14, 2023.
- Sheet G10.0 MISCELLANEOUS ELECTRICAL DETAILS, dated February 14, 2023.
- Sheet G11.0 ISOLATION RELAY BOX DETAIL, dated February 14, 2023.
- Sheet G12.0 SITE MONITORING EQUIPMENT DIAGRAM, dated February 14, 2023.
- Sheet G13.0 FUELING SPECIFICATIONS, dated February 14, 2023.

- Sheet G14.0 FUELING SPECIFICATIONS, dated February 14, 2023.
- Sheet G15.0 FUELING SPECIFICATIONS, dated February 14, 2023.
- Sheet G16.0 FUELING SPECIFICATIONS, dated February 14, 2023.
- Sheet G17.0 FUELING SPECIFICATIONS, dated February 14, 2023.
- Sheet CPC-1 FUELING REMODEL PAVEMENT AND CURBING DETAILS, dated February 14, 2023.
- Sheet SCB-1 FUELING REMODEL STANDARD CANOPY BASE DETAILS, dated February 14, 2023.

Project Description

The subject property is a 0.53 Ac lot located in the commercial- mixed use (CMU) district on Route 9. An existing gas station and convenience store are located on the lot. The applicant is proposing to remove and replace underground fuel storage tanks, fuel dispensers, pumps and associated piping and electrical work and associated paving.

Required Approvals

- Site Plan Approval from the Planning Board.
- New York State Department of Environmental Conservation fuel tank removal permit approval.
- New York State Department of Environmental Conservation fuel tank installation permit approval.

Based on our review of the submitted documents, we offer the following comments, which may warrant discussion with the applicant and/or action by the Board:

Engineer Review

1. Will the site be shut down for commercial customers during construction or will the convenient store be operated?
2. The applicant should submit a completed Environmental Assessment Form.
3. Applicant should provide a metes and bounds survey signed and sealed by a NYS Licensed Surveyor.
4. The plan should show all existing and proposed utilities; water, sewer, stormwater, gas, fuel, electric and telephone lines. If new infrastructure is required, provide details, profiles and types of materials proposed.
5. Provide an erosion and sediment control plan in accordance with the NYSDEC Erosion and Sediment Control Manual.
6. The applicant should provide sidewalks on the property parallel to the Route 9 corridor to be consistent with the village comprehensive plan.
7. There is currently a stormwater drainage issue at the entrance to the site. The design should reflect how this issue will be addressed.

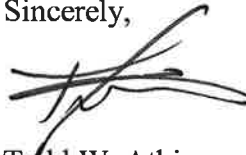
Village of Wappingers Falls
1524 Route 9, 7-Eleven, Speedway, 1st Review
Tax ID#: 6158-19-582114
December 5, 2023
Page 3

8. A lighting plan for the site should be provided and revised with plans and cut sheets if it is determined it does not meet the current Village Code requirements.
9. Provide a detailed project construction schedule.
10. Applicant should provide a plan to combat any possible leakage or contamination which may be encountered when excavating to remove existing tanks or installing new tanks.

This information is based on my review of the documents submitted. Additional review comments may be provided throughout the process as the application is evaluated. Written responses to these comments **MUST BE PROVIDED** with any future submittals.

Should you have any questions or comments, please feel free to contact our office.

Sincerely,



Todd W. Atkinson, P.E.
Village Engineer

TWA/jac

cc: Brenda Alfonso (via email)
Lisa M. Cobb, Esq. (via email)
Michelle Greig (via email)
Brian Murphy (via email)
Applicant
File



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
OFFICE OF CODE ENFORCEMENT
OFFICE OF THE FIRE INSPECTOR
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

Submission Date: 10-3-23

Date of Meeting: 11-2-23

Meetings are held at the American Legion Hall, 7 Spring Street on the first Thursday of the month at 7:00 p.m. All information must be completely filled out and returned no later than 15 business days before meeting date. For the complete list of Planning Meeting Dates and Deadlines go to the Building, Planning and Zoning page on the village website www.wappingersfallsny.gov.

A filing fee is required in connection with any application to the Planning Board for approval.

The Planning Board is responsible for the review and approval of all applications concerning:

- Opening a new business in the Village
- Installing a new sign
- Building a new structure in a commercial zone
- Subdivision / Site Review/ Lot Line Adjustment

Items to be submitted for review: (Only items pertaining to project)

- PDF Emailed to Building Dept. and Ten (10) hard copy sets of construction/site/elevation/plans - Engineer drawings showing all areas to be affected. Or a sketch of the proposed floor plan layout (*All sets of plans must be folded*)
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form (*The applicant must provide consent form, from homeowner authorizing him/her to file for Planning Review*)
- Application fee
- Application for proposed sign - Including Renderings/sketch of proposed sign/ Elevation/size/ exact color samples.

(Separate Application)



VILLAGE OF WAPPINGERS FALLS

BUILDING DEPARTMENT
2582 SOUTH AVENUE
WAPPINGERS FALLS, NY 12590
PHONE: (845) 297-5277 FAX: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

APPLICATION FOR PLANNING BOARD REVIEW

All information must be completely filled out and returned no later than the stated submission date.

Date Submitted: 10-3-23 Date of Meeting: 11-2-23

Property Identification:

Address: 1601 US-9

Zoning District: Commercial Mixed Use (CMU) Existing site area: 30,300 SF

Owner Information:

Name: CKA Management

Address: 611 Route 46 suite 108

City: Hasbrouck State: NJ Zip: 07604

Contact Numbers: (H) _____ (C) 203-464-2353

(E-mail) dave@ckamgmt.com

Applicant Information:

(Please provide if someone other than the property owner is the applicant)

Name: Luis Montoya

Address: 711 S Dearborn suite 606

City: Chicago State: IL Zip: 60605

Contact Numbers: (H) _____ (C) 312-427-4702 x 214

E-mail Address: montoya@wga ltd.com

Lead Design Professional: (If applicable)

(Indicate the primary design professional associated with this application)

Name: Donald Wallin

Title: _____

Architect Engineer

Company: Wallin Gomez Architects

Address: 711 S. Dearborn suite 606 Chicago, IL 60605

Telephone #: 312-427-4702

E-mail Address: wallin@wga ltd.com



VILLAGE OF WAPPINGERS FALLS
APPLICATION FOR PLANNING BOARD REVIEW
 (Continued)

Proposed Site:

(Property where improvements are proposed)

Existing Use(s): A-2 Fast food restaurant

Proposed square footage: 30,300 SF existing site 3,156 SF Building

Project Description : *(Please print or type)*

(Describe the project in detail indicating all areas of work, type(s) of improvement and materials to be used as a part of the proposed improvements. Use additional sheets if necessary.)

Renovation of the existing Wendy's Restaurant. Removal of the existing metal fascia on the exterior, signage, & side car. New exterior signage, corrugated metal panels, pre-finished accent metal coping, & new windows.

Items to be submitted for review: (Only items pertaining to project)

- Ten (10) sets of plans.
- Legal Documents (Right of Ways/Easements/Lease/Contracts of Sale, etc.)
- Consent Form
- Application for proposed sign
- Application Fee
- Proof that the taxes, utility bills and fines for the property are paid in full.

With the completion of this application, I hereby state that the information provided and all Accompanying documentation is accurate to the best of my knowledge, and that the attached plans contain all information required by the appropriate checklist.

[Signature]
 Signature of Applicant Signed

10-2-23
 Date

Office use only:			
[] FEE : _____	Receipt No. : _____	Cash / Check # _____	Date: _____
Revised by : _____		Revision date : _____	
Zoning Administrator/Code Enforcement Officer			

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>Wendy's Restaurant</i>			
Project Location (describe, and attach a location map): <i>1601 US-9</i>			
Brief Description of Proposed Action: <i>Replacement of exterior signage & finishes</i>			
Name of Applicant or Sponsor: <i>Luis Montoya</i>		Telephone: <i>312-427-4702 x214</i>	
		E-Mail: <i>montoya@wga ltd.com</i>	
Address: <i>711 S Dearborn suite 606</i>			
City/PO: <i>Chicago</i>		State: <i>IL</i>	Zip Code: <i>60605</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
Urban	Rural (non-agriculture)	Industrial	<u>Commercial</u> <u>Residential (suburban)</u>
Forest	Agriculture	Parkland	Aquatic
Other (specify): _____			

5. Is the proposed action. a. A permitted use under the zoning regulations?	NO	YES	N/A
		X	
b. Consistent with the adopted comprehensive plan?		X	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			X
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
			X
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
			X
b. Are public transportation service(s) available at or near the site of the proposed action?			X
			X
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
			X
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
			X
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
			X
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
			X
b. Is the proposed action located in an archeological sensitive area?			X
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
			X
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	NO	YES	
			X
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: Shoreline Forest Agricultural/grassland Early mid-successional Wetland			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
			X
16. Is the project site located in the 100 year flood plain?	NO	YES	
			X
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes. a. Will storm water discharges flow to adjacent properties?	NO	YES	
			X
b. Will storm water discharges be directed to established conveyance systems off and storm drains)? If Yes, briefly describe: _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	X	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	X	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	X	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <i>Luis Montoya</i>	Date: <i>10-2-23</i>	
Signature: <i>Luis A. Montoya</i>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

Not applicable

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. **Part 3** should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)



VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning
2582 South Avenue
Wappingers Falls, NY 12590
Phone: (845) 297-5277 Fax: (845) 296-0379
E-mail: bmurphy@wappingersfallsny.gov
www.wappingersfallsny.gov

CONSENT FORM

Name of property owner: CKA Management LLC

Address of property owner: 611 Route 46 suite 108

City: Itasbrouck Heights State: NJ Zip: 07604

Phone number of property owner: (Include home, work, mobile number and e-mail address):

(H) _____ (C) 203-464-2353

(W) _____ (Email) dave@ckamgmt.com

Address of site where work is being conducted: 1601 us-9

Description of work: Interior & exterior renovation of an existing Wendy's Restaurant

Name of person doing work: Hillson Contractors

Address of person doing work: 52 Fitzgerald Dr

City: Jaffrey State: NH Zip: 03452

Phone number of person doing work (Include home, work, mobile numbers and e-mail address):

(H) _____ (C) _____

(W) 603-532-1132 (Email) Jon@hillsoncontractors.com

I, as property owner for the above mentioned property, am aware of all work described above and give my consent to the aforementioned person to do the work.

K Kas
Signature of Property Owner

9/27/23
Date Signed

PART "B"
APPLICANT / AGENT AFFIDAVIT

State of Illinois }
County of Cook } ss:

Luis Montoya being duly sworn, deposes and says:

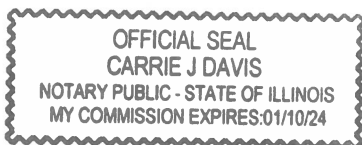
1. That I/we are the owner's Agent named in the foregoing application for Planning Board for Subdivision / Lot Line Change / Site Plan / Land Contour / Aquatic Resource approval(s) and that the statements contained therein are true to the best of my/our knowledge and belief.
2. That he/she resides at or conducts business at 711 S Dearborn in the County of Cook and the State of Illinois.
3. That I/we understand that by submitting this application for Planning Board approval that I/we expressly grant permission to the Planning Board and its authorized representatives to enter upon the property, at all reasonable times, for the purpose of conducting inspections and becoming familiar with site conditions. I/we acknowledge that this grant of permission may only be revoked by the full withdrawal of said application from further Planning Board action. That I/we understand that by submitting this application that I/we shall be responsible for the payment of all application fees, review fees, and inspection fees incurred by the Village related to this application.
4. That I/we understand that I/we, and any of our contractors and representatives shall be jointly and severally liable for all costs incurred, including environmental restoration costs, resulting from non-compliance with the approved application, and with non-compliance with any provision of the Village Code. I/we acknowledge that approval of the plan and commencement of any work related to the approved application shall constitute express permission to the Planning Board, the Building Inspector, the Planning Department, the Zoning Administrator, and any duly authorized representative of the Village of Wappingers Falls, to enter the property for the purposes of inspection for compliance with the approved application and any provision of the Village Code, whether or not any other permits have been applied for or issued for the project. I/we acknowledge that by submitting this application, and by approval of said application, including the commencement of any work related to the approved plan is an express waiver of any objection to authorized Village official(s) entering the property for the purpose of conducting inspections.
5. That I/we understand that the Village of Wappingers Falls Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury I/we declare that I/we has examined this affidavit and that it is true and correct.

Luis A. Montoya
Applicant/Agent

Applicant/Agent

Sworn to before me this 2nd day of
October, 2023.

Carrie J Davis
Notary Public





VILLAGE OF WAPPINGERS FALLS

Office of Building, Planning & Zoning

2582 South Avenue

Wappingers Falls, NY 12590

Phone: (845) 297-5277 Fax: (845) 296-0379

www.wappingersfallsny.gov

SIGN PERMIT APPLICATION

Name of Applicant Luis Montoya
Address 711 S Dearborn Suite 606
Chicago, IL 60605
Email montoya@wgaltd.com
Phone 312-427-4702 x 214

Owner of Property CKA Management
Address 1050 Wall St W
Lyndhurst, NJ 07071
Phone _____

Location of Property 1601 US-9
Linear Frontage of building 34'-10" **Zoning District** CMU

Types of Signs Post & Arm Projecting Seasonal Multi-Tenant
 Wall Window Awning Free Standing Sidewalk

Sign Design All applications must be accompanied by a detailed scaled drawing showing all sign dimensions, graphic design (including lettering and pictorial matter), visual message (text, copy or content of sign), sign colors with color swatches, lighting, and landscaping.

Sign Location All applications must be accompanied by a plan, drawn to scale showing the following:
Freestanding signs- the position of the sign in relation to adjacent buildings, structures, roads, driveways, property lines, other signs, lighting fixtures, walls and fences.
Awning, Window, Wall or Projecting signs- the location on awning, window, wall or building, size of awning, total window area of principal façade, or linear frontage of building (as appropriate), projection from building, if relevant, proposed signs position in relation to adjacent signs and lighting fixtures.

Sign Specifications **Type** Wall sign and Refacing of freestanding sign **Placement** wall/site
Landscaping Yes No **Size of Sign** 3'-0" **Height** 12'-10" **Width** _____
Single Faced _____ **Double Faced** _____ **Lighted** _____
Material _____ **Wood** _____ **Metal** metal _____ **other Durable** _____


The undersigned respectfully petitions the Village of Wappingers Falls Code Enforcement Officer for a Sign Permit.

Application is being made in accordance with the Village Zoning Code. The undersigned acknowledges that permanent signs require review and approval of the Planning Board. In order to be considered complete and ready for review by the Planning Board, the following needs to be submitted to the Zoning Clerk no less than 15 days prior to the scheduled Planning Board Meeting:

- Application form (ten sets)
- Sign design drawings (ten sets)
- Color swatch (if any color other than black/white)
- Fee for sign permit of \$75.00 per side (to be paid after Planning Board Approval)

Applicant Name Luis Montoya

Applicant Signature  Date: 10-04-23

Owner of Property Signature  Date: 10/4/23

THIS SECTION TO BE COMPLETED BY THE CODE ENFORCEMENT OFFICER

Sign Permit Granted: Date _____ Permit # issued _____

Permit Fee \$ _____ Receipt # _____ Date _____

Sign Permit Application referred to Planning Board Date _____

Comments: _____

